

**A MARKET FEASIBILITY STUDY OF:**

**WYNDHAM**

**POINTE**

# **A MARKET FEASIBILITY STUDY OF:**

# **WYNDHAM POINTE**

Located at:  
80 Brighton Hill Road  
Columbia, Richland County, SC 29223

Effective Date: November 7, 2023  
Report Date: December 7, 2023

Prepared for:  
Barrett Bock  
Analyst, Development  
Lincoln Avenue Capital LLC  
401 Wilshire Boulevard, 11<sup>th</sup> Floor  
Santa Monica, CA 90401

Prepared by:  
Novogradac  
6700 Antioch Road, Suite 450  
Merriam, KS 66204  
913-677-4600





December 7, 2023

Barrett Bock  
Analyst, Development  
Lincoln Avenue Capital LLC  
401 Wilshire Boulevard, 11<sup>th</sup> Floor  
Santa Monica, CA 90401

Re: Market Study for Wyndham Pointe located in Columbia, Richland County, South Carolina

Dear Barrett Bock:

At your request, Novogradac & Company LLP, doing business under the brand name Novogradac Consulting (Novogradac), has performed a study of the multifamily rental market in the Columbia, Richland County, South Carolina area relative to the above-referenced proposed affordable housing acquisition/rehabilitation project.

The purpose of this market study is to assess the viability of the acquisition/rehabilitation of Wyndham Pointe (Subject), an existing 180-unit LIHTC multifamily property located at 80 Brighton Hill Road, in Columbia, Richland County, South Carolina. Post renovation, all of the units will continue to be LIHTC-restricted to families earning 60 percent of the Area Median Income (AMI) or below.

We have not previously performed any work on the Subject property, but are concurrently preparing an appraisal. The following report provides support for the findings of the study and outlines the sources of information and the methodologies used to arrive at these conclusions. The scope of this report meets the 2023 requirements of the South Carolina State Housing Finance and Development Authority (SC Housing), including the following:

- Inspecting the site of the proposed Subject and the general location.
- Analyzing appropriateness of the proposed Subject's unit mix, rent levels, available amenities and site.
- Estimating market rent, absorption and stabilized occupancy levels for the market area.
- Investigating the health and conditions of the multifamily housing market.
- Calculating income bands, given the proposed Subject rents.
- Estimating the number of income-eligible households.
- Reviewing relevant public records and contacting appropriate public agencies.
- Analyzing the economic and social conditions in the market area in relation to the proposed project.
- Establishing the Subject Primary and Secondary Market Area(s) if applicable.
- Surveying competing projects, both Low-Income Housing Tax Credit (LIHTC) and market rate.

This report contains, to the fullest extent possible and practical, explanations of the data, reasoning, and analyses that were used to develop the opinions contained herein. The depth of discussion contained in the report is specific to the needs of the client and the requirements of SC Housing; both are identified intended users, and the intended use is for tax credit application submission. The report and the conclusions are subject to the *Assumptions and Limiting Conditions* attached.

The National Council of Housing Market Analysts (NCHMA) is a professional organization chartered to promote the development of high-quality market analysis for the affordable housing industry. Novogradac is a charter member of this organization. NCHMA has compiled model content standards for market studies. This report,

which is a comprehensive market analysis full narrative report, conforms to those standards; any slight modifications or departures from those standards are considered incidental and result from client or agency-specific needs.

The authors of this report certify that we are not part of the development team, owner of the Subject site, general contractor, nor are we affiliated with any member of the development team engaged in the development of the Subject property or the development's partners or intended partners. The recommendations and conclusions are based solely on the professional opinions and best efforts of the analysts. There exists no identity of interest between the analyst and the entity for which the report is prepared, the applicant or its principals (general partners, members, etc.).

The Stated Purpose of this assignment is for application. You agree not to use the Report other than for the Stated Purpose, and you agree to indemnify us for any claims, damages or losses that we may incur as the result of your use of the Report for other than the Stated Purpose. Without limiting the general applicability of this paragraph, under no circumstances may the Report be used in advertisements, solicitations and/or any form of securities offering.

Please do not hesitate to contact us if there are any questions regarding the report or if Novogradac can be of further assistance. It has been our pleasure to assist you with this project.

Respectfully submitted,  
Novogradac

A handwritten signature in black ink that reads "R. B. Denton". The signature is written in a cursive, flowing style.

Rachel B. Denton, MAI  
Partner  
Rachel.Denton@novoco.com  
913.312.4612

## **TABLE OF CONTENTS**

<b>Executive Summary</b> .....	<b>1</b>
<b>A. Project Description</b> .....	<b>9</b>
<b>B. Site Description</b> .....	<b>13</b>
<b>C. Market Area</b> .....	<b>25</b>
Primary Market Area .....	26
<b>D. Market Area Economy</b> .....	<b>30</b>
Commuting Patterns .....	38
<b>E. Community Demographic Data</b> .....	<b>39</b>
<b>F. Project-Specific Demand Analysis</b> .....	<b>44</b>
<b>G. Supply Analysis</b> .....	<b>53</b>
Survey of Comparable Projects .....	54
Comparable Property Analysis.....	105
Reasonability of Rents .....	106
Summary Evaluation of the Proposed Project.....	109
<b>H. Interviews</b> .....	<b>110</b>
Interviews.....	111
<b>I. Recommendations</b> .....	<b>112</b>
<b>J. Signed Statement Requirements</b> .....	<b>114</b>
<b>Addendum A</b> .....	<b>Qualifications of Consultants</b>
<b>Addendum B</b> .....	<b>Utility Allowance Schedule</b>
<b>Addendum C</b> .....	<b>Floor/Site Plans</b>
<b>Addendum D</b> .....	<b>NCHMA Certification &amp; Checklist</b>

# **EXECUTIVE SUMMARY**

## Property Summary of Subject

### Subject Property Overview:

The Subject is an existing 180-unit multifamily development restricted to households earning 60 percent of the AMI or less. The Subject is located at 80 Brighton Hill Road, Columbia, Richland County, SC 29223 and offers 180 revenue-generating units, targeted toward the general population, which consist of one, two, and three-bedroom units in six three-story, garden-style buildings. Based on our physical inspection, the Subject exhibits average overall condition.

The property currently offers 24 one-bedroom units, 96 two-bedroom units, and 60 three-bedroom units targeted to family households. Post-renovation, all of the Subject's units will continue to be LIHTC restricted at the 60 percent AMI level. Further, all tenants are expected to remain income qualified post-renovation.

### Targeted Tenancy:

For SC Housing purposes, the tenancy is considered the general population. The targeted tenancy is not age-restricted and will consist primarily of households ranging from one to five-persons.

### Proposed Rents, Unit Mix and Utility Allowance:

The following table details the Subject's proposed rents, utility allowances, unit mix, and unit sizes. Post-renovation, all 180 units will continue to be LIHTC restricted to families earning 60 percent of the AMI or below.

#### PROPOSED RENTS

Unit Type	Unit Size (SF)	# Units	Asking Rent	Utility Allowance* @60%	Gross Rent	2023 LIHTC Maximum Allowable Gross Rent	2024 HUD Fair Market Rent
1BR/1BA	1,036	24	\$890	\$55	\$945	\$945	\$1,110
2BR/2BA	1,232	96	\$1,075	\$59	\$1,134	\$1,134	\$1,246
3BR/2BA	1,444	60	\$1,244	\$65	\$1,309	\$1,309	\$1,595
<b>Total</b>		<b>180</b>					

\*Based on the Housing Authority of the City of Columbia, South Carolina (Columbia Housing), effective 2/27/2023



**Scope of Renovations:**

The total renovation hard costs are estimated to be approximately \$45,000 per unit. According to the relocation plan provided by the developer, renovations will occur with minimal disruption to tenants; however, residents may be temporarily relocated during the day. In the event that a unit will need extensive work, tenants may be relocated to a nearby hotel paid for by the developer. No tenants will be permanently displaced. The scope of renovations includes, but is not limited to:

- Parking and drives: full mill, overlay, and striping
- Concrete repair and replace all steps, sidewalks, & curbs
- Ground work improvements
- Site lighting
- Replace mailboxes
- ADA compliant community spaces
- Replace and add additional exterior lighting
- Paint exterior
- Attic insulation
- Repair masonry
- Replace vinyl siding
- Installation of new drywall
- Replace all exterior/interior doors
- Upgrade kitchens to include flooring, painting, cabinets, and countertops
- New appliance package refrigerator, garbage disposal, range, range hood, dishwasher
- Upgrade bathrooms to include flooring, painting, cabinets, toilets & sinks
- Upgrade to energy efficient lighting package
- Replace bathtub and shower surround
- Install new blinds
- Replace outlets and covers as needed
- New HVAC equipment
- ADA upgrades





## Market Vacancy

The following table summarizes overall weighted vacancy trends at the surveyed properties.

OVERALL VACANCY					
Property Name	Program	Tenancy	Total Units	Vacant Units	Vacancy %
Arcadia Park	LIHTC	Family	75	0	0.0%
Brookside Crossing	LIHTC	Family	162	2	1.2%
Deer Park Apartments	LIHTC	Family	64	0	0.0%
Jackson Creek Station	LIHTC	Family	56	0	0.0%
Regent Park Apartments	LIHTC	Family	72	0	0.0%
Gable Hill	Market	Family	180	2	1.1%
Greenbrier Apartments	Market	Family	526	17	3.2%
Paces Run	Market	Family	260	6	2.3%
Samara East	Market	Family	288	4	1.4%
Springtree Apartments	Market	Family	152	2	1.3%
The Preserve At Windsor Lake	Market	Family	264	4	1.5%
<b>LIHTC Total</b>			<b>429</b>	<b>2</b>	<b>0.5%</b>
<b>Market Total</b>			<b>1,670</b>	<b>35</b>	<b>2.1%</b>
<b>Overall Total</b>			<b>2,099</b>	<b>37</b>	<b>1.8%</b>

The comparable properties reported vacancy rates ranging from zero to 3.2 percent, with an overall weighted average of 1.8 percent. Managers at four of the five LIHTC properties reported being fully occupied. The average vacancy rate reported by the affordable comparables was 0.5 percent, well below the 2.1 percent weighted average reported by the market rate properties. All of the market rate properties reported vacancy rates of 3.2 percent or less. The average LIHTC vacancy rate of 0.5 percent is considered exceptionally low, and indicative of supply-constrained conditions.

According to the Subject’s rent roll dated August 31, 2023 (most recent available), the Subject was fully occupied. The Subject has operated with vacancy and collection loss ranging from 5.3 to 11.3 percent between 2020 and 2023 year to date. Based on the performance of the LIHTC comparables, we expect the Subject will operate with a vacancy and collection loss of five percent or less.

## Capture Rates

The following table illustrates the capture rates for the Subject.

CAPTURE RATE ANALYSIS CHART					
Bedrooms/AMI Level	Total Demand	Supply	Net Demand	Units Proposed	Capture Rate
1BR - @60%	633	144	489	24	4.9%
2BR - @60%	672	182	490	96	19.6%
3BR - @60%	405	76	329	60	18.3%
Overall	1,710	402	1,308	180	13.8%

As the analysis illustrates, the Subject’s capture rates range from 4.9 to 19.9 percent, with an overall capture rate of 13.8 percent. This indicates there is adequate continued demand for the Subject. Further, capture rates for all units, as well as the overall property, are below the 30 percent capture rate threshold as determined by SC Housing.

### Projected Absorption Period

We were unable to obtain absorption information from any of the rent comparables, but have included information from six properties within a 20-mile radius of the Subject, which are shown in the following table.

ABSORPTION								
Property Name	Program	Tenancy	City	Year	Total Units	Absorption (units/month)	Distance to Subject	
The Babcock	Market	Family	Columbia	2023	208	11	6.2 miles	
Dove Place	LIHTC	Family	Columbia	2021	48	12	8.6 miles	
O'neil Pointe	LIHTC	Family	Columbia	2020	42	14	1.6 miles	
The Pointe At Elmwood	LIHTC	Family	Columbia	2020	58	15	5.6 miles	
Killian Terrace	LIHTC	Family	Columbia	2020	288	29	4.5 miles	
Sola Station	Market	Family	Columbia	2019	339	15	7.5 miles	
<b>Average Affordable</b>					<b>109</b>	<b>18</b>		
<b>Average Market</b>					<b>274</b>	<b>13</b>		
<b>Overall Average</b>					<b>164</b>	<b>16</b>		

If the Subject were hypothetically 100 percent vacant, we would expect the property to experience a brief lease-up period due to the sustained demand for good quality affordable housing in the area. Assuming the Subject were completely vacant, we believe that the Subject would experience an absorption rate of approximately 20 units per month. This equates to an absorption period of approximately eight to nine months. This is considered largely hypothetical as the Subject is currently 100 percent occupied and maintains a waiting list. Further, current tenants are expected to remain income eligible to remain at the property post-renovation. As such, we believe the Subject will stabilize within one to two months of rehabilitation completion.

### Market Conclusions

Overall, the local multifamily market is performing well with a 0.5 percent vacancy rate among all of the surveyed comparable projects. All of the LIHTC comparables maintain waiting lists, suggesting pent-up demand for affordable housing. One of the four LIHTC comparables are achieving maximum allowable rents. Given the rents being achieved by the comparables, and considering the Subject’s condition post-renovations, we have concluded to achievable LIHTC rents at the 2023 maximum allowable level for the Subject’s one, two, and three-bedroom units, respectively. These conclusions provide rent advantages between 31 to 36 percent relative to our market rent conclusions. Overall, we believe that the Subject will continue to be successful in the local market as proposed.

### Recommendations

We believe there is ample demand for the Subject in the PMA and the market supports the renovation of the Subject development as proposed. The overall capture rate for the Subject’s units is 13.8 percent, which is within the acceptable demand threshold and considered good. Individual capture rates by bedroom type range from 4.9 to 19.9 percent, which are all considered good to excellent. Between 2023 and market entry, the total number of households is expected to increase at a rate of 0.5 percent annually in the PMA. The Subject is located within 1.5 miles of most community services and facilities that tenants would utilize on a consistent basis.

One of the LIHTC comparables, Brookside Crossing, reported rents at the 2023 maximum allowable levels. Three of the four properties are fully occupied and maintain extensive waiting lists, indicating supply constrained conditions. Furthermore, based on the comparable data, we believe the Subject would achieve LIHTC rents at the 2023 maximum allowable levels. These conclusions provide rent advantages between 31 to 36 percent relative to our market rent conclusions. Overall, we believe that the Subject will continue to be successful in the local market as proposed.

Further, there are several apparent strengths of the Subject's site, development scheme, and market, which include:

- Rehabilitation of the Subject's units will positively impact the surrounding area by improving the Subject's condition and street appeal, and thus representing an improvement to the neighborhood.
- The Subject is an existing property that is 100 percent occupied and maintains a waiting list, and all tenants are expected to remain income qualified post-renovation.
- The Subject will be in good condition upon completion and will fill a need for good quality/newly renovated affordable housing in Columbia and the surrounding areas.

As such, we recommend the Subject as proposed, with no suggested modifications.

### **Long Term Impact on Existing LIHTC Properties in the PMA**

There are just two vacant LIHTC units among the five LIHTC comparables surveyed, and four of the LIHTC comparables maintain waiting lists. Within the PMA, there are 20 existing LIHTC properties. Overall, the availability of LIHTC housing targeting low and moderate incomes is considered constrained given the demographic growth of the PMA, and high occupancy rates. The renovation of the Subject will improve the existing affordable housing stock in the PMA, and will preserve affordable units for low-income families.



## Rent versus Buy Analysis

We performed a rent/buy analysis. Our inputs assume a three-bedroom, single-family home listing on Zillow in the Subject's neighborhood with a purchase price of \$196,000 and an interest rate of 7.00 percent for a 30-year fixed mortgage with a ten percent down payment. This was compared with the cost to rent the Subject's three-bedroom unit at 60 percent of AMI. The analysis indicates that with a monthly differential of \$367, it is more affordable to rent than purchase a home. The rent buy analysis is illustrated in the following table.

<b>RENT BUY ANALYSIS</b>			
<b>Property Type:</b>	<b>Three-Bedroom Single-Family Home</b>		
Sales Price			\$196,000
Down Payment at 10.0%			\$19,600
Mortgage Amount			\$176,400
Current Interest Rate			7.00%
<i>Homeownership Costs</i>		<i>Monthly</i>	<i>% of Home Value</i>
Mortgage Payment		\$1,174	
Property Taxes		\$204	1.25%
Private Mortgage Insurance*		\$74	0.50%
Maintenance		\$327	2.00%
Utility Costs**		\$140	
Tax Savings		(\$307)	
			Annual
			\$14,083
			\$2,450
			\$882
			\$3,920
			\$1,680
			(\$3,685)
<b>Cost Comparison</b>			
		<i>Monthly</i>	<i>Annual</i>
Costs of Homeownership		\$1,611	\$19,330
Cost of Renting At Subject		\$1,244	\$14,928
<b>Differential</b>		<b>\$367</b>	<b>\$4,402</b>
<b>Cost of Occupancy</b>			
<i>Homeownership</i>			
Closing Costs		3.00%	\$5,880
Down Payment at 10.0%		10.00%	\$19,600
<b>Total</b>			<b>\$25,480</b>
<i>Subject Rental</i>			
First Month's Rent		\$1,244	
Security Deposit		\$1,244	
<b>Total</b>		<b>\$2,488</b>	

\* Based upon 0.50% of mortgage amount

\*\* Utility Costs Included in Rent at Subject

As illustrated, the cash due at occupancy category totals over \$25,000 for the down payment and closing costs. The cash necessary for homeownership is still a barrier to many families. In general, first-time home buyers have difficulty saving for a down payment. Further, renting at the Subject is more affordable than purchasing even a modest single-family home in the Subject's neighborhood. Overall, we believe the Subject will face limited competition from homeownership.

**WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY**

**Exhibit S-2 SCSHFDA Primary Market Area Analysis Summary:**

Development Name: Wyndham Pointe Total # of Units: 180

Address: 80 Brighton Hill Road, Columbia, SC 29223 # of LIHTC/TEB Units: 180

PMA Boundary: Hard Scrabble Road, Sloan Road, and North Brickyard Road to the north, Polo Road, Interstate 20, and Interstate 77 to the east, Forest Drive and Harden Street to the south, and Harden Street, Fairfield Road, North Main Street, Interstate 20, and U.S. Highway 21 to the west.

Development Type: Family Farthest Boundary Distance to Subject: 6 Miles

Rental Housing Stock (found on page <b>38</b> )				
Type	# of Properties	Total Units	Vacant Units	Average Occupancy
All Rental Housing	49	7,491	178	97.62%
Market-Rate Housing	26	5,087	165	96.76%
Assisted/Subsidized Housing not to include LIHTC	3	500	3	99.40%
LIHTC (All that are stabilized)*	20	1,904	10	99.47%
Stabilized Comparables**	11	2,099	37	98.20%
Non Stabilized Comparables	0	0	0	-

\* Stabilized occupancy of at least 93% (Excludes projects still in initial lease up).

\*\* Comparables - comparable to the subject and those that compete at nearly the same rent levels and tenant profile, such as age, family and income.

Subject Development				HUD Area FMR			Highest Unadjusted Comparable Rent		
Units	Bedrooms	Baths	Size (SF)	Proposed Tenant Rent	Per Unit	Per SF	Advantage (%)	Per Unit	Per SF
24	1	1	1,036	\$890	\$1,100	\$ 1.06	19.09%	\$1,350	\$ 1.30
96	2	2	1,232	\$1,075	\$1,246	\$ 1.01	13.72%	\$1,565	\$ 1.27
60	3	2	1,444	\$1,244.00	\$1,595	\$ 1.10	22.01%	\$1,830	\$ 1.27
<b>Gross Potential Rent Monthly*</b>				\$ 199,200	\$ 241,716		17.59%		

\*Market Advantage is calculated using the following formula: Gross HUD FMR (minus) Net Proposed Tenant Rent (divided by) Gross HUD FMR. The calculation should be expressed as a percentage and rounded to two decimal points.

Demographic Data (found on page <b>43</b> )					
	2010		2023		2025
Renter Households	14,072	45.90%	15,593	47.40%	15,556
Income-Qualified Renter HHs (LIHTC)	-	-	3,185	20.40%	3,111
Income-Qualified Renter HHs (MR)	-	-	-	-	-

Targeted Income-Qualified Renter Household Demand (found on page <b>52</b> )						
Type of Demand	50%	60%	Market Rate	Editable	Editable	Overall
Renter Household Growth		28				28
Existing Households (Overburd + Substand)		1,682				1,682
Homeowner conversion (Seniors)		-				-
Other:		-				-
Less Comparable/Competitive Supply		402				402
<b>Net Income-qualified Renters HHs</b>	<b>0</b>	<b>1,308</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1,308</b>

Capture Rates (found on page <b>52</b> )					
Targeted Population	50%	60%	Market Rate		Overall
Capture Rate		13.80%			13.80%

Absorption Rate (found on page <b>53</b> )		
Absorption Period	<u>2</u>	months.

Bedroom Type	# of Units	Proposed Tenant Paid Rent	Net Proposed Tenant Rent by Bedroom Type	Gross HUD FMR	Gross HUD FMR Total	Tax Credit Gross Rent Advantage
1BR	24	\$867	\$20,808	\$1,100	\$26,400	21.2%
2BR	96	\$1,047	\$100,512	\$1,246	\$119,616	16.0%
3BR	60	\$1,212	\$72,720	\$1,595	\$95,700	24.0%
<b>Totals</b>	<b>180</b>		<b>\$194,040</b>		<b>\$241,716</b>	<b>19.7%</b>

Source: SC Housing, Novogradac, December 2023

# **I. PROJECT DESCRIPTION**

**PROJECT DESCRIPTION**

- Development Location:** The Subject is located at 1400 Trinity Drive, Columbia, Richland County, SC 29209.
- Construction Type:** The Subject consists of six three-story, garden-style buildings, as well as a single-story community building. The buildings are wood-frame with hardiplank siding exteriors with pitched asphalt roofs.
- Year Built:** The Subject was originally built in 2007. Based on our physical inspection, the Subject exhibits good overall condition.
- Occupancy Type:** For SC Housing purposes, the tenancy is considered general population. The targeted tenancy is not age-restricted and will consist primarily of households ranging from one to five-persons.
- Target Income Group:** The Subject will continue to target income-qualified family households with one to five persons. As proposed, the annual household income levels for the Subject’s units will range from \$32,400 to \$54,420.
- Special Population Target:** None.
- Number of Units by Unit Type:** The Subject includes 24 one-bedroom units, 96 two-bedroom units, and 60 three-bedroom units.
- Number of Buildings and Stories:** The Subject consists of six three-story, garden-style buildings.
- Unit Mix:** The following table summarizes the Subject’s unit sizes.

**UNIT MIX AND SQUARE FOOTAGE**

Unit Type	Number of Units	Unit Size (SF)	Net Leasable Area (SF)
1BR/1BA	24	1,036	24,864
2BR/2BA	96	1,232	118,272
3BR/2BA	60	1,444	86,640
<b>Total</b>	<b>180</b>		<b>229,776</b>

**Proposed Rents and Utility Allowance:**

The following table details the Subject’s proposed rents, utility allowances, unit mix, and unit sizes. Post-renovation, all 180 units will continue to be LIHTC restricted to families earning 60 percent of the AMI or below.

**PROPOSED RENTS**

Unit Type	Unit Size (SF)	# Units	Asking Rent	Utility Allowance* @60%	Gross Rent	2023 LIHTC Maximum Allowable Gross Rent	2024 HUD Fair Market Rent
1BR/1BA	1,036	24	\$890	\$55	\$945	\$945	\$1,110
2BR/2BA	1,232	96	\$1,075	\$59	\$1,134	\$1,134	\$1,246
3BR/2BA	1,444	60	\$1,244	\$65	\$1,309	\$1,309	\$1,595
<b>Total</b>		<b>180</b>					



\*Based on the Housing Authority of the City of Columbia, South Carolina (Columbia Housing), effective 2/27/2023

**Utility Structure/Allowance:**

The tenant is responsible for electric cooking, electric heating, electric water heating, central air conditioning, and general electric expenses. The landlord is responsible for cold water, sewer, and trash removal expenses, along with all common area utilities. The Subject’s utility allowances are dictated by HUD. There are no proposed changes to the tenant-paid utility structure post-renovation. The utility structure varies among the comparable properties; we have adjusted the comparable’ rents in accordance with the utility schedule obtained from the Housing Authority of the City of Columbia, South Carolina (Columbia Housing), effective February 27, 2023, which is the most recent available.

**Community Amenities:**

The Subject’s community amenities include a computer lab, courtyard, community room, central laundry facility, on-site management, off-street parking, exercise facility, swimming pool, and playground. Post-renovation, the Subject’s community amenities will remain the same. The comparables generally offer generally similar to slightly inferior area amenities relative to the Subject. These properties lack features including exercise facilities, and swimming pools, both of which the Subject offers. The differences in amenities have been accounted for in our determination of the Subject’s achievable rents.

**Unit Amenities:**

The Subject’s unit amenities include blinds, carpeting, a coat closet, exterior storage, washer/dryer hook-ups, and central heating and cooling. Kitchen appliances include a range/oven, dishwasher, garbage disposal, and refrigerator. Post-renovation, in-unit amenities will remain the same. All of the comparables offer similar to slightly superior in-unit amenities relative to the Subject. These properties generally offer features including in-unit washer/dryers and patios, both of which the Subject lacks. The differences in amenities have been accounted for in our determination of the Subject’s achievable rents.

**Current Rents & Unit Mix:**

According to the rent roll dated August 31, 2023 (most recent available), the Subject is currently fully occupied. Further, the Subject has operated with vacancy and collection loss ranging from 5.3 to 11.3 percent between 2020 and 2023 year to date. The following table summarizes current tenant-paid rents at the Subject.



**CURRENT TENANT PAID RENTS\***

Unit Type	Unit Size (SF)	# Units	Asking Rent	Utility Allowance**	Gross Rent	2023 HERA Maximum Allowable Gross Rent***	2024 HUD Fair Market Rent
<b>@60%</b>							
1BR/1BA	1,036	24	\$890	\$77	\$967	\$967	\$996
2BR/2BA	1,232	96	\$1,075	\$86	\$1,161	\$1,161	\$1,125
3BR/2BA	1,444	60	\$1,244	\$96	\$1,340	\$1,340	\$1,442
<b>Total</b>		<b>180</b>					

\*Based on rent roll dated 8/31/2023

\*\*Based on the Housing Authority of the City of Columbia, South Carolina (Columbia Housing), effective 2/27/2023

\*\*\*For Projects Placed in service prior to 1/1/2009

**Scope of Renovations:**

Total renovation hard costs are estimated to be approximately \$45,000 per unit. According to the relocation plan provided by the developer, renovations will occur with minimal disruption to tenants; however, residents may be temporarily relocated during the day. In the event that a unit will need extensive work, tenants may be relocated to a nearby hotel paid for by the developer. No tenants will be permanently displaced. The scope of renovations includes, but is not limited to:

- Parking and drives: full mill, overlay, and striping
- Concrete repair and replace all steps, sidewalks, & curbs
- Ground work improvements
- Site lighting
- Replace mailboxes
- ADA compliant community spaces
- Replace and add additional exterior lighting
- Paint exterior
- Attic insulation
- Repair masonry
- Replace vinyl siding
- Installation of new drywall
- Replace all exterior/interior doors
- Upgrade kitchens to include flooring, painting, cabinets, and countertops
- New appliance package refrigerator, garbage disposal, range, range hood, dishwasher
- Upgrade bathrooms to include flooring, painting, cabinets, toilets & sinks
- Upgrade to energy efficient lighting package
- Replace bathtub and shower surround
- Install new blinds
- Replace outlets and covers as needed
- New HVAC equipment
- ADA upgrades

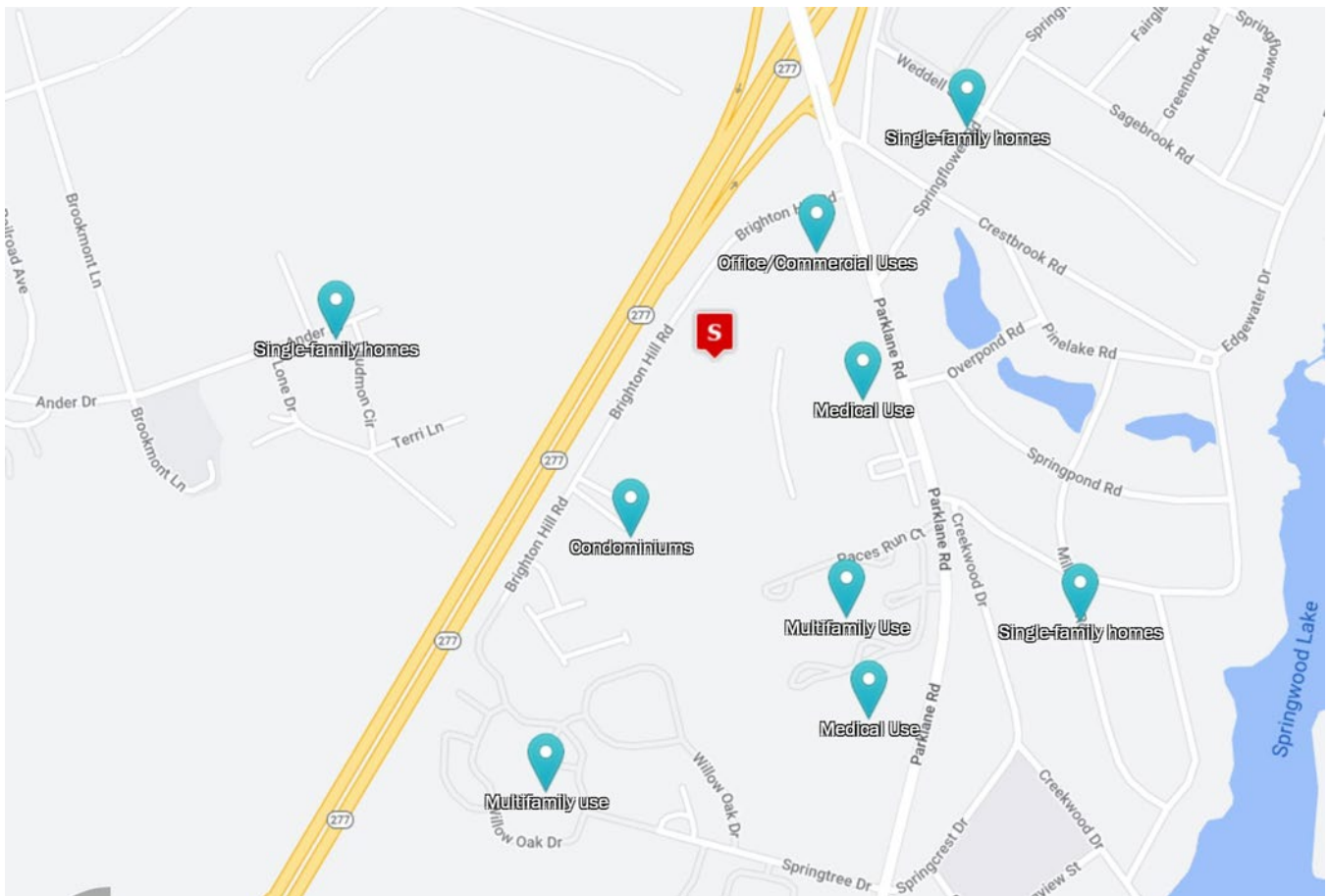
## **II. SITE DESCRIPTION**

**SITE DESCRIPTION**

The location of a multifamily property can have a substantial negative or positive impact upon the performance, safety, and appeal of the project. The site description discusses the physical features of the site, as well as the layout, access issues, and traffic flow.

**Date of Site Visit:** November 7, 2023.

**Surrounding Land Uses:** The following map and pictures illustrate the surrounding land uses.



Source: Google Earth, November 2023

**Physical Features of Site:**

The Subject site is approximately 16.85 acres, or 733,986 square feet in size. The site is irregular but functional in shape and is generally level. The site is improved with six three-story, garden-style buildings, along with a single-story community building, which were originally built in 2007. According to the City of Columbia Zoning map, the Subject site is zoned GC (General Commercial), which allows for a broad range of uses including multifamily development.

**Location/Surrounding Uses:**

The Subject is located in a mixed-use area of northeastern Columbia. To the north of the Subject, across Brighton Hill Road, is a thick tree line, followed by State Route 277. Further north of the Subject is undeveloped heavily wooded land. To the east of the Subject, across a thick tree line, is the NHC Healthcare Parklane campus, which

consists of a nursing home and assisted living facility in good condition. Also to the east is an office building and parking lot in good condition. Immediately south of the Subject is heavily wooded undeveloped land, followed by Paces Run Apartments, a market rate multifamily development in average condition which has been utilized as a comparable in this analysis. Immediately west of the Subject is heavily wooded undeveloped land, followed by Brighton Hill Condos, a condominium development in average condition. Additionally, State Route 277, which provides highway access throughout the Columbia metropolitan area, is accessible via Parklane Road, approximately 0.3 miles to the northeast of the Subject. Retail and commercial occupancy appeared to be greater than 90 percent at the time of our inspection. There are no observed negative influences or nuisances in the area.

Photographs of Subject Site and Surrounding Uses



Subject's exterior



Subject's exterior



Subject's exterior



Subject's exterior and typical surface parking



Fitness center



Leasing office



Central laundry facility



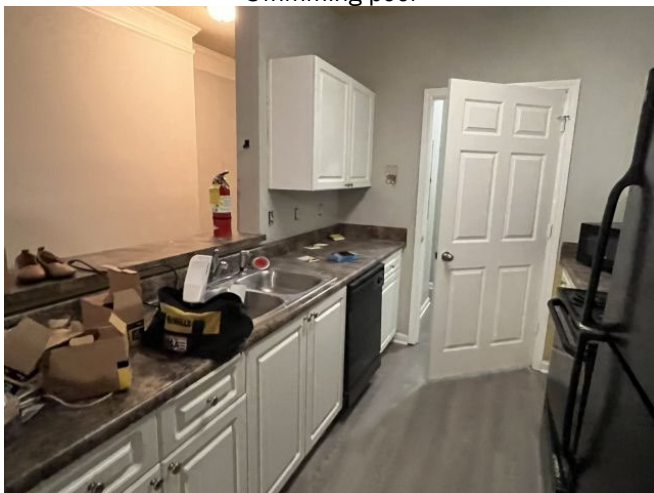
Lobby



Swimming pool



Typical bedroom



Typical kitchen



Typical bathroom



Typical living area



Typical kitchen



Typical bedroom



Typical bedroom



Typical bathroom



Typical bathroom



Typical living area



Typical kitchen



Typical bedroom



Typical bedroom



Typical bedroom



Typical bathroom





Typical bathroom



Typical living room



Brighton Hill Road north of the Subject



Typical commercial use in Subject neighborhood



Typical commercial use in Subject neighborhood



Typical single-family home in Subject neighborhood



Typical single-family home in Subject neighborhood



Typical single-family home in Subject neighborhood



View southwest along Brighton Hill Road



View northeast along Brighton Hill Road

**Visibility/Views:**

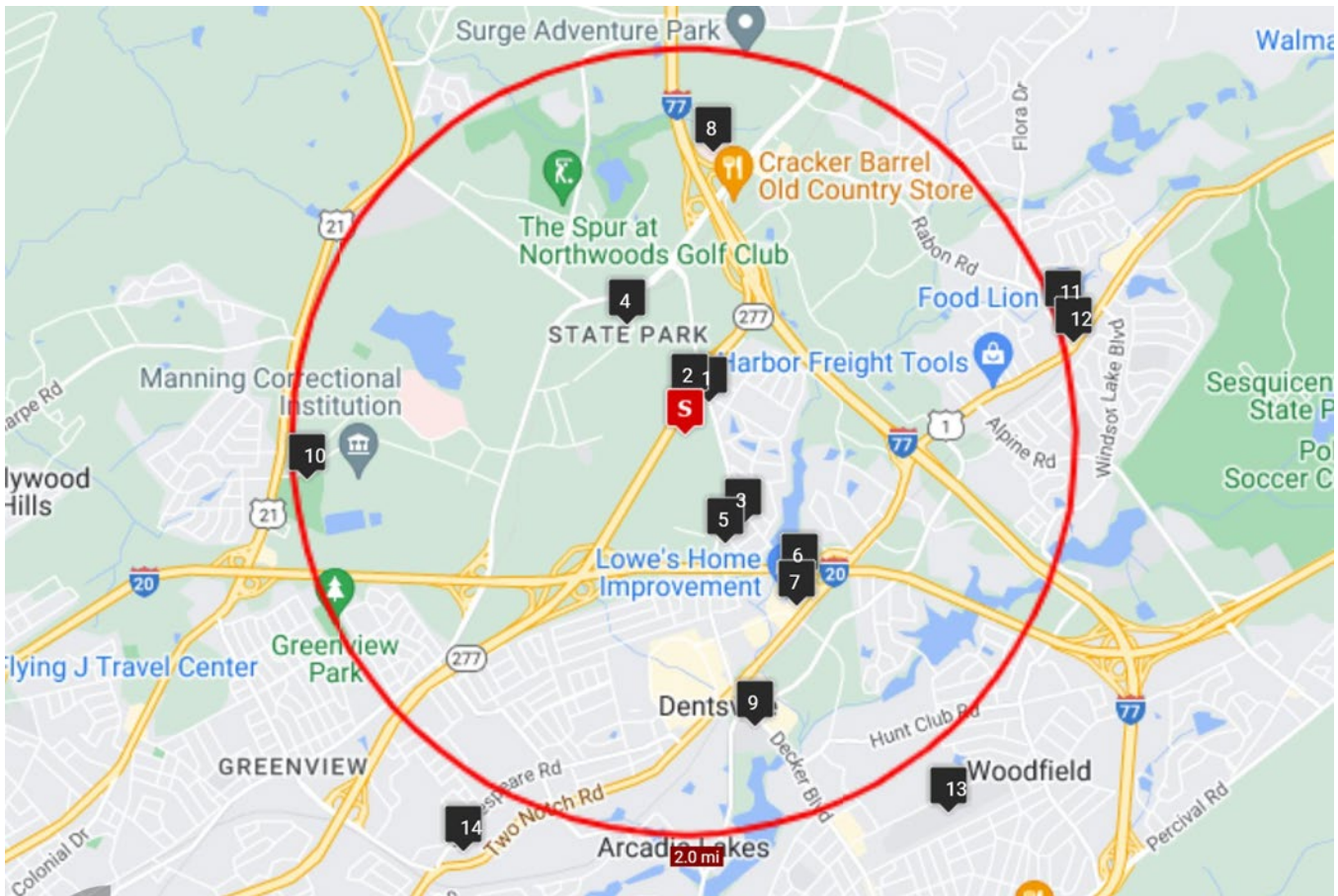
The Subject has average visibility from Brighton Hill Road. Views to the north of the Subject consist of Brighton Hill Road followed by a dense tree line. Views to the east, south, and west of the Subject consists of heavily wooded land. Overall, visibility and views are considered average/typical.

**Detrimental Influence:**

At the time of the site inspection, there were no detrimental influences observed that would adversely impact the marketability of the Subject.

**Proximity to Local Services:**

The Subject is located in reasonable proximity to local services including medical services and retail. The following table details the Subject’s distance from key locational amenities. A *Locational Amenities Map* and table is following.



**LOCATIONAL AMENITIES**

#	Service or Amenity	Distance to Subject	#	Service or Amenity	Distance to Subject
1	Bus Stop	0.2 miles	8	Providence Health-Northeast	1.4 miles
2	Circle K	0.2 miles	9	Dent Middle School	1.5 miles
3	Joseph Keels Elementary School	0.5 miles	10	Meadowlake Park	1.9 miles
4	Post Office	0.6 miles	11	Food Lion	2.0 miles
5	Richland Library Northeast	0.6 miles	12	Walgreens	2.0 miles
6	Fire Station	0.9 miles	13	Richland Northeast High School	2.3 miles
7	Bank of America	1.0 miles	14	Police Department	2.4 miles

**Availability of Public Transportation:** Central Midlands Regional Transit Authority (The COMET) provides public transportation throughout Richland County and the Columbia region. The COMET operates 39 fixed-routes throughout the region. Fixed route fares are \$2.00, while discounted fares are \$1.00 for seniors ages 65 and older, persons with disabilities, veterans, Medicare card holders, and youth ages 16 to 18. All daily passes are available for \$4.00, while discounted daily fares are available for \$2.00. Children 15 years and under ride free. The nearest bus stop is located 0.2 miles northwest of the Subject, located at the intersection of Brighton Hill Road and Parklane Road, and is served by Route 75.

**Road/Infrastructure Proposed Improvements:** We witnessed no current road improvements within the Subject’s immediate neighborhood.

**Crime Rates:** The following table illustrates crime statistics in the Subject’s PMA compared to the MSA. Any number above 100 is above average compared to the national crime index, while any number below 100 indicates lower than average crime.

**2023 CRIME INDICES**

	<b>PMA</b>	<b>MSA</b>
<b>Total Crime*</b>	<b>196</b>	<b>151</b>
<b>Personal Crime*</b>	<b>249</b>	<b>172</b>
Murder	245	151
Rape	202	140
Robbery	214	131
Assault	271	196
<b>Property Crime*</b>	<b>189</b>	<b>149</b>
Burglary	194	148
Larceny	185	150
Motor Vehicle Theft	209	141

Source: Esri Demographics 2023, Novogradac, November 2023  
 \*Unweighted aggregations

Total crime indices in the Subject's location are above the national average and the surrounding MSA. The Subject’s security features include controlled access and perimeter fencing. Furthermore, video surveillance will be added at the Subject post-renovation. Eight of the comparables reported offering some sort of security feature; as such, the Subject will be competitive in terms of security features.

**Access and Traffic Flow:** The Subject is accessible via Brighton Hill Road, a lightly-trafficked street that provides access to Parklane Road. Parklane Road is a moderately trafficked four-lane road which generally traverses northwest and southeast and provides access to State Route 277, approximately 0.3 mile to the northeast of the Subject. State Route 277 provides highway access throughout the Columbia metropolitan area as well as to Interstate 77, approximately 0.8 miles to the north. Overall, access is considered average/typical, and traffic flow in the Subject’s immediate area is considered light.

**Positive/Negative Attributes:**

The Subject has good access to area retail and community services in Columbia, most of which are within 1.3 miles of the Subject site. The Subject is considered to be in an adequate location for an affordable multifamily development.

### **III. MARKET AREA**

**PRIMARY MARKET AREA**

For the purpose of this study, it is necessary to define the market area, or the area from which potential tenants for the project are likely to be drawn. In some areas, residents are very much “neighborhood oriented” and are generally very reluctant to move from the area where they have grown up. In other areas, residents are much more mobile and will relocate to a completely new area, especially if there is an attraction such as affordable housing at below market rents.

The Subject is located in the northeastern portion of Columbia, South Carolina. Columbia is located in a central portion of South Carolina and is part of the Columbia, SC Metropolitan Statistical Area, which is comprised of Richland, Lexington, Saluda, Kershaw, Fairfield, and Calhoun Counties. According to the US Census Bureau, Columbia had a population of 137,541 persons in 2021. The PMA for the Subject covers approximately 37.9 square miles and consists of a northeastern portion of the city of Columbia including the neighborhoods of Colonial Heights, Forest Acres, Rockbridge Village, Woodfield, Greenview, and Dentsville. The boundaries of the PMA are defined as Hard Scrabble Road, Sloan Road, and North Brickyard Road to the north, Polo Road, Interstate 20, and Interstate 77 to the east, Forest Drive and Harden Street to the south, and Harden Street, Fairfield Road, North Main Street, Interstate 20, and U.S. Highway 21 to the west. Given the natural boundaries, we anticipate that the vast majority of the Subject’s tenants will come from within the boundaries of the PMA. We confirmed the PMA with property managers in the area, including the Subject’s property manager. Approximate distances to the farthest boundaries of the PMA in each direction are as follows:

- North: 3.6 miles
- East: 4.0 miles
- South: 6.0 miles
- West: 5.9 miles

The PMA includes all or part of the following census tracts:

CENSUS TRACTS IN PMA (28)	
450790114.21	450790108.04
450790114.20	450790111.02
450790114.11	450790113.07
450790108.06	450790005.00
<b>450790108.05</b>	450790110.00
450790113.03	450790009.00
450790114.12	450790010.00
450790106.00	450790111.01
450790107.03	450790010.00
450790108.03	450790010.00
450790113.05	450790011.00
450790020.00	450790112.02
450790001.00	450790113.06
450790109.00	450790115.01

The primary market area has been identified based upon conversations with management at market rate and LIHTC properties in the area as well as other market participants in addition to demographic characteristics of census tracts within the area. Although we believe that neighborhood characteristics and geographic/infrastructure barriers are typically the best indicators of PMA boundaries, we have also examined demographic characteristics of census tracts in and around the Columbia area in an effort to better identify the Subject’s PMA. It is important to note however that we do not base our PMA determinations on census tract information alone as these boundaries are rarely known to the average person. The secondary market area (SMA) for the Subject is considered to be the Columbia, SC Metropolitan Statistical Area, which is comprised of Richland, Lexington, Saluda, Kershaw, Fairfield, and Calhoun Counties.

As per SC Housing guidelines, we have provided a table that illustrates the racial characteristics of the PMA, as well as data for the MSA and nation.

**2020 POPULATION BY RACE**

	PMA		SMA		USA	
<b>Total</b>	<b>75,716</b>	-	<b>767,598</b>	-	<b>308,730,056</b>	-
White	24,927	32.9%	463,516	60.4%	223,541,434	72.4%
Black	45,629	60.3%	255,104	33.2%	38,927,189	12.6%
American Indian	232	0.3%	2,746	0.4%	2,932,204	0.9%
Asian	1,337	1.8%	12,704	1.7%	14,673,743	4.8%
Pacific	68	0.1%	658	0.1%	540,007	0.2%
Other	1,971	2.6%	17,873	2.3%	19,106,694	6.2%
Two or More Races	1,552	2.0%	14,997	2.0%	9,008,785	2.9%
<b>Total Hispanic</b>	<b>4,140</b>	-	<b>39,153</b>	-	<b>50,474,965</b>	-
Hispanic: White	1,311	31.7%	15,589	39.8%	26,733,907	53.0%
Hispanic: Black	480	11.6%	2,775	7.1%	1,243,402	2.5%
Hispanic: American Indian	66	1.6%	487	1.2%	685,143	1.4%
Hispanic: Asian	21	0.5%	161	0.4%	209,121	0.4%
Hispanic: Pacific	2	0.0%	135	0.3%	58,436	0.1%
Hispanic: Other	1,877	45.3%	16,878	43.1%	18,502,462	36.7%
Hispanic: Two or More Races	383	9.3%	3,128	8.0%	3,042,490	6.0%

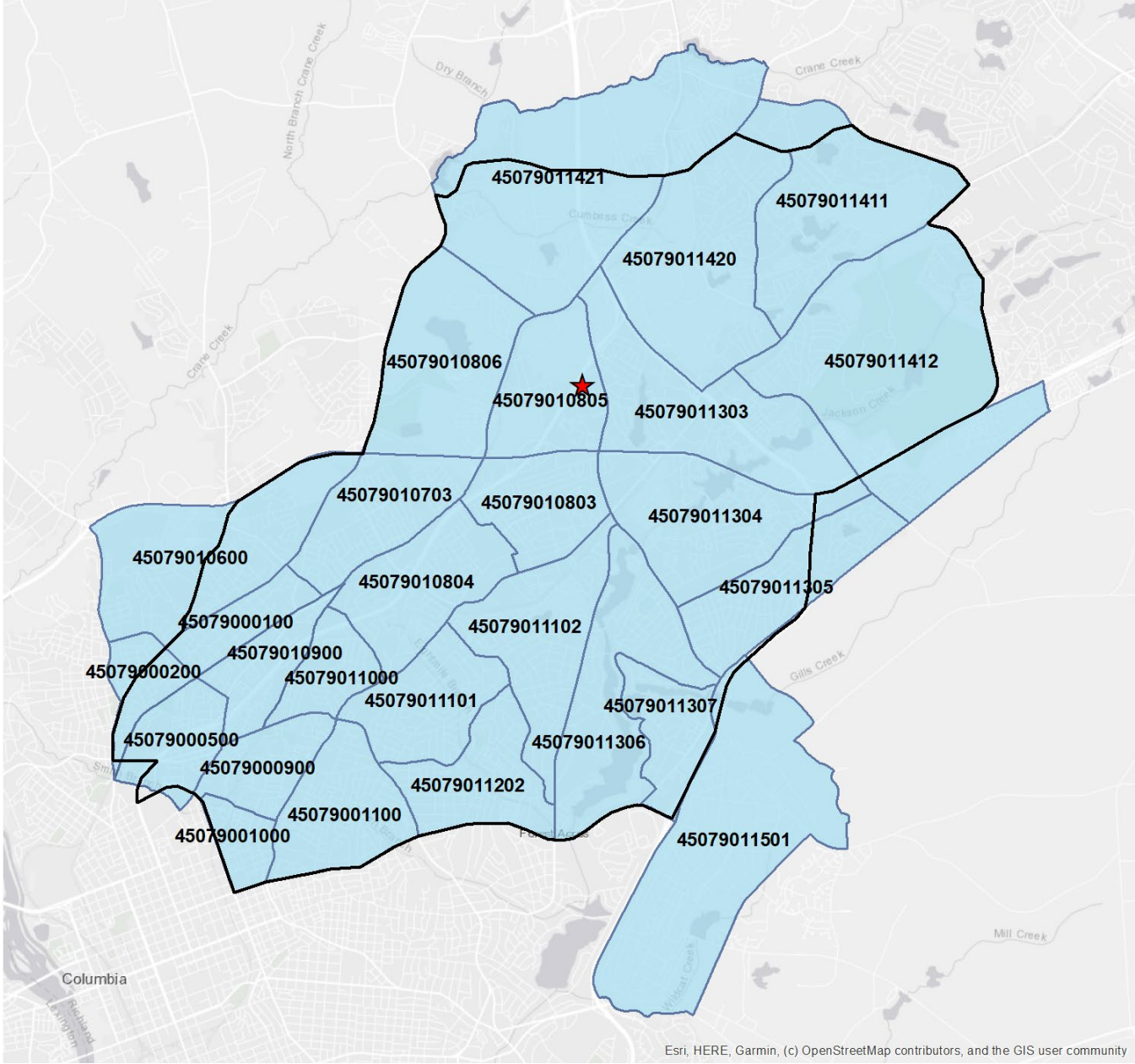
Source: Esri Demographics 2023, Novogradac, November 2023

Per specific SC Housing guidelines, we have not accounted for leakage and have assumed 100 percent of demand will come from within the PMA boundaries.

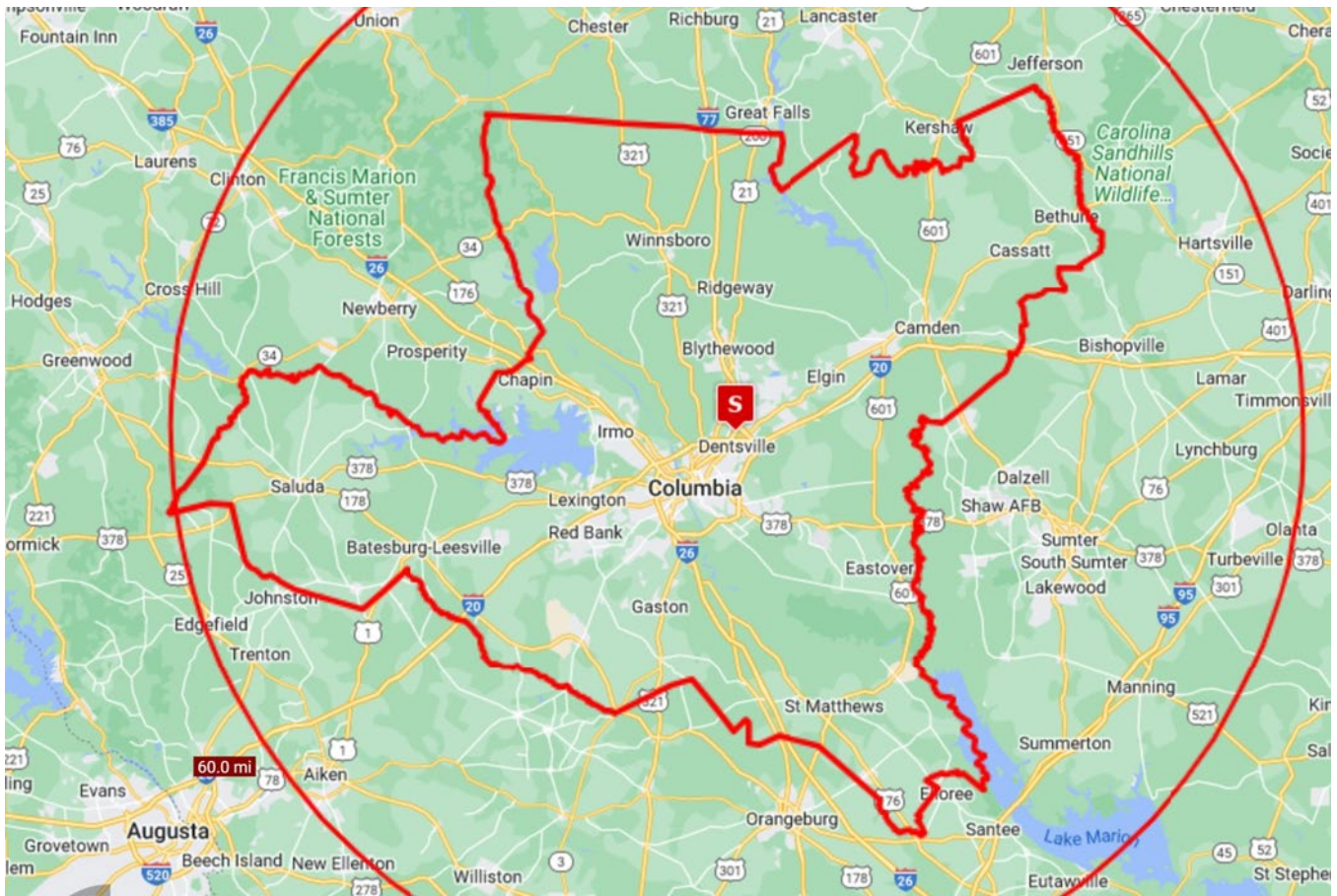
The following maps outline the PMA and MSA, and identifies the census tracts included within the PMA boundaries.



# PMA Tracts



Secondary Market Area Map



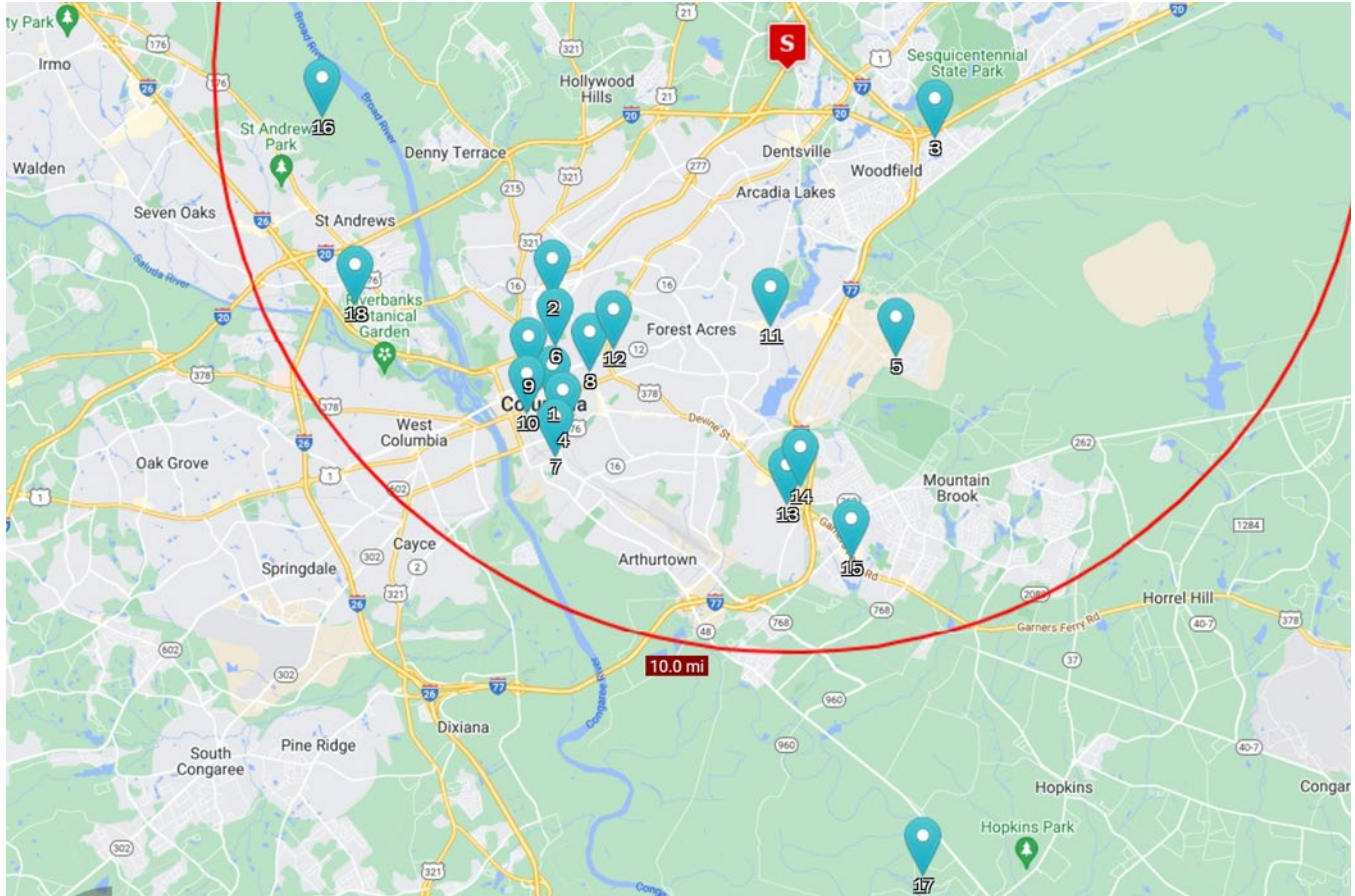
Source: Google Earth, November 2023

## **IV. MARKET AREA ECONOMY**

## MARKET AREA ECONOMY

### Map of Employment Centers

The following map illustrates the Subject's location compared to major employment centers in the surrounding areas.



Source: Google Earth, November 2023

### MAJOR EMPLOYERS – COLUMBIA, SC

#	Employer	Industry	#	Employer	Industry
1	State of South Carolina	Government	10	AT&T South Carolina	Telecommunications
2	Prisma Health	Healthcare	11	First-Citizens Bank	Banking
3	BlueCross BlueShield of SC	Finance/Insurance	12	Providence Hospital	Healthcare
4	University of South Carolina	Education	13	Dorn VA Medical Ctr	Healthcare
5	U.S. Department of the Army	Military	14	Wells Fargo	Finance/Insurance
6	Richland School District 1	Public Administration	15	Verizon Wireless	Telecommunications
7	Richland School District 2	Public Administration	16	Air National Guard	Military
8	Richland County	Public Administration	17	Westinghouse Electric	Manufacturing
9	City of Columbia	Public Administration	18	Colonial Life	Insurance

Source: South Carolina Department of Employment & Workforce, retrieved November 2023

## Employment by Industry

The following table illustrates employment by industry for the PMA as of 2023.

### 2023 - EMPLOYMENT BY INDUSTRY

Industry	PMA		USA	
	Number Employed	Percent Employed	Number Employed	Percent Employed
Healthcare/Social Assistance	4,716	13.9%	22,115,876	13.6%
Retail Trade	3,918	11.6%	16,983,329	10.4%
Educational Services	3,570	10.6%	14,946,247	9.2%
Accommodation/Food Services	3,221	9.5%	10,883,169	6.7%
Admin/Support/Waste Mgmt Svcs	2,604	7.7%	7,195,078	4.4%
Finance/Insurance	2,265	6.7%	8,135,144	5.0%
Manufacturing	2,231	6.6%	16,269,811	10.0%
Prof/Scientific/Tech Services	2,008	5.9%	13,955,403	8.6%
Public Administration	1,998	5.9%	7,857,180	4.8%
Other Services	1,803	5.3%	7,645,568	4.7%
Construction	1,463	4.3%	11,436,301	7.0%
Transportation/Warehousing	963	2.8%	9,030,239	5.5%
Information	875	2.6%	3,143,826	1.9%
Wholesale Trade	705	2.1%	3,029,965	1.9%
Real Estate/Rental/Leasing	599	1.8%	2,901,274	1.8%
Arts/Entertainment/Recreation	448	1.3%	3,578,110	2.2%
Utilities	252	0.7%	1,335,595	0.8%
Agric/Forestry/Fishing/Hunting	165	0.5%	1,800,335	1.1%
Mgmt of Companies/Enterprises	4	0.0%	216,588	0.1%
Mining	0	0.0%	572,355	0.4%
<b>Total Employment</b>	<b>33,808</b>	<b>100.0%</b>	<b>163,031,393</b>	<b>100.0%</b>

Source: Esri Demographics 2023, Novogradac, November 2023

Employment in the PMA is concentrated in healthcare/social assistance, retail trade, and educational services, which collectively comprise 36.1 percent of local employment. The large share of PMA employment in retail trade is notable as this industry is historically volatile, and prone to contraction during economic recessions. However, the PMA also has a significant share of employment in the healthcare/social assistance industry, which typically exhibits greater stability during economic recessions. Relative to the nation, the PMA features comparatively greater employment in the admin/support/waste mgmt svcs, accommodation/food services, and finance/insurance industries. Conversely, the PMA is underrepresented in the manufacturing, transportation/warehousing, and construction sectors.

The following table illustrates the changes in employment by industry from 2010 to 2023, in the Subject's PMA.

2010-2023 CHANGE IN EMPLOYMENT - PMA

Industry	2010		2023		2010-2023	
	Number Employed	Percent Employed	Number Employed	Percent Employed	Growth	Annualized Percent
Healthcare/Social Assistance	5,124	15.2%	4,716	13.9%	-408	-0.6%
Retail Trade	3,534	10.5%	3,918	11.6%	384	0.8%
Educational Services	3,727	11.0%	3,570	10.6%	-157	-0.3%
Accommodation/Food Services	1,983	5.9%	3,221	9.5%	1,238	4.8%
Admin/Support/Waste Mgmt Svcs	1,226	3.6%	2,604	7.7%	1,378	8.6%
Finance/Insurance	2,834	8.4%	2,265	6.7%	-569	-1.5%
Manufacturing	1,789	5.3%	2,231	6.6%	442	1.9%
Prof/Scientific/Tech Services	2,397	7.1%	2,008	5.9%	-389	-1.2%
Public Administration	3,636	10.8%	1,998	5.9%	-1,638	-3.5%
Other Services	1,296	3.8%	1,803	5.3%	507	3.0%
Construction	1,805	5.3%	1,463	4.3%	-342	-1.5%
Transportation/Warehousing	1,008	3.0%	963	2.8%	-45	-0.3%
Information	1,071	3.2%	875	2.6%	-196	-1.4%
Wholesale Trade	691	2.0%	705	2.1%	14	0.2%
Real Estate/Rental/Leasing	769	2.3%	599	1.8%	-170	-1.7%
Arts/Entertainment/Recreation	442	1.3%	448	1.3%	6	0.1%
Utilities	269	0.8%	252	0.7%	-17	-0.5%
Agric/Forestry/Fishing/Hunting	83	0.2%	165	0.5%	82	7.6%
Mgmt of Companies/Enterprises	93	0.3%	4	0.0%	-89	-7.4%
Mining	28	0.1%	0	0.0%	-28	-7.7%
<b>Total Employment</b>	<b>33,805</b>	<b>100.0%</b>	<b>33,808</b>	<b>100.0%</b>	<b>3</b>	<b>0.0%</b>

Source: Esri Demographics 2023, Novogradac, November 2023

Total employment in the PMA remained relatively stable between 2010 and 2023. The industries that nominally expanded most substantially during this period include admin/support/waste mgmt svcs, accommodation/food services, and other services. Conversely during this same period, the public administration, finance/insurance, and healthcare/social assistance sectors experienced the least nominal growth and contracted.

**Major Employers**

The table below shows the largest employers in the city of Columbia.

**MAJOR EMPLOYERS  
COLUMBIA, SC**

Employer Name	Industry	# Of Employees
State of South Carolina	Government	25,570
Prisma Health	Healthcare	15,000
BlueCross BlueShield of SC	Finance/Insurance	10,019
University of South Carolina	Education	5,678
United States Department of the Army	Military	5,286
Richland School District 1	Public Administration	4,065
Richland School District 2	Public Administration	3,654
Richland County	Public Administration	2,393
City of Columbia	Public Administration	2,300
AT&T South Carolina	Telecommunications	2,100
First-Citizens Bank & Trust Company	Banking	1,784
Providence Hospital	Healthcare	1,625
Dorn VA Medical Ctr	Healthcare	1,500
Wells Fargo	Finance/Insurance	1,400
Verizon Wireless	Telecommunications	1,234
Air National Guard	Military	1,200
Westinghouse Electric Co. LLC	Manufacturing	1,179
Colonial Life & Accident Insurance Co. Inc.	Insurance	1,012

Source: Richland County Economic Development, November 2023

The largest employer in Columbia is the State of South Carolina, employing 25,570 employees. The largest employers in Columbia are concentrated in the public administration, healthcare, educational services, military, and communication sectors. The concentration of employment in the healthcare/social assistance and public administration sectors is notable, as these sectors are historically known to exhibit greater stability during recessionary periods. Further, the large share of employment in public administration is due to Columbia being the state’s capital and county seat of Richland County. We believe that the diverse industries represented by major employers provide stability to the local economy.

**Expansions/Contractions**

We made several attempts to reach the Richland County Economic Development Department regarding business expansions and relocations. However, we were unable to reach anyone for an interview. Based on our internet research, the following business expansions and relocations are planned for the county.

- According to the South Carolina Department of Commerce website, FN America, LLC, a global firearms manufacturer, announced plans to expand its Richland County operations as of May 2023. The company’s \$18 million investment will create approximately 102 new jobs. The company plans to break ground in 2023 and has an estimated completion date in the first half of 2024.
- Per an article from Columbia Business Monthly, Scout Motors Inc. has plans to establish its first vehicle manufacturing plant in Blythewood. The company reported expectations to invest \$2 billion and has the potential to create 4,000 or more permanent jobs. At full capacity, the facility may be able to produce approximately 200,000 vehicles annually, with production expected to begin by the end of 2026.
- According to an article from May 2023 from businessfacilities.com, Xerxes, a manufacturing company, plans to expand its composite systems segment productions with an additional production facility in Richland County. The company is expected to bring approximately 80 jobs to the area. The facility is expected to be operational by the end of 2024 and will approach full production in 2026.

- According to an article from the South Carolina I-77 Alliance from September 2022, M.G.S. LLC, a military procurement company planned to expand in Columbia, South Carolina. The military procurement company is set to invest approximately \$3 million and will create 12 new jobs.
- According to an article from the South Carolina Department of Commerce in June 2021, Intertape Polymer Group (IPG), a packaging a protective solutions company, announced plans to expand operations in Richland County (in Blythewood). The company plans to invest over \$20 million and create approximately 135 new jobs over the next five years.
- According to an article from Richland County from April 2021, biotechnology company, Integrated Micro-Chromatography Systems Inc. (IMCS), located in Irmo, plans to invest \$4.1 million and create 31 new jobs over the next five years.
- A Trade & Industry Development article published in March 2021, indicated that Tyson Foods, Inc. will reestablish operations in Columbia, investing \$55 million over the next three to five years, creating 330 new positions. This is more than double the jobs previously maintained by Tyson in Columbia.

**WARN Notices**

The following table illustrates the contractions to the economy of Columbia provided by the South Carolina Department of Employment and Workforce for 2023 year-to-date (YTD). Employees affected represent job losses.

<b>WARN LISTINGS</b>			
<b>RICHLAND COUNTY</b>			
<b>Company</b>	<b>Industry</b>	<b>Employees Affected</b>	<b>Date</b>
Wells Fargo	Banking	525	9/28/2023
Prisma Health	Healthcare/Social Assistance	266	7/13/2023
Radius Global Solutions LLC	Customer Service	1	3/7/2023
PeerStreet, Inc.	Finance	2	2/15/2023
<b>Total</b>		<b>794</b>	

Source: South Carolina Department of Employment and Workforce, November 2023

As the table depicts, there were 794 layoffs/closures in Richland County as of 2023 year-to-date. Additionally, there has been a significant up tick in layoffs in the second half of 2023. However, it is unknown if any of these layoffs will be temporary.



## Employment and Unemployment Trends

The following table details employment and unemployment trends for the MSA from 2007 to August 2023.

### EMPLOYMENT & UNEMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

Year	MSA				USA			
	Total Employment	% Change	Unemployment Rate	Change	Total Employment	% Change	Unemployment Rate	Change
2007	352,815	-	5.3%	-	146,046,667	-	4.6%	-
2008	349,152	-1.0%	6.3%	0.9%	145,362,500	-0.5%	5.8%	1.2%
2009	337,179	-3.4%	9.2%	3.0%	139,877,500	-3.8%	9.3%	3.5%
2010	339,953	0.8%	9.5%	0.2%	139,063,917	-0.6%	9.6%	0.3%
2011	343,071	0.9%	9.0%	-0.5%	139,869,250	0.6%	9.0%	-0.7%
2012	350,699	2.2%	7.9%	-1.1%	142,469,083	1.9%	8.1%	-0.9%
2013	357,930	2.1%	6.5%	-1.4%	143,929,333	1.0%	7.4%	-0.7%
2014	367,597	2.7%	5.6%	-0.9%	146,305,333	1.7%	6.2%	-1.2%
2015	377,014	2.6%	5.4%	-0.2%	148,833,417	1.7%	5.3%	-0.9%
2016	384,046	1.9%	4.5%	-0.8%	151,435,833	1.7%	4.9%	-0.4%
2017	378,113	-1.5%	4.0%	-0.5%	153,337,417	1.3%	4.3%	-0.5%
2018	377,106	-0.3%	3.2%	-0.8%	155,761,000	1.6%	3.9%	-0.4%
2019	383,652	1.7%	2.6%	-0.6%	157,538,083	1.1%	3.7%	-0.2%
2020	374,904	-2.3%	5.1%	2.5%	147,794,750	-6.2%	8.1%	4.4%
2021	383,823	2.4%	3.7%	-1.5%	152,580,667	3.2%	5.4%	-2.7%
2022	388,695	1.3%	3.1%	-0.6%	158,291,083	3.7%	3.6%	-1.7%
2023 YTD Average*	395,509	1.8%	3.0%	-0.1%	160,773,875	1.6%	3.7%	0.0%
Aug-2022	386,401	-	3.4%	-	158,714,000	-	3.8%	-
Aug-2023	401,766	4.0%	2.3%	-1.1%	161,427,000	1.7%	3.9%	0.1%

Source: U.S. Bureau of Labor Statistics, November 2023

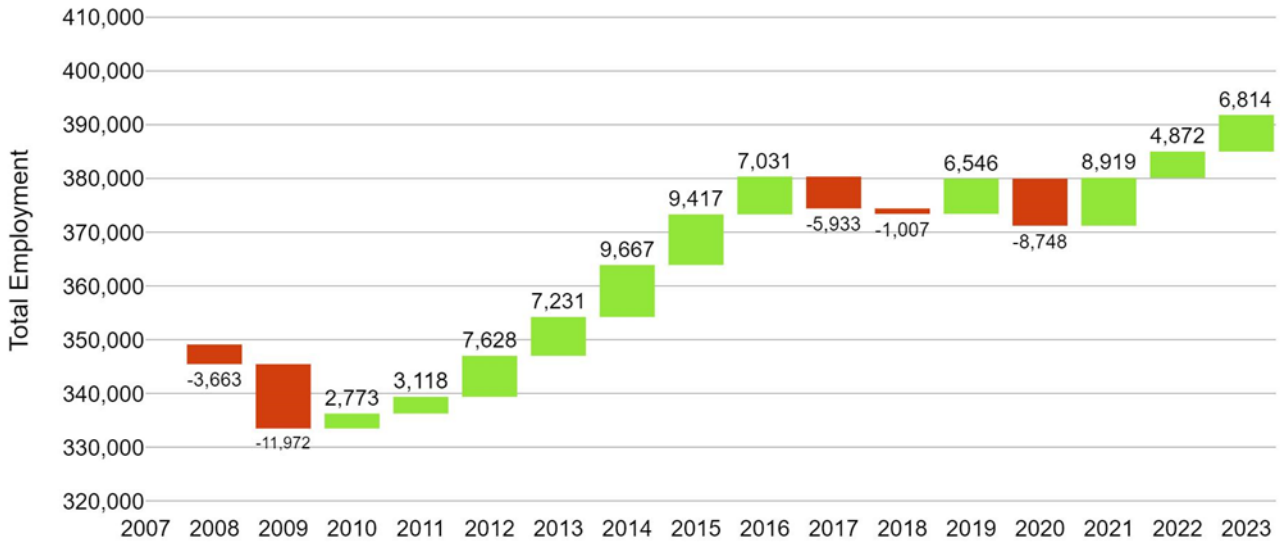
\*2023 YTD Average is through August

Between 2012 and 2019, job growth in the MSA was generally similar on average to the nation. Employment in the MSA declined by 2.3 percent in 2020 amid the pandemic, compared to 6.2 percent across the nation. The MSA subsequently recovered all pandemic-related job losses, and employment levels are currently at a post-recessionary record. As of August 2023, employment in the MSA increased at a rate of 4.0 percent year over year, compared to 1.7 percent growth across the nation.

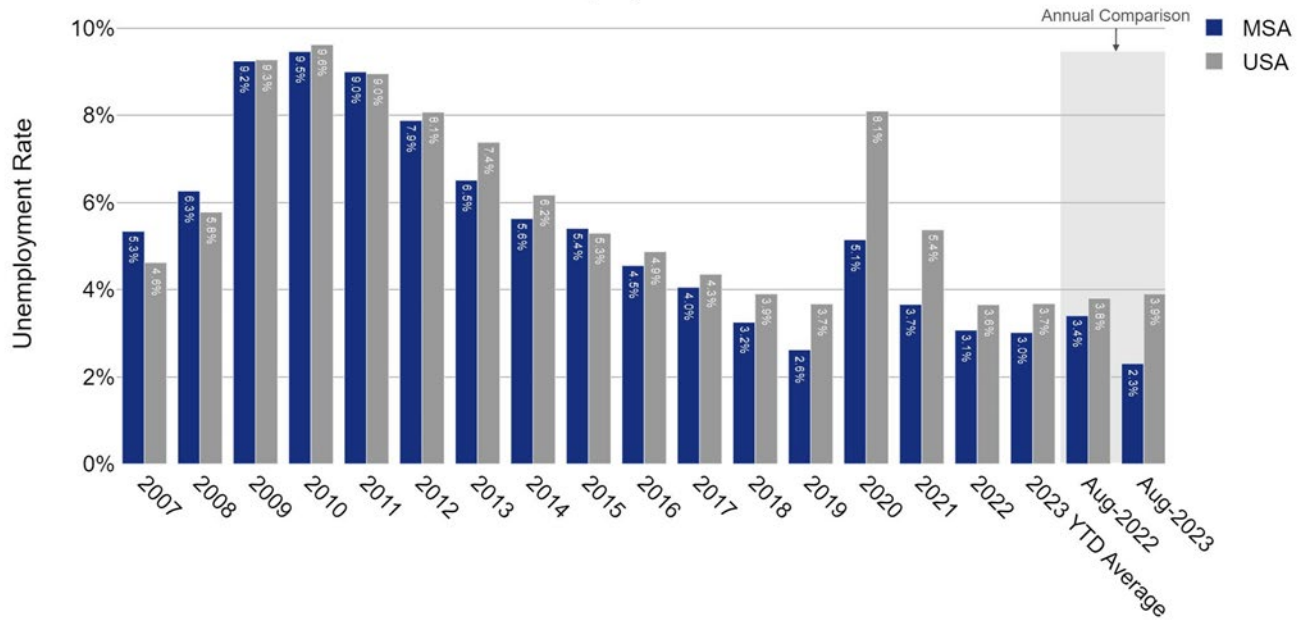
During the period preceding the onset of COVID-19 (2012 - 2019), the MSA generally experienced a lower unemployment rate relative to the nation. The MSA unemployment rate increased by 2.5 percentage points in 2020 amid the pandemic, reaching a high of 5.1 percent. For comparison, the national unemployment rate rose by 4.4 percentage points and reached a high of 8.1 percent over the same time period. According to the latest labor statistics, dated August 2023, the current MSA unemployment rate is 2.3 percent. This is well below the current national unemployment rate of 3.9 percent.

The following tables provide more illustration of the changes in employment and unemployment rate trends in the MSA.

### MSA Job Growth



### Unemployment Rate



### Housing and Economy

There are 20 LIHTC and three Section 8 properties in the Subject’s PMA, in addition to the Subject. Given the very low vacancy rates and presence of waiting lists among the LIHTC comparables, the availability of housing for low income renters is considered limited.

As noted prior, as of August 2023, the unemployment rate in the MSA is 2.3 percent, which is lower than the current national unemployment rate of 3.9 percent.

According to Zillow, the median home value of Columbia is \$203,295, up 23.4 percent from last year. However, single-family sales have begun to slow due to the recent rise in interest rates according to Realtor.com.

**Commuting Patterns**

The following table details travel time to work for residents within the PMA.

COMMUTING PATTERNS		
ACS Commuting Time to Work	Number of Commuters	Percentage
Travel Time < 5 min	706	2.2%
Travel Time 5-9 min	4,158	12.7%
Travel Time 10-14 min	5,179	15.9%
Travel Time 15-19 min	7,044	21.6%
Travel Time 20-24 min	6,662	20.4%
Travel Time 25-29 min	1,863	5.7%
Travel Time 30-34 min	3,689	11.3%
Travel Time 35-39 min	377	1.2%
Travel Time 40-44 min	224	0.7%
Travel Time 45-59 min	655	2.0%
Travel Time 60-89 min	1,086	3.3%
Travel Time 90+ min	971	3.0%

Source: Esri Demographics 2023, Novogradac, November 2023

The highest percentage of commuters travel between 15 and 19 minutes. Further, approximately 72.8 percent of households within the PMA have commute times of less than 25 minutes, indicating that most households work in the local area with many likely commuting to downtown and other communities within greater Columbia area.

**Conclusion**

Employment in the PMA is concentrated in healthcare/social assistance, retail trade, and educational services, which collectively comprise 36.1 percent of local employment. The large share of PMA employment in retail trade is notable as this industry is historically volatile, and prone to contraction during economic recessions. However, the PMA also has a significant share of employment in the healthcare/social assistance industry, which typically exhibits greater stability during economic recessions. Relative to the nation, the PMA features comparatively greater employment in the admin/support/waste mgmt svcs, accommodation/food services, and finance/insurance industries. As of August 2023, employment in the MSA is increasing at a rate of 4.0 percent, compared to 1.7 percent growth across the nation. According to the latest labor statistics, dated August 2023, the current MSA unemployment rate is 2.3 percent. This is well below the current national unemployment rate of 3.9 percent.

# **V. COMMUNITY DEMOGRAPHIC DATA**

## COMMUNITY DEMOGRAPHIC DATA

The following sections will provide an analysis of the demographic characteristics within the market area. Data such as population, households and growth patterns will be studied to determine if the Primary Market Area (PMA) and Columbia, SC Metropolitan Statistical Area, which serves as the Secondary Market Area (SMA), are areas of growth or contraction. The discussions will also describe typical household size and will provide a picture of the health of the community and the economy. The following demographic tables are specific to the populations of the PMA, MSA, and nation.

### Population Trends

The following tables illustrate (a) Total Population/Growth Rate and (b) Population by Age Group.

#### POPULATION

Year	PMA		MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2010	75,713	-	767,598	-	308,730,056	-
2023	77,400	0.2%	853,294	0.8%	337,460,311	0.7%
Projected Mkt Entry	77,821	0.3%	860,925	0.5%	339,441,843	0.3%
2028	78,499	0.3%	873,202	0.5%	342,629,524	0.3%

Source: Esri Demographics 2023, Novogradac, November 2023

#### POPULATION BY AGE GROUP

Age Cohort	PMA			
	2010	2023	Projected Mkt Entry	2028
0-4	5,377	4,723	4,767	4,839
5-9	4,691	4,478	4,461	4,434
10-14	4,509	4,554	4,505	4,426
15-19	5,629	5,304	5,307	5,312
20-24	5,922	5,780	5,895	6,080
25-29	5,624	5,229	5,326	5,483
30-34	4,904	5,077	4,960	4,773
35-39	4,307	4,977	4,855	4,659
40-44	4,194	4,642	4,716	4,836
45-49	4,783	3,930	4,185	4,595
50-54	5,447	4,083	4,057	4,016
55-59	5,025	4,507	4,335	4,058
60-64	4,145	4,890	4,643	4,245
65-69	3,013	4,534	4,512	4,477
70-74	2,455	3,747	3,898	4,142
75-79	2,261	2,750	2,970	3,325
80-84	1,736	2,005	2,124	2,315
85+	1,691	2,191	2,304	2,485
<b>Total</b>	<b>75,713</b>	<b>77,401</b>	<b>77,822</b>	<b>78,500</b>

Source: Esri Demographics 2023, Novogradac, November 2023

Between 2010 and 2023, annual population growth in the PMA trailed that of the MSA and the overall nation. Through 2028, the PMA is projected to experience annual population growth of 0.3 percent, which is similar to the overall nation, but slower than the MSA. Overall, the historical and projected population growth rates in the PMA and MSA are positive indications of future demand for all types of housing.

The population in the PMA in 2023 was concentrated in the age groups of 20 to 24, 15 to 19, 25 to 29, and 30 to 34, and combined these age groups represent 27.6 percent of the total population in the PMA. Through

market entry and 2028, the age groups of 20 to 24, 25 to 29, 15 to 19, and 30 to 34 will have the highest representation in the PMA.

## HOUSEHOLD TRENDS

### Total Number of Households, Average Household Size, and Group Quarters

Year	HOUSEHOLDS					
	PMA		MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2010	30,642	-	294,848	-	116,709,667	-
2023	32,868	0.5%	342,770	1.2%	129,912,564	0.9%
Projected Mkt Entry	33,207	0.5%	347,106	0.7%	131,131,668	0.5%
2028	33,752	0.5%	354,081	0.7%	133,092,836	0.5%

Source: Esri Demographics 2023, Novogradac, November 2023

Household growth in the PMA occurred at an annual rate of 0.5 percent between 2010 and 2023, which was below that of the MSA and the overall nation. Annualized PMA growth is projected to be 0.5 percent through market entry and 2028, similar to the nation.

Year	AVERAGE HOUSEHOLD SIZE					
	PMA		MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2010	2.35	-	2.47	-	2.57	-
2023	2.23	-0.4%	2.40	-0.2%	2.53	-0.1%
Projected Mkt Entry	2.22	-0.2%	2.39	-0.2%	2.53	-0.2%
2028	2.20	-0.2%	2.38	-0.2%	2.51	-0.2%

Source: Esri Demographics 2023, Novogradac, November 2023

As of 2023, the average household size in the PMA is 2.23 persons. The average household size is expected to decrease by 0.2 percent in the PMA from 2023 through 2028.

Year	POPULATION IN GROUP QUARTERS					
	PMA		MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2010	3,719	-	40,347	-	8,273,022	-
2023	4,086	0.7%	30,701	-1.8%	8,230,258	0.0%
Projected Mkt Entry	-	-	-	-	-	-
2028	-	-	-	-	-	-

Source: Esri Demographics 2023, Novogradac, November 2023

The number of persons in group quarters increased in the PMA between 2010 and 2023, while the MSA declined, and the overall nation remained stable. Note that forecasted data for the population in group quarters is not available as growth in this population is more often a result of changes to local facilities than macro demographic trends.

## Households by Tenure

The table below depicts household growth by tenure from 2010 through 2028.

TENURE PATTERNS PMA				
Year	Owner-Occupied Units		Renter-Occupied Units	
	Number	Percentage	Number	Percentage
2010	16,570	54.1%	14,072	45.9%
2023	17,275	52.6%	15,593	47.4%
Projected Mkt Entry	17,651	53.2%	15,556	46.8%
2028	18,255	54.1%	15,497	45.9%

Source: Esri Demographics 2023, Novogradac, November 2023

As of 2023, the percentage of renter-occupied units is estimated to be 47.4 percent. This is above the estimated 35.0 percent of renter-occupied units across the overall nation (not shown). The percentage and number of renter-occupied units in the PMA is expected to decrease through market entry and 2028.

## Household Income Distribution

The following table depicts household income in the PMA from 2023 to 2028.

Income Cohort	HOUSEHOLD INCOME DISTRIBUTION - PMA					
	2023		Projected Mkt Entry		2028	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	3,789	11.5%	3,699	11.1%	3,553	10.5%
\$10,000-19,999	3,920	11.9%	3,838	11.6%	3,707	11.0%
\$20,000-29,999	4,248	12.9%	4,158	12.5%	4,013	11.9%
\$30,000-39,999	3,756	11.4%	3,731	11.2%	3,692	10.9%
\$40,000-49,999	2,730	8.3%	2,812	8.5%	2,944	8.7%
\$50,000-59,999	2,412	7.3%	2,378	7.2%	2,323	6.9%
\$60,000-74,999	2,990	9.1%	3,008	9.1%	3,036	9.0%
\$75,000-99,999	3,257	9.9%	3,344	10.1%	3,485	10.3%
\$100,000-124,999	1,910	5.8%	2,028	6.1%	2,219	6.6%
\$125,000-149,999	1,282	3.9%	1,358	4.1%	1,481	4.4%
\$150,000-199,999	1,049	3.2%	1,167	3.5%	1,357	4.0%
\$200,000+	1,525	4.6%	1,685	5.1%	1,942	5.8%
<b>Total</b>	<b>32,868</b>	<b>100.0%</b>	<b>33,207</b>	<b>100.0%</b>	<b>33,752</b>	<b>100.0%</b>

Source: HISTA Data / Ribbon Demographics 2023, Novogradac, November 2023

As of 2023, approximately 63.3 percent of households in the PMA earn less than \$60,000 annually.

### Renter Household Income Distribution

The following tables depict renter household incomes in the PMA in 2023, the market entry date, and 2028.

RENTER HOUSEHOLD INCOME DISTRIBUTION - PMA						
Income Cohort	2023		Projected Mkt Entry		2028	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	2,742	17.6%	2,669	17.2%	2,552	16.5%
\$10,000-19,999	2,370	15.2%	2,299	14.8%	2,186	14.1%
\$20,000-29,999	2,621	16.8%	2,542	16.3%	2,416	15.6%
\$30,000-39,999	1,852	11.9%	1,840	11.8%	1,821	11.8%
\$40,000-49,999	1,268	8.1%	1,322	8.5%	1,408	9.1%
\$50,000-59,999	1,153	7.4%	1,115	7.2%	1,054	6.8%
\$60,000-74,999	1,136	7.3%	1,119	7.2%	1,092	7.0%
\$75,000-99,999	1,125	7.2%	1,172	7.5%	1,248	8.1%
\$100,000-124,999	472	3.0%	527	3.4%	615	4.0%
\$125,000-149,999	286	1.8%	306	2.0%	339	2.2%
\$150,000-199,999	304	1.9%	340	2.2%	397	2.6%
\$200,000+	264	1.7%	304	2.0%	369	2.4%
<b>Total</b>	<b>15,593</b>	<b>100.0%</b>	<b>15,556</b>	<b>100.0%</b>	<b>15,497</b>	<b>100.0%</b>

Source: HISTA Data / Ribbon Demographics 2023, Novogradac, November 2023

As of 2023, approximately 77.0 percent of renter households in the PMA earn less than \$60,000 annually.

### Renter Households by Number of Persons in the Household

The following table illustrates household size for renter households in the PMA.

RENTER HOUSEHOLDS BY NUMBER OF PERSONS - PMA						
Household Size	2023		Projected Mkt Entry		2028	
	Number	Percentage	Number	Percentage	Number	Percentage
1 Person	6,140	39.4%	6,153	39.6%	6,174	39.8%
2 Persons	4,227	27.1%	4,202	27.0%	4,163	26.9%
3 Persons	2,545	16.3%	2,532	16.3%	2,512	16.2%
4 Persons	1,544	9.9%	1,543	9.9%	1,542	10.0%
5+ Persons	1,137	7.3%	1,125	7.2%	1,106	7.1%
<b>Total Households</b>	<b>15,593</b>	<b>100%</b>	<b>15,556</b>	<b>100%</b>	<b>15,497</b>	<b>100%</b>

Source: HISTA Data / Ribbon Demographics 2023, Novogradac, November 2023

The Subject offers one, two, and three-bedroom units and will generally cater to households consisting of one to five people. Thus, as indicated in the previous table and among those that are income-qualified, the Subject will support the majority of renter household sizes within the PMA.

### Conclusion

The PMA experienced an annual population growth rate of 0.2 percent between 2010 and 2023, which was behind the surrounding MSA and the nation during the same time period. Population growth in the PMA is expected to increase at an annual rate of 0.3 percent through market entry and 2028, slower than the MSA, but similar to the overall nation. The average household size is expected to decrease slightly in the PMA from 2023 through market entry and 2028, similar to the MSA and nation during the same time period. Renter households with incomes less than \$60,000 represent 77.0 percent of the renter households in the PMA in 2023, and this share is expected to decrease slightly through market entry and 2028. Many of these households would income-qualify at the Subject.



# **VI. PROJECT-SPECIFIC DEMAND ANALYSIS**

**PROJECT SPECIFIC DEMAND ANALYSIS**

The following demand analysis evaluates the potential amount of qualified households, which the Subject would have a fair chance at capturing. The structure of the analysis is based on the guidelines provided by SC Housing.

**1. Income Restrictions**

LIHTC rents are based upon a percentage of the Area Median Gross Income (AMI), adjusted for household size and utilities. HUD and South Carolina State Housing Finance and Development Authority (SC Housing) will estimate the relevant income levels, with annual updates. The income limits are calculated assuming that the maximum net rent a household will pay is 30 percent of its household income at the appropriate AMI level.

Household size is assumed to be 1.5 persons per bedroom for general population projects. For example, for one-bedroom units we assume the average income limits of a one and two-person household and for three-bedroom units we assume the average income limits for a four- and five-person household. This applies to family projects. For elderly projects, we have used a maximum income based on two-person households. Additionally, HUD assumes that one-person households are accommodated in one-bedroom units. For LIHTC income purposes, the actual size of the household is used.

To assess the likely number of tenants in the market area eligible to live in the Subject, we use Census information as provided by ESRI Business Information Solutions to estimate the number of potential tenants who would qualify to occupy the Subject as a LIHTC project.

The maximum income levels are based upon information obtained from the Rent and Income Limits Guidelines Table as accessed from Novogradac’s website.

**2. Affordability**

As discussed above, the maximum income for LIHTC units is set by HUD/SC Housing while the minimum is based upon the minimum income needed to support affordability. This is based upon a standard of 35 percent. Lower and moderate-income families typically spend greater than 30 percent of their income on housing. These expenditure amounts can range higher than 50 percent depending upon market area. However, the 30 to 40 percent range is generally considered a reasonable range of affordability. SC Housing guidelines utilize 35 percent for families and 40 percent for senior households, which we will use to set the minimum income levels for the demand analysis.

**3. Minimum and Maximum Income Levels**

The following tables illustrate the minimum and maximum allowable income levels for the Subject’s units.

2023 FAMILY INCOME LIMITS		
Unit Type	Minimum Allowable Income	Maximum Allowable Income
		@60%
1BR	\$32,400	\$40,320
2BR	\$38,880	\$45,360
3BR	\$44,880	\$54,420

#### 4. Demand

The demand for the Subject will be derived from two sources: existing households and new households. These calculations are illustrated in the following tables.

##### 4a. Demand from New Renter Households

The number of new households entering the market is the first level of demand calculated. South Carolina State Housing Finance and Development Authority (SC Housing) has requested that we utilize 2023 as the base year for the analysis, with demographic projections to June 2025 (Subject’s market entry/anticipated completion date). This is considered the gross potential demand for the Subject property. This number is adjusted for income eligibility and renter tenure.

##### 4b. Demand from Existing Households

Demand for existing households is estimated by summing three sources of potential tenants, plus a fourth allowance for other demand, if deemed applicable. (a) The first source is tenants who are rent overburdened. These are households who are paying over 35 percent of their income in housing costs for general occupancy housing or over 40 percent of their income in housing costs for elderly housing. This number is estimated using Census or American Community Survey (ACS) data. (b) The second source is households living in substandard housing. This number is estimated using 2021 Census data. (c) The third source is those seniors likely to move from their own homes into rental housing. Data from the American Housing Survey and interviews with area senior apartment property managers regarding the number or share of current renters who originated from homeownership must be used to refine the analysis. The Subject is urban and generally not likely to attract homeowners seeking to downsize into a family rental unit. (d) The fourth potential “Other” source of demand is demand which may exist that is not captured by the above methods, which may be allowed if the factors used can be fully justified.

##### 4c. Additions to Supply

South Carolina State Housing Finance and Development Authority (SC Housing) guidelines indicate that units in all competing projects that were allocated, under construction, placed in service, or funded in 2022 as well as those units at properties that have not reached a stabilized occupancy of 93 percent should be removed from the demand analysis.

According to the South Carolina State Housing Finance and Development Authority (SC Housing) LIHTC allocation lists from 2020 to 2023, there have been three competitive properties, Midtown at Bull, Garden Lakes, and Addison Pointe, that were allocated tax credits in the PMA. As such, we have accounted for these development’s 402 units in our demand analysis as these developments are expected to be complete by the end of 2025. A breakout of additions to supply by AMI level is shown in the following table.

**ADDITIONS TO SUPPLY**

Unit Type	30% AMI	40% AMI	50% AMI	60% AMI	Unrestricted	Overall
0BR						0
1BR				144		144
2BR				182		182
3BR				76		76
4BR						0
5BR						0
<b>Total</b>	-	-	-	<b>402</b>	-	<b>402</b>

#### 5. Method – Capture Rates

The above calculations and derived capture rates are illustrated in the following table.



**60% AMI**

**NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @60%**

Minimum Income Limit		\$32,400		Maximum Income Limit		\$54,420	
Income Category	New Renter Households - Total Change		Income Brackets	Percent within Cohort	Renter Households within Bracket		
	in Households PMA 2023 to Prj Mrkt Entry June 2025						
\$0-9,999	-73	197.9%	\$0	0.0%	0		
\$10,000-19,999	-71	191.7%	\$0	0.0%	0		
\$20,000-29,999	-79	213.5%	\$0	0.0%	0		
\$30,000-39,999	-12	32.3%	\$7,598	76.0%	-9		
\$40,000-49,999	54	-145.8%	\$9,999	100.0%	54		
\$50,000-59,999	-38	103.1%	\$4,421	44.2%	-17		
\$60,000-74,999	-17	45.8%	\$0	0.0%	0		
\$75,000-99,999	47	-128.1%	\$0	0.0%	0		
\$100,000-124,999	55	-149.0%	\$0	0.0%	0		
\$125,000-149,999	20	-55.2%	\$0	0.0%	0		
\$150,000-199,999	36	-96.9%	\$0	0.0%	0		
\$200,000+	40	-109.4%	\$0	0.0%	0		
<b>Total</b>	<b>-37</b>	<b>100.0%</b>		<b>-75.7%</b>	<b>28</b>		

**POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @60%**

Minimum Income Limit		\$32,400		Maximum Income Limit		\$54,420	
Income Category	Total Renter Households PMA 2023		Income Brackets	Percent within Cohort	Households within Bracket		
\$0-9,999	2,742	17.6%	\$0	0.0%	0		
\$10,000-19,999	2,370	15.2%	\$0	0.0%	0		
\$20,000-29,999	2,621	16.8%	\$0	0.0%	0		
\$30,000-39,999	1,852	11.9%	\$7,598	76.0%	1,407		
\$40,000-49,999	1,268	8.1%	\$9,999	100.0%	1,268		
\$50,000-59,999	1,153	7.4%	\$4,421	44.2%	510		
\$60,000-74,999	1,136	7.3%	\$0	0.0%	0		
\$75,000-99,999	1,125	7.2%	\$0	0.0%	0		
\$100,000-124,999	472	3.0%	\$0	0.0%	0		
\$125,000-149,999	286	1.8%	\$0	0.0%	0		
\$150,000-199,999	304	1.9%	\$0	0.0%	0		
\$200,000+	264	1.7%	\$0	0.0%	0		
<b>Total</b>	<b>15,593</b>	<b>100.0%</b>		<b>20.4%</b>	<b>3,185</b>		

**ASSUMPTIONS - @60%**

Persons in Household	OBR	1BR	2BR	3BR	4BR+
1	0%	80%	20%	0%	0%
2	0%	20%	80%	0%	0%
3	0%	0%	60%	40%	0%
4	0%	0%	0%	100%	0%
5+	0%	0%	0%	100%	0%

Tenancy	Family	% of Income towards Housing	35%
Rural/Urban	Urban	Maximum # of Occupants	5

**Demand from New Renter Households 2023 to June 2025**

Income Target Population	@60%
New Renter Households PMA	-37
Percent Income Qualified	-75.7%
<b>New Renter Income Qualified Households</b>	<b>28</b>

**Demand from Existing Households 2023**

**Demand from Rent Overburdened Households**

Income Target Population	@60%
Total Existing Demand	15,593
Income Qualified	20.4%
Income Qualified Renter Households	3,185
Percent Rent Overburdened Prj Mrkt Entry June 2025	51.6%
<b>Rent Overburdened Households</b>	<b>1,643</b>

**Demand from Living in Substandard Housing**

Income Qualified Renter Households	3,185
Percent Living in Substandard Housing	1.2%
<b>Households Living in Substandard Housing</b>	<b>39</b>

**Total Demand**

Total Demand from Existing Households	1,682
Total New Demand	28
<b>Total Demand (New Plus Existing Households)</b>	<b>1,710</b>

**By Bedroom Demand**

One Person	39.6%	676
Two Persons	27.0%	462
Three Persons	16.3%	278
Four Persons	9.9%	170
Five Persons	7.2%	124
<b>Total</b>	<b>100.0%</b>	<b>1,710</b>

**To place Person Demand into Bedroom Type Units**

Of one-person households in 1BR units	80%	541
Of two-person households in 1BR units	20%	92
Of one-person households in 2BR units	20%	135
Of two-person households in 2BR units	80%	369
Of three-person households in 2BR units	60%	167
Of three-person households in 3BR units	40%	111
Of four-person households in 3BR units	100%	170
Of five-person households in 3BR units	100%	124
<b>Total Demand</b>		<b>1,710</b>

Total Demand (Subject Unit Types)			Additions to Supply			Net Demand		
1 BR	633	-	144	=	489			
2 BR	672	-	182	=	490			
3 BR	405	-	76	=	329			
<b>Total</b>	<b>1,710</b>		<b>402</b>		<b>1,308</b>			
Developer's Unit Mix			Net Demand			Capture Rate		
1 BR	24	/	489	=	4.9%			
2 BR	96	/	490	=	19.6%			
3 BR	60	/	329	=	18.3%			
<b>Total</b>	<b>180</b>		<b>1,308</b>		<b>13.8%</b>			

**60% AMI - Large Households**

**NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @60% - Large Family**

Minimum Income Limit		\$32,400	Maximum Income Limit		\$54,420
Income Category	New Renter Households - Total Change in Households PMA 2023 to Prj Mrkt Entry June 2025		Income Brackets	Percent within Cohort	Renter Households within Bracket
\$0-9,999	-73	197.9%	\$0	0.0%	0
\$10,000-19,999	-71	191.7%	\$0	0.0%	0
\$20,000-29,999	-79	213.5%	\$0	0.0%	0
\$30,000-39,999	-12	32.3%	\$7,598	76.0%	-9
\$40,000-49,999	54	-145.8%	\$9,999	100.0%	54
\$50,000-59,999	-38	103.1%	\$4,421	44.2%	-17
\$60,000-74,999	-17	45.8%	\$0	0.0%	0
\$75,000-99,999	47	-128.1%	\$0	0.0%	0
\$100,000-124,999	55	-149.0%	\$0	0.0%	0
\$125,000-149,999	20	-55.2%	\$0	0.0%	0
\$150,000-199,999	36	-96.9%	\$0	0.0%	0
\$200,000+	40	-109.4%	\$0	0.0%	0
<b>Total</b>	<b>-37</b>	<b>100.0%</b>		<b>-75.7%</b>	<b>28</b>

**POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @60% - Large Family**

Minimum Income Limit		\$32,400	Maximum Income Limit		\$54,420
Income Category	Total Renter Households PMA 2023		Income Brackets	Percent within Cohort	Households within Bracket
\$0-9,999	2,742	17.6%	\$0	0.0%	0
\$10,000-19,999	2,370	15.2%	\$0	0.0%	0
\$20,000-29,999	2,621	16.8%	\$0	0.0%	0
\$30,000-39,999	1,852	11.9%	\$7,598	76.0%	1,407
\$40,000-49,999	1,268	8.1%	\$9,999	100.0%	1,268
\$50,000-59,999	1,153	7.4%	\$4,421	44.2%	510
\$60,000-74,999	1,136	7.3%	\$0	0.0%	0
\$75,000-99,999	1,125	7.2%	\$0	0.0%	0
\$100,000-124,999	472	3.0%	\$0	0.0%	0
\$125,000-149,999	286	1.8%	\$0	0.0%	0
\$150,000-199,999	304	1.9%	\$0	0.0%	0
\$200,000+	264	1.7%	\$0	0.0%	0
<b>Total</b>	<b>15,593</b>	<b>100.0%</b>		<b>20.4%</b>	<b>3,185</b>

**ASSUMPTIONS - 60% - Large Family**

Tenancy Rural/Urban	Family Urban	% of Income towards Housing		35%	
		Maximum # of Occupants		5	
Persons in Household	OBR	1BR	2BR	3BR	4BR+
1	0%	0%	0%	0%	0%
2	0%	0%	0%	0%	0%
3	0%	0%	60%	40%	0%
4	0%	0%	20%	80%	0%
5+	0%	0%	0%	100%	0%

<b>Demand from New Renter Households 2023 to June 2025</b>					
Income Target Population			@60%		
New Renter Households PMA			-37		
Percent Income Qualified			-75.7%		
<b>New Renter Income Qualified Households</b>			<b>28</b>		
<b>Demand from Existing Households 2023</b>					
<b>Demand from Rent Overburdened Households</b>					
Income Target Population			@60%		
Total Existing Demand			15,593		
Income Qualified			20.4%		
Income Qualified Renter Households			3,185		
Percent Rent Overburdened Prj Mrkt Entry June 2025			51.6%		
<b>Rent Overburdened Households</b>			<b>1,643</b>		
<b>Demand from Living in Substandard Housing</b>					
Income Qualified Renter Households			3,185		
Percent Living in Substandard Housing			1.2%		
<b>Households Living in Substandard Housing</b>			<b>39</b>		
<b>Total Demand</b>					
Total Demand from Existing Households			1,682		
Total New Demand			28		
<b>Total Demand (New Plus Existing Households)</b>			<b>1,710</b>		
<b>By Bedroom Demand</b>					
One Person		39.6%	676		
Two Persons		27.0%	462		
Three Persons		16.3%	278		
Four Persons		9.9%	170		
Five Persons		7.2%	124		
<b>Total</b>		<b>100.0%</b>	<b>1,710</b>		
<b>To place Person Demand into Bedroom Type Units</b>					
Of one-person households in 2BR units		0%	0		
Of two-person households in 2BR units		0%	0		
Of three-person households in 2BR units		60%	167		
Of four-person households in 2BR units		20%	34		
Of three-person households in 3BR units		40%	111		
Of four-person households in 3BR units		80%	136		
Of five-person households in 3BR units		100%	124		
<b>Total Demand</b>			<b>572</b>		
<b>Total Demand (Subject Unit Types)</b>		<b>Additions to Supply</b>		<b>Net Demand</b>	
1 BR	-	-	-	=	-
2 BR	201	-	182	=	19
3 BR	371	-	76	=	295
<b>Total</b>	<b>572</b>		<b>258</b>		<b>314</b>
<b>Developer's Unit Mix</b>		<b>Net Demand</b>		<b>Capture Rate</b>	
1 BR	-	/	-	=	-
2 BR	96	/	19	=	507.6%
3 BR	60	/	295	=	20.4%
<b>Total</b>	<b>156</b>		<b>314</b>		<b>49.7%</b>

## Conclusions

Several factors affect the indicated capture rates and are discussed following.

- This demand analysis does not measure the PMA’s or Subject’s ability to attract additional or latent demand into the market from elsewhere by offering an affordable option. We believe this to be moderate and therefore the demand analysis is somewhat conservative in its conclusions because this demand is not included.

The following table illustrates demand and net demand for the Subject’s units.

### DEMAND AND NET DEMAND

	HH at @60% AMI (\$32,400 to \$54,420)	Large HH at @60% AMI (\$32,400 to \$54,420)	Overall Demand
Demand from New Households (age and income appropriate)	28	28	28
<b>PLUS</b>	<b>+</b>	<b>+</b>	<b>+</b>
Demand from Existing Renter Households - Rent Overburdened Households	1,643	1,643	1,643
<b>PLUS</b>	<b>+</b>	<b>+</b>	<b>+</b>
Demand from Existing Renter Households - Substandard Housing	39	39	39
<b>=</b>	<b>=</b>	<b>=</b>	<b>=</b>
<b>Sub Total</b>	<b>1,710</b>	<b>1,710</b>	<b>1,710</b>
Demand from Existing Households - Elderly Homeowner Turnover (Limited to 20% where applicable)	0	0	0
<b>Equals Total Demand</b>	<b>1,710</b>	<b>1,710</b>	<b>1,710</b>
<b>Less</b>	<b>-</b>	<b>-</b>	<b>-</b>
New Supply	402	402	402
<b>Equals Net Demand</b>	<b>1,308</b>	<b>1,308</b>	<b>1,308</b>

Note that the above *Demand and Net Demand* estimates include all income-eligible renter households. These estimates are then adjusted to reflect only the size-appropriate households by bedroom type in the following *Capture Rate Analysis*.

### CAPTURE RATE ANALYSIS CHART

Bedrooms/AMI Level	Total Demand	Supply	Net Demand	Units Proposed	Capture Rate
1BR - @60%	633	144	489	24	4.9%
2BR - @60%	672	182	490	96	19.6%
3BR - @60%	405	76	329	60	18.3%
Overall	1,710	402	1,308	180	13.8%

As the analysis illustrates, the Subject’s capture rates range from 4.9 to 19.9 percent, with an overall capture rate of 13.8 percent. This indicates there is adequate continued demand for the Subject. Further, capture rates for all units, as well as the overall property, are below the 30 percent capture rate threshold as determined by SC Housing.

### Absorption Rate Projected Absorption Period

We were unable to obtain absorption information from any of the rent comparables, but have included information from six properties within a 20-mile radius of the Subject, which are shown in the following table.



**ABSORPTION**

Property Name	Program	Tenancy	City	Year	Total Units	Absorption (units/month)	Distance to Subject
The Babcock	Market	Family	Columbia	2023	208	11	6.2 miles
Dove Place	LIHTC	Family	Columbia	2021	48	12	8.6 miles
O'neil Pointe	LIHTC	Family	Columbia	2020	42	14	1.6 miles
The Pointe At Elmwood	LIHTC	Family	Columbia	2020	58	15	5.6 miles
Killian Terrace	LIHTC	Family	Columbia	2020	288	29	4.5 miles
Sola Station	Market	Family	Columbia	2019	339	15	7.5 miles
<b>Average Affordable</b>					<b>109</b>	<b>18</b>	
<b>Average Market</b>					<b>274</b>	<b>13</b>	
<b>Overall Average</b>					<b>164</b>	<b>16</b>	

If the Subject were hypothetically 100 percent vacant, we would expect the property to experience a brief lease-up period due to the sustained demand for good quality affordable housing in the area. Assuming the Subject were completely vacant, we believe that the Subject would experience an absorption rate of approximately 20 units per month. This equates to an absorption period of approximately eight to nine months. This is considered largely hypothetical as the Subject is currently 100 percent occupied and maintains a waiting list. Further, current tenants are expected to remain income eligible to remain at the property post-renovation. As such, we believe the Subject will stabilize within one to two months of rehabilitation completion.

## **VII. SUPPLY ANALYSIS**

**SURVEY OF COMPARABLE PROJECTS**

Comparable properties are examined on the basis of physical characteristics, i.e. building type, age/quality, level of common amenities, absorption, as well as similarity in rent. We attempted to compare the Subject to complexes from the competing market to provide a broader picture of the health and available supply in the market. We surveyed many properties that we chose not to use in the survey because they were not as comparable to the Subject as others that were selected.

**Description of Property Types Surveyed/Determination of Number of Tax Credit Units**

We interviewed numerous properties to determine which ones were considered “true” competition for the Subject. Several properties in the market area were interviewed and not included because of their dissimilarity or other factors. Fully subsidized properties were excluded due to differing rent structures from the Subject; however, it should be noted that subsidized properties in the market area were found to have stable occupancies. The following table illustrates the excluded properties.

**EXCLUDED PROPERTIES WITHIN THE PMA**

Property Name	Program	Tenancy	Reason for Exclusion
Ames Manor Apartments	LIHTC	Family	Inferior condition
Gable Oaks	LIHTC	Family	Closer comparables available
Waters At Fairfield	LIHTC	Family	Closer comparables available
Palmetto Garden Apartments	Market	Family	Inferior condition
Arcadias Edge	Market	Family	Closer comparables available
Chimneys At Brookfield	Market	Family	Closer comparables available
Mauldin Village	Market	Family	Closer comparables available
Landings At Forest Acres	Market	Family	Closer comparables available

**New Supply**

We were unable to reach a contact with the City of Columbia Planning Department regarding planned, proposed, or under construction developments in the PMA. Therefore, we conducted online research and utilized a CoStar new construction report. According to CoStar, there are no proposed, planned, or under construction developments within the PMA.

**LIHTC Competition / Recent and Proposed Construction**

According to the South Carolina State Housing Finance and Development Authority (SC Housing) LIHTC allocation lists from 2020 to 2023, five properties have been allocated tax credits within the PMA within the last three years, which are detailed below. It should be noted that as of the date of this report, 2023 allocation lists have not yet been released.

- Midtown at Bull was allocated LIHTCs in 2021 for the new construction of 90 one, two, and three-bedroom units restricted to families earning 20, 50, 60, and 70 percent of the AMI or less. Construction is expected to be completed in 2024, and will directly compete with the Subject.
- Garden Lakes was allocated LIHTCs in 2021 for the new construction of 288 one, two, and three-bedroom units restricted to families earning 60 percent of the AMI or less. Construction is expected to be completed in 2024, and will directly compete with the Subject.
- The Haven at Palmer Pointe was allocated LIHTCs in 2021 for the new construction of 150 one and two-bedroom units restricted to seniors earning 60 percent of the AMI or less. Construction is expected to be completed in 2024, and will not directly compete with the Subject as an age-restricted development.

- Addison Pointe was allocated LIHTCs in 2022 for the new construction of 80 one, two, and three-bedroom units restricted to families earning 20, 50, 60, and 70 percent of the AMI or less. Construction is expected to be completed in 2025, and will directly compete with the Subject.

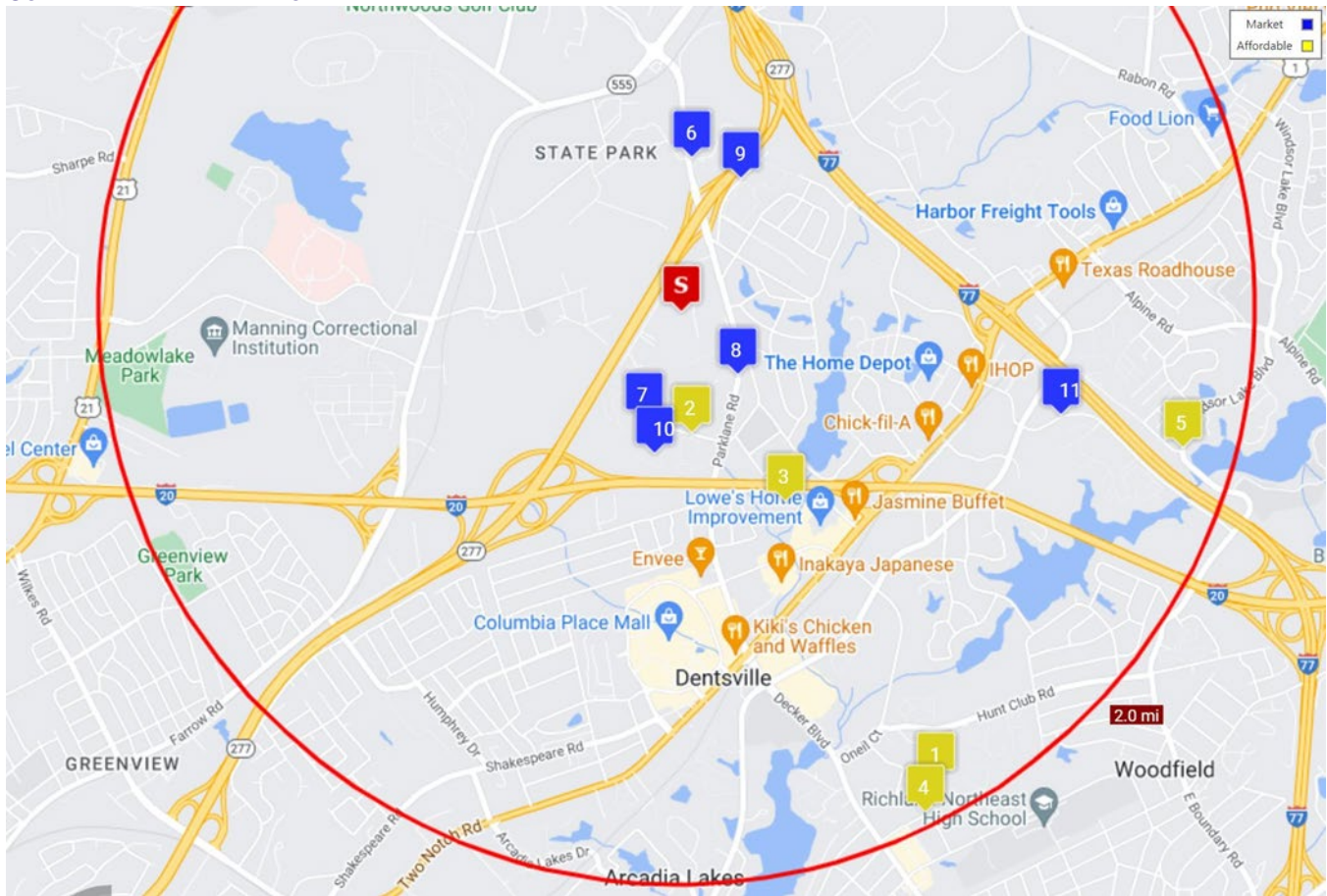
### **Comparable Properties**

Property managers and realtors were interviewed for information on unit mix, size, absorption, unit features and project amenities, tenant profiles, and market trends in general. Our competitive survey includes 11 comparable properties containing 2,099 units. It should be noted that there is a lack of traditional, long-term affordable multifamily supply in the Subject's immediate market area.

The availability of LIHTC data is considered average. We included five affordable developments located between 0.5 and 2.0 miles from the Subject, all of which are located within the PMA. The market rate data is considered good. We included six market rate properties located between 0.3 and 1.4 miles from the Subject, all of which are located within the PMA. Overall, we believe the availability of data is adequate to support our conclusions. Other market rate properties were excluded based on unit types and inability to contact the properties.

A detailed matrix describing the individual competitive properties as well as the proposed Subject is provided on the following pages. A Comparable Properties Map, illustrating the location of the Subject in relation to comparable properties is also provided on the following page. The properties are further profiled in the write-ups following. The property descriptions include information on vacancy, turnover, absorption, age, competition, and the general health of the rental market, when available. Throughout the course of performing this analysis of the local rental market, many apartment managers, realtors, leasing agents, and owners were contacted in person, or through the telephone or email.

**COMPARABLE RENTAL PROPERTY MAP**



**COMPARABLE PROPERTIES**

#	Property Name	City	Rent Structure	Distance to Subject
1	Arcadia Park	Columbia	LIHTC/HOME	1.9 miles
2	Brookside Crossing	Columbia	LIHTC	0.5 mile
3	Deer Park Apartments	Columbia	LIHTC	0.8 mile
4	Jackson Creek Station	Columbia	LIHTC	2.0 miles
5	Regent Park Apartments	Columbia	LIHTC	1.9 miles
6	Gable Hill	Columbia	Market	0.5 mile
7	Greenbrier Apartments	Columbia	Market	0.4 mile
8	Paces Run	Columbia	Market	0.3 mile
9	Samara East	Columbia	Market	0.5 mile
10	Springtree Apartments	Columbia	Market	0.6 mile
11	The Preserve At Windsor Lake	Columbia	Market	1.4 miles

The following tables illustrate unit mix by bedroom type and income level, square footage by bedroom type, year built, common area and in-unit amenities, rent per square foot, monthly rents and utilities included, and vacancy information for the comparable properties and the Subject in a comparative framework.

WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY

SUMMARY MATRIX

#	Property Name	Distance	Type/Built/Renovated	AMI	Unit Type	#	%	SF	Restriction	Rent (Adj)	Max Rent?	Waiting List	Vacant Units	Vacancy Rate
5	Wyndham Pointe 80 Brighton Hill Road Columbia, SC Richland County		Garden 3-stories 2007 Family	@60%	1BR/1BA	24	13.3%	1,036	@60%	\$867	Yes	No	0	0%
					2BR/2BA	96	53.3%	1,232	@60%	\$1,047	Yes	No	0	0%
					3BR/2BA	60	33.3%	1,444	@60%	\$1,212	Yes	No	0	0%
					180									
1	Arcadia Park 2400 Kneece Rd Columbia, SC Richland County	1.9 miles	Garden 3-stories 2013 Family	@50%, @50% (HOME), @60%	1BR/1BA	3	4.0%	850	@50%	\$602	No	Yes	0	0%
					1BR/1BA	3	4.0%	850	@50% (HOME)	\$602	No	Yes	0	0%
					1BR/1BA	9	12.0%	850	@60%	\$753	No	Yes	0	0%
					2BR/2BA	6	8.0%	1,050	@50%	\$699	No	Yes	0	0%
					2BR/2BA	6	8.0%	1,050	@50% (HOME)	\$699	No	Yes	0	0%
					2BR/2BA	18	24.0%	1,050	@60%	\$881	No	Yes	0	0%
					3BR/2BA	6	8.0%	1,200	@50%	\$777	No	Yes	0	0%
					3BR/2BA	6	8.0%	1,200	@50% (HOME)	\$777	No	Yes	0	0%
					3BR/2BA	18	24.0%	1,200	@60%	\$986	No	Yes	0	0%
					75									
2	Brookside Crossing 220 Springtree Drive Columbia, SC Richland County	0.5 mile	Garden 3-stories 2009 Family	@60%	1BR/1BA	6	3.7%	695	@60%	\$886	Yes	No	0	0%
					1BR/1BA	12	7.4%	775	@60%	\$886	Yes	No	0	0%
					2BR/2BA	108	66.7%	1,062	@60%	\$1,056	Yes	No	2	1.9%
					3BR/2BA	36	22.2%	1,276	@60%	\$1,212	Yes	No	0	0%
162														
3	Deer Park Apartments 7225 Firelane Rd Columbia, SC Richland County	0.8 mile	Garden 3-stories 2007 Family	@50%	2BR/2BA	32	50.0%	1,100	@50%	\$913	Yes	Yes	0	0%
					3BR/2BA	32	50.0%	1,300	@50%	\$1,065	Yes	Yes	0	0%
64														
4	Jackson Creek Station 2301 Kneece Road Columbia, SC Richland County	2.0 miles	Garden 2-stories 2016 Family	@50% @60%	2BR/2BA	7	12.5%	1,075	@50%	\$828	No	Yes	0	0%
					2BR/2BA	21	37.5%	1,075	@60%	\$1,017	No	Yes	0	0%
					3BR/2BA	7	12.5%	1,225	@50%	\$947	No	Yes	0	0%
					3BR/2BA	21	37.5%	1,225	@60%	\$1,065	No	Yes	0	0%
56														
5	Regent Park Apartments 680 Windsor Lake Way Columbia, SC Richland County	1.9 miles	Garden 3-stories 2011 Family	@50% @60%	1BR/1BA	4	5.6%	700	@50%	\$826	Yes	Yes	0	0%
					1BR/1BA	8	11.1%	700	@60%	\$826	No	Yes	0	0%
					2BR/2BA	6	8.3%	930	@50%	\$983	Yes	Yes	0	0%
					2BR/2BA	36	50.0%	930	@60%	\$983	No	Yes	0	0%
					3BR/2BA	8	11.1%	1,150	@50%	\$1,129	Yes	Yes	0	0%
10														
6	Gable Hill 310 Ross Road Columbia, SC Richland County	0.5 mile	Garden 3-stories 1984 Family	Market	1BR/1BA	24	13.3%	800	Market	\$1,074	N/A	No	0	0%
					2BR/2BA	108	60.0%	1,000	Market	\$1,271	N/A	No	2	1.9%
					3BR/2BA	48	26.7%	1,150	Market	\$1,437	N/A	No	0	0%
180														
7	Greenbrier Apartments 100 Willow Oak Drive Columbia, SC Richland County	0.4 mile	Garden 3-stories 1989 / 2005 Family	Market	1BR/1BA	N/A	N/A	630	Market	\$1,080	N/A	No	0	N/A
					1BR/1BA	84	16.0%	630	Market	\$835	N/A	No	3	3.6%
					1BR/1BA	110	20.9%	795	Market	\$935	N/A	No	3	2.7%
					1BR/1BA	N/A	N/A	795	Market	\$1,150	N/A	No	0	N/A
					1BR/1BA	36	6.8%	882	Market	\$1,007	N/A	No	3	8.3%
					1BR/1BA	N/A	N/A	882	Market	\$1,067	N/A	No	0	N/A
					2BR/1BA	N/A	N/A	928	Market	\$1,213	N/A	No	0	N/A
					2BR/1BA	40	7.6%	928	Market	\$1,096	N/A	No	3	7.5%
					2BR/2BA	124	23.6%	1,071	Market	\$1,213	N/A	No	0	0%
					2BR/2BA	N/A	N/A	1,132	Market	\$1,178	N/A	No	0	N/A
					2BR/2BA	N/A	N/A	1,132	Market	\$1,138	N/A	No	3	N/A
					2BR/2BA	78	14.8%	1,154	Market	\$1,184	N/A	No	2	2.6%
					3BR/2BA	54	10.3%	1,321	Market	\$1,308	N/A	No	0	0%
526														
8	Paces Run 7501 Parklane Road Columbia, SC Richland County	0.3 mile	Garden 3-stories 1987 Family	Market	1BR/1BA	N/A	N/A	614	Market	\$1,050	N/A	No	3	N/A
					1BR/1BA	N/A	N/A	614	Market	\$1,200	N/A	No	0	N/A
					1BR/1BA	N/A	N/A	779	Market	\$1,159	N/A	No	3	N/A
					2BR/1BA	N/A	N/A	943	Market	\$1,259	N/A	No	0	N/A
					2BR/2BA	128	49.2%	1,127	Market	\$1,279	N/A	No	0	0%
260														
9	Samara East 8100 Bayfield Road Columbia, SC Richland County	0.5 mile	Garden 2-stories 1980 Family	Market	0BR/1BA	12	4.2%	515	Market	\$949	N/A	No	1	8.3%
					1BR/1BA	92	31.9%	780	Market	\$1,009	N/A	No	1	1.1%
					2BR/2BA	160	55.6%	918	Market	\$1,109	N/A	No	1	0.6%
					3BR/2BA	24	8.3%	1,031	Market	\$1,229	N/A	No	1	4.2%
288														
10	Springtree Apartments 250 Springtree Road Columbia, SC Richland County	0.6 mile	Garden 2-stories 1982 / 2017 Family	Market	1BR/1BA	80	52.6%	694	Market	\$927	N/A	No	2	2.5%
					1BR/1BA	0	0.0%	694	Market	\$962	N/A	No	0	0%
					2BR/1BA	72	47.4%	984	Market	\$1,104	N/A	No	0	0%
					2BR/1BA	0	0.0%	984	Market	\$1,084	N/A	No	0	0%
152														
2														
1.3%														



## WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY

#	Property Name	Distance	Type/Built/ Renovated	AMI	Unit Type	#	%	SF	Restriction	Rent (Adj)	Max Rent?	Waiting List	Vacant Units	Vacancy Rate
11	The Preserve At Windsor Lake 1460 Oakcrest Drive Columbia, SC Richland County	1.4 miles	Garden 3-stories 2007 Family	Market	1BR/1BA	66	25.0%	775	Market	\$1,312	N/A	No	0	0%
					1BR/1BA	18	6.8%	918	Market	\$1,427	N/A	No	0	0%
					2BR/2BA	114	43.2%	1,082	Market	\$1,549	N/A	No	1	0.9%
					2BR/2BA	18	6.8%	1,222	Market	\$1,669	N/A	No	1	5.6%
					3BR/2BA	36	13.6%	1,250	Market	\$1,795	N/A	No	2	5.6%
					3BR/2BA	12	4.5%	1,390	Market	\$1,970	N/A	No	0	0%
						264						4	1.5%	

WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY

RENT AND SQUARE FOOTAGE RANKING – All rents adjusted for utilities and concessions extracted from the market.						
	Units Surveyed	2,099	Weighted Occupancy	98.2%		
	Market Rate	1,670	Market Rate	97.9%		
	Tax Credit	429	Tax Credit	99.5%		
	<b>1.0 Bed x 1.0 Bath</b>		<b>2.0 Bed x 2.0 Bath</b>			
	<b>3.0 Bed x 2.0 Bath</b>					
RENT	The Preserve At Windsor Lake (Market)	\$1,427	The Preserve At Windsor Lake (Market)	\$1,669	The Preserve At Windsor Lake (Market)	\$1,970
	The Preserve At Windsor Lake (Market)	\$1,312	The Preserve At Windsor Lake (Market)	\$1,549	The Preserve At Windsor Lake (Market)	\$1,795
	<b>Wyndham Pointe (AMR)</b>	<b>\$1,300</b>	<b>Wyndham Pointe (AMR)</b>	<b>\$1,500</b>	<b>Wyndham Pointe (AMR)</b>	<b>\$1,700</b>
	Paces Run (Market)	\$1,200	Paces Run (Market)	\$1,279	Gable Hill (Market)	\$1,437
	Paces Run (Market)	\$1,159	Gable Hill (Market)	\$1,271	Greenbrier Apartments (Market)	\$1,308
	Greenbrier Apartments (Market)	\$1,150	Paces Run (Market)(1.0BA)	\$1,259	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$1,244</b>
	Greenbrier Apartments (Market)	\$1,080	Greenbrier Apartments (Market)(1.0BA)	\$1,213	Samara East (Market)	\$1,229
	Gable Hill (Market)	\$1,074	Greenbrier Apartments (Market)	\$1,213	Brookside Crossing (@60%)	\$1,212
	Greenbrier Apartments (Market)	\$1,067	Greenbrier Apartments (Market)	\$1,184	<b>Wyndham Pointe (@60%)</b>	<b>\$1,212</b>
	Paces Run (Market)	\$1,050	Greenbrier Apartments (Market)	\$1,178	Regent Park Apartments (@50%)	\$1,129
	Samara East (Market)	\$1,009	Greenbrier Apartments (Market)	\$1,138	Regent Park Apartments (@60%)	\$1,129
	Greenbrier Apartments (Market)	\$1,007	Samara East (Market)	\$1,109	Deer Park Apartments (@50%)	\$1,065
	Springtree Apartments (Market)	\$962	Springtree Apartments (Market)(1.0BA)	\$1,104	Jackson Creek Station (@60%)	\$1,065
	Greenbrier Apartments (Market)	\$935	Greenbrier Apartments (Market)(1.0BA)	\$1,096	Arcadia Park (@60%)	\$986
	Springtree Apartments (Market)	\$927	Springtree Apartments (Market)(1.0BA)	\$1,084	Jackson Creek Station (@50%)	\$947
	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$890</b>	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$1,075</b>	Arcadia Park (@50%)	\$777
	Brookside Crossing (@60%)	\$886	Brookside Crossing (@60%)	\$1,056	Arcadia Park (@50%)	\$777
	Brookside Crossing (@60%)	\$886	<b>Wyndham Pointe (@60%)</b>	<b>\$1,047</b>		
	<b>Wyndham Pointe (@60%)</b>	<b>\$867</b>	Jackson Creek Station (@60%)	\$1,017		
	Greenbrier Apartments (Market)	\$835	Regent Park Apartments (@50%)	\$983		
	Regent Park Apartments (@50%)	\$826	Regent Park Apartments (@60%)	\$983		
	Regent Park Apartments (@60%)	\$826	Deer Park Apartments (@50%)	\$913		
	Arcadia Park (@60%)	\$753	Arcadia Park (@60%)	\$881		
	Arcadia Park (@50%)	\$602	Jackson Creek Station (@50%)	\$828		
	Arcadia Park (@50%)	\$602	Arcadia Park (@50%)	\$699		
			Arcadia Park (@50%)	\$699		
SQUARE FOOTAGE	<b>Wyndham Pointe (@60%)</b>	<b>1,036</b>	<b>Wyndham Pointe (@60%)</b>	<b>1,232</b>	<b>Wyndham Pointe (@60%)</b>	<b>1,444</b>
	The Preserve At Windsor Lake (Market)	918	The Preserve At Windsor Lake (Market)	1,222	The Preserve At Windsor Lake (Market)	1,390
	Greenbrier Apartments (Market)	882	Greenbrier Apartments (Market)	1,154	Greenbrier Apartments (Market)	1,321
	Greenbrier Apartments (Market)	882	Greenbrier Apartments (Market)	1,132	Deer Park Apartments (@50%)	1,300
	Arcadia Park (@50%)	850	Greenbrier Apartments (Market)	1,132	Brookside Crossing (@60%)	1,276
	Arcadia Park (@50%)	850	Paces Run (Market)	1,127	The Preserve At Windsor Lake (Market)	1,250
	Arcadia Park (@60%)	850	Deer Park Apartments (@50%)	1,100	Jackson Creek Station (@50%)	1,225
	Gable Hill (Market)	800	The Preserve At Windsor Lake (Market)	1,082	Jackson Creek Station (@60%)	1,225
	Greenbrier Apartments (Market)	795	Jackson Creek Station (@50%)	1,075	Arcadia Park (@50%)	1,200
	Greenbrier Apartments (Market)	795	Jackson Creek Station (@60%)	1,075	Arcadia Park (@50%)	1,200
	Samara East (Market)	780	Greenbrier Apartments (Market)	1,071	Arcadia Park (@60%)	1,200
	Paces Run (Market)	779	Brookside Crossing (@60%)	1,062	Regent Park Apartments (@50%)	1,150
	Brookside Crossing (@60%)	775	Arcadia Park (@50%)	1,050	Regent Park Apartments (@60%)	1,150
	The Preserve At Windsor Lake (Market)	775	Arcadia Park (@50%)	1,050	Gable Hill (Market)	1,150
	Regent Park Apartments (@50%)	700	Arcadia Park (@60%)	1,050	Samara East (Market)	1,031
	Regent Park Apartments (@60%)	700	Gable Hill (Market)	1,000		
	Brookside Crossing (@60%)	695	Springtree Apartments (Market)(1.0BA)	984		
	Springtree Apartments (Market)	694	Springtree Apartments (Market)(1.0BA)	984		
	Springtree Apartments (Market)	694	Paces Run (Market)(1.0BA)	943		
	Greenbrier Apartments (Market)	630	Regent Park Apartments (@50%)	930		
	Greenbrier Apartments (Market)	630	Regent Park Apartments (@60%)	930		
	Paces Run (Market)	614	Greenbrier Apartments (Market)(1.0BA)	928		
	Paces Run (Market)	614	Greenbrier Apartments (Market)(1.0BA)	928		
			Samara East (Market)	918		



**WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY**

	1.0 Bed x 1.0 Bath		2.0 Bed x 2.0 Bath		3.0 Bed x 2.0 Bath	
RENT PER SQUARE FOOT	Paces Run (Market)	\$1.95	The Preserve At Windsor Lake (Market)	\$1.43	The Preserve At Windsor Lake (Market)	\$1.44
	Greenbrier Apartments (Market)	\$1.71	The Preserve At Windsor Lake (Market)	\$1.37	The Preserve At Windsor Lake (Market)	\$1.42
	Paces Run (Market)	\$1.71	Paces Run (Market)(1.0BA)	\$1.34	Gable Hill (Market)	\$1.25
	The Preserve At Windsor Lake (Market)	\$1.69	Greenbrier Apartments (Market)(1.0BA)	\$1.31	Samara East (Market)	\$1.19
	The Preserve At Windsor Lake (Market)	\$1.55	Gable Hill (Market)	\$1.27	<b>Wyndham Pointe (AMR)</b>	<b>\$1.18</b>
	Paces Run (Market)	\$1.49	<b>Wyndham Pointe (AMR)</b>	<b>\$1.22</b>	Greenbrier Apartments (Market)	\$0.99
	Greenbrier Apartments (Market)	\$1.45	Samara East (Market)	\$1.21	Regent Park Apartments (@50%)	\$0.98
	Springtree Apartments (Market)	\$1.39	Greenbrier Apartments (Market)(1.0BA)	\$1.18	Regent Park Apartments (@60%)	\$0.98
	Gable Hill (Market)	\$1.34	Paces Run (Market)	\$1.13	Brookside Crossing (@60%)	\$0.95
	Springtree Apartments (Market)	\$1.34	Greenbrier Apartments (Market)	\$1.13	Jackson Creek Station (@60%)	\$0.87
	Greenbrier Apartments (Market)	\$1.33	Springtree Apartments (Market)(1.0BA)	\$1.12	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$0.86</b>
	Samara East (Market)	\$1.29	Springtree Apartments (Market)(1.0BA)	\$1.10	<b>Wyndham Pointe (@60%)</b>	<b>\$0.84</b>
	Brookside Crossing (@60%)	\$1.27	Regent Park Apartments (@50%)	\$1.06	Arcadia Park (@60%)	\$0.82
	<b>Wyndham Pointe (AMR)</b>	<b>\$1.25</b>	Regent Park Apartments (@60%)	\$1.06	Deer Park Apartments (@50%)	\$0.82
	Greenbrier Apartments (Market)	\$1.21	Greenbrier Apartments (Market)	\$1.04	Jackson Creek Station (@50%)	\$0.77
	Regent Park Apartments (@50%)	\$1.18	Greenbrier Apartments (Market)	\$1.03	Arcadia Park (@50%)	\$0.65
	Regent Park Apartments (@60%)	\$1.18	Greenbrier Apartments (Market)	\$1.01	Arcadia Park (@50%)	\$0.65
	Greenbrier Apartments (Market)	\$1.18	Brookside Crossing (@60%)	\$0.99		
	Brookside Crossing (@60%)	\$1.14	Jackson Creek Station (@60%)	\$0.95		
	Greenbrier Apartments (Market)	\$1.14	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$0.87</b>		
	Arcadia Park (@60%)	\$0.89	<b>Wyndham Pointe (@60%)</b>	<b>\$0.85</b>		
	<b>Wyndham Pointe (@60%) (ALR)</b>	<b>\$0.86</b>	Arcadia Park (@60%)	\$0.84		
	<b>Wyndham Pointe (@60%)</b>	<b>\$0.84</b>	Deer Park Apartments (@50%)	\$0.83		
	Arcadia Park (@50%)	\$0.71	Jackson Creek Station (@50%)	\$0.77		
	Arcadia Park (@50%)	\$0.71	Arcadia Park (@50%)	\$0.67		
			Arcadia Park (@50%)	\$0.67		

WYNDHAM POINTE – COLUMBIA, SC – APPLICATION MARKET STUDY

	Wyndham Pointe	Arcadia Park	Brookside	Deer Park Apartments	Jackson Creek	Regent Park	Gable Hill	Greenbrier	Paces Run	Samara East	Springtree Apartments	The Preserve At
	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	Market Family	Market Family	Market Family	Market Family	Market Family	Market Family
<b>Program Tenancy</b>	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	Market Family	Market Family	Market Family	Market Family	Market Family	Market Family
<b>Building</b>												
Property Type	Garden	Garden	Garden	Garden	Garden	Garden	Garden	Garden	Garden	Garden	Garden	Garden
# Stories	3	3	3	3	2	3	3	3	3	2	2	3
Year Built	2007	2013	2009	2007	2018	2011	1984	1989	1987	1980	1982	2007
Year Renovated								2005			2017	
Courtyard	yes	no	no	no	no	no	no	no	no	no	no	no
<b>Utility Structure</b>												
Heat	no	no	no	no	no	no	no	no	no	no	no	no
Cooking	no	no	no	no	no	no	no	no	no	no	no	no
Other Electric	no	no	no	no	no	no	no	no	no	no	no	no
Air Conditioning	no	no	no	no	no	no	no	no	no	no	no	no
Water Heat	no	no	no	no	no	no	no	no	no	no	no	no
Water	yes	yes	yes	no	yes	yes	no	yes	yes	yes	no	no
Sewer	yes	yes	yes	no	yes	yes	no	yes	yes	yes	no	no
<b>Unit's</b>												
Balcony	no	no	yes	no	no	no	yes	yes	yes	yes	no	yes
Blinds	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Cable/satellite	no	no	no	no	no	no	yes	no	yes	yes	no	no
Carpeting	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no	yes
Ceiling Fan	yes	yes	yes	yes	yes	yes	yes	yes	yes	no	yes	yes
Central/Ac	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Coat closet	yes	yes	yes	yes	yes	no	no	yes	no	no	no	yes
Extra Storage	no	no	yes	no	no	no	no	yes	no	no	no	yes
Fireplace	no	no	no	no	no	no	yes	yes	no	no	no	no
Hardwood Floors	no	no	yes	no	no	no	yes	yes	no	no	yes	no
Vaulted Ceilings	no	no	no	yes	no	no	no	no	no	no	no	yes
Walk-in-Closet	yes	no	yes	yes	yes	yes	yes	yes	yes	yes	no	yes
W/D Hookups	yes	yes	yes	yes	yes	yes	yes	no	yes	yes	no	yes
<b>Kitchen</b>												
Dishwasher	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Disposal	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Microwave	no	no	no	yes	yes	yes	no	no	no	no	no	yes
Oven	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Refrigerator	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
<b>Community</b>												
Business Center	yes	yes	yes	yes	yes	yes	yes	yes	no	no	no	yes
Central Laundry	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Clubhouse	yes	yes	yes	yes	no	yes	yes	yes	yes	yes	no	yes
On-Site Mgmt	yes	yes	yes	no	yes	yes	yes	yes	yes	yes	yes	yes
<b>Recreation</b>												
Basketball court	no	no	no	no	no	yes	no	no	no	no	no	no
Exercise Facility	yes	yes	yes	no	no	yes	yes	yes	yes	no	yes	yes
Picnic Area	no	no	no	no	no	yes	yes	yes	no	yes	yes	yes
Playground	yes	yes	yes	yes	yes	yes	no	yes	no	no	no	yes
Swimming Pool	yes	no	yes	no	no	no	yes	yes	yes	yes	yes	yes
Tennis court	no	no	no	no	no	no	yes	yes	no	yes	yes	no
Volleyball court	no	no	no	no	no	no	yes	no	no	no	no	no
<b>Services</b>												
Car Wash	no	no	no	no	no	no	yes	yes	yes	yes	no	yes
<b>Security</b>												
Intercom ( buzzer)	no	no	no	no	no	no	no	no	no	no	no	yes
Limited Access	yes	no	no	no	no	no	no	no	no	no	no	yes
Patrol	no	no	no	no	no	no	yes	yes	no	no	yes	no
Perimeter Fencing	yes	yes	no	no	no	no	no	no	no	no	no	no
Video Surveillance	no	yes	yes	no	yes	yes	no	yes	no	no	no	no
<b>Exterior</b>												
Garage	no	no	yes	no	no	no	no	no	no	no	no	yes
Surface	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes

# PROPERTY PROFILE REPORT

## Arcadia Park

Effective Rent Date	10/24/2023
Location	2400 Kneece Rd Columbia, SC 29223 Richland County
Distance	1.9 miles
Units	75
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	2013 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	None identified
Contact Name	Jakita
Phone	803-462-3301



### Market Information

Program	@50%, @50% (HOME), @60%
Annual Turnover Rate	5%
Units/Month Absorbed	N/A
HCV Tenants	10%
Leasing Pace	Pre-leased to one week
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes, 80 households

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	3	850	\$602	\$0	@50%	Yes	0	0.0%	no	None
1	1	Garden (3 stories)	3	850	\$602	\$0	@50% (HOME)	Yes	0	0.0%	no	None
1	1	Garden (3 stories)	9	850	\$753	\$0	@60%	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	6	1,050	\$699	\$0	@50%	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	6	1,050	\$699	\$0	@50% (HOME)	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	18	1,050	\$881	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	6	1,200	\$777	\$0	@50%	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	6	1,200	\$777	\$0	@50% (HOME)	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	18	1,200	\$986	\$0	@60%	Yes	0	0.0%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$602	\$0	\$602	\$0	\$602	1BR / 1BA	\$753	\$0	\$753	\$0	\$753
2BR / 2BA	\$699	\$0	\$699	\$0	\$699	2BR / 2BA	\$881	\$0	\$881	\$0	\$881
3BR / 2BA	\$777	\$0	\$777	\$0	\$777	3BR / 2BA	\$986	\$0	\$986	\$0	\$986

## Arcadia Park, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	Perimeter Fencing	None
Central A/C	Coat Closet	Video Surveillance	
Dishwasher	Ceiling Fan		
Garbage Disposal	Oven		
Refrigerator	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Playground			

### Comments

The contact stated that the property currently accepts Housing Choice Vouchers. The contact had no further comments.

# Arcadia Park, continued

## Trend Report

### Vacancy Rates

3Q22	2Q23	3Q23	4Q23
0.0%	0.0%	0.0%	0.0%

### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$681 - \$756	\$0	\$681 - \$756	\$681 - \$756
2023	2	0.0%	\$602	\$0	\$602	\$602
2023	3	0.0%	\$602	\$0	\$602	\$602
2023	4	0.0%	\$602	\$0	\$602	\$602

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$817 - \$907	\$0	\$817 - \$907	\$817 - \$907
2023	2	0.0%	\$699	\$0	\$699	\$699
2023	3	0.0%	\$699	\$0	\$699	\$699
2023	4	0.0%	\$699	\$0	\$699	\$699

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$944 - \$1,048	\$0	\$944 - \$1,048	\$944 - \$1,048
2023	2	0.0%	\$777	\$0	\$777	\$777
2023	3	0.0%	\$777	\$0	\$777	\$777
2023	4	0.0%	\$777	\$0	\$777	\$777

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$907	\$0	\$907	\$907
2023	2	0.0%	\$753	\$0	\$753	\$753
2023	3	0.0%	\$753	\$0	\$753	\$753
2023	4	0.0%	\$753	\$0	\$753	\$753

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$1,089	\$0	\$1,089	\$1,089
2023	2	0.0%	\$881	\$0	\$881	\$881
2023	3	0.0%	\$881	\$0	\$881	\$881
2023	4	0.0%	\$881	\$0	\$881	\$881

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	3	0.0%	\$1,257	\$0	\$1,257	\$1,257
2023	2	0.0%	\$986	\$0	\$986	\$986
2023	3	0.0%	\$986	\$0	\$986	\$986
2023	4	0.0%	\$986	\$0	\$986	\$986

## Trend: Comments

3Q22	The contact could not comment on the impact of the COVID-19 pandemic on the property's operations.
2Q23	The contact stated that the property accepts Housing Choice Vouchers. The contact had no further comments.
3Q23	N/A
4Q23	The contact stated that the property currently accepts Housing Choice Vouchers. The contact had no further comments.

Photos



# PROPERTY PROFILE REPORT

## Brookside Crossing

Effective Rent Date	11/01/2023
Location	220 Springtree Drive Columbia, SC 29223 Richland County
Distance	0.5 miles
Units	162
Vacant Units	2
Vacancy Rate	1.2%
Type	Garden (3 stories)
Year Built/Renovated	2009 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Spring Tree, Park Lane, Greenbriar
Tenant Characteristics	Primarily couples and small families; approx. 20% seniors
Contact Name	Tracy
Phone	803-741-7314



### Market Information

Program	@60%
Annual Turnover Rate	20%
Units/Month Absorbed	N/A
HCV Tenants	10%
Leasing Pace	within one week
Annual Chg. in Rent	Increased to 2023 max
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	6	695	\$886	\$0	@60%	No	0	0.0%	yes	None
1	1	Garden (3 stories)	12	775	\$886	\$0	@60%	No	0	0.0%	yes	None
2	2	Garden (3 stories)	108	1,062	\$1,056	\$0	@60%	No	2	1.9%	yes	None
3	2	Garden (3 stories)	36	1,276	\$1,212	\$0	@60%	No	0	0.0%	yes	None

### Unit Mix

@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$886	\$0	\$886	\$0	\$886
2BR / 2BA	\$1,056	\$0	\$1,056	\$0	\$1,056
3BR / 2BA	\$1,212	\$0	\$1,212	\$0	\$1,212

## Brookside Crossing, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Video Surveillance	None
Carpet/Hardwood	Carpeting		
Central A/C	Coat Closet		
Dishwasher	Exterior Storage(\$65.00)		
Ceiling Fan	Garbage Disposal		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Exercise Facility	Garage(\$65.00)		
Central Laundry	Off-Street Parking		
On-Site Management	Playground		
Swimming Pool			

### Comments

The property offers exterior storage for an additional \$65 per month. Garage parking is available for an additional \$65 per month. The contact stated that the property does not currently maintain a waiting list, but the demand is high and units usually lease within two days.



## Brookside Crossing, continued

### Trend Report

#### Vacancy Rates

2022	1Q23	2Q23	4Q23
0.0%	0.0%	0.0%	1.2%

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	2	0.0%	\$737	\$0	\$737	\$737
2023	1	0.0%	\$795	\$0	\$795	\$795
2023	2	0.0%	\$854	\$0	\$854	\$854
2023	4	0.0%	\$886	\$0	\$886	\$886

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	2	0.0%	\$878	\$0	\$878	\$878
2023	1	0.0%	\$945	\$0	\$945	\$945
2023	2	0.0%	\$1,007	\$0	\$1,007	\$1,007
2023	4	1.9%	\$1,056	\$0	\$1,056	\$1,056

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2022	2	0.0%	\$1,006	\$0	\$1,006	\$1,006
2023	1	0.0%	\$1,006	\$0	\$1,006	\$1,006
2023	2	0.0%	\$1,146	\$0	\$1,146	\$1,146
2023	4	0.0%	\$1,212	\$0	\$1,212	\$1,212

### Trend: Comments

2Q22	The property is under new management as of 2022. The contact reported that demand for affordable housing in the area remains strong. The rents at the property are currently set below 2022 maximum allowable rents; however, the contact reported that they anticipated rents increasing at some point in the next one to two months.
1Q23	N/A
2Q23	The contact stated that the property accepts Housing Choice Vouchers. The property offers exterior storage for an additional \$65 per month. The also offers garage parking for an additional \$65 per month. The contact stated that the property does not currently maintain a waiting list, but the demand is high and units usually lease within two days.
4Q23	The property offers exterior storage for an additional \$65 per month. Garage parking is available for an additional \$65 per month. The contact stated that the property does not currently maintain a waiting list, but the demand is high and units usually lease within two days.

Photos



# PROPERTY PROFILE REPORT

## Deer Park Apartments

Effective Rent Date	11/06/2023
Location	7225 Firelane Rd Columbia, SC 29223 Richland County
Distance	0.8 miles
Units	64
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	2007 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Primarily from Columbia
Contact Name	Jamaya
Phone	803-699-4748



### Market Information

Program	@50%
Annual Turnover Rate	15%
Units/Month Absorbed	21
HCV Tenants	50%
Leasing Pace	Within three weeks
Annual Chg. in Rent	Increased to 2023 Max
Concession	None
Waiting List	Yes; Unknown length

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2	Garden (3 stories)	32	1,100	\$822	\$0	@50%	Yes	0	0.0%	yes	None
3	2	Garden (3 stories)	32	1,300	\$938	\$0	@50%	Yes	0	0.0%	yes	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2BA	\$822	\$0	\$822	\$91	\$913
3BR / 2BA	\$938	\$0	\$938	\$127	\$1,065

## Deer Park Apartments, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Coat Closet		
Dishwasher	Ceiling Fan		
Garbage Disposal	Microwave		
Oven	Refrigerator		
Vaulted Ceilings	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
Playground			

### Comments

All units are restricted at 50 percent of AMI and are set at the 2023 maximum allowable levels.

Trend Report

Vacancy Rates

3Q10	1Q16	1Q20	4Q23
0.0%	1.6%	0.0%	0.0%

Trend: @50%

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2010	3	0.0%	\$625	\$0	\$625	\$716
2016	1	N/A	\$583	\$0	\$583	\$674
2020	1	0.0%	\$661	\$0	\$661	\$752
2023	4	0.0%	\$822	\$0	\$822	\$913

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2010	3	0.0%	\$735	\$0	\$735	\$862
2016	1	N/A	\$665	\$0	\$665	\$792
2020	1	0.0%	\$753	\$0	\$753	\$880
2023	4	0.0%	\$938	\$0	\$938	\$1,065

Trend: Comments

3Q10	This LIHTC property has units set-aside at 50 and 60 percent of AMI. The manager indicated that the property operates with a restrictive covenant under which the property's 60 percent AMI rents must be set at the 50 percent AMI level. The property is performing well as it is fully leased. A waiting list is maintained although the manager would not reveal the number on it. Tenants mostly work in the retail and restaurant industries. There are no military personnel as they are generally over-income qualified. However, there are a number of civilian workers who work in food service at Fort Jackson. Average household income is generally in the high \$20,000s to low \$30,000s annually.
1Q16	The reported rents are lower than the previous interview in 2012. The contact was new to the property and did not know why rents have decreased and was unable to estimate rent changes over the past year. The contact also could not provide an estimate of annual turnover at the property.
1Q20	The property previously offered units at 60 percent of AMI. The contact could not state when the property eliminated the 60 percent units. However, all units are now restricted at 50 percent of AMI and are set at the maximum allowable levels.
4Q23	All units are restricted at 50 percent of AMI and are set at the 2023 maximum allowable levels.

Photos



# PROPERTY PROFILE REPORT

## Jackson Creek Station

Effective Rent Date	11/06/2023
Location	2301 Kneece Road Columbia, SC 29206 Richland County
Distance	2 miles
Units	56
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2016 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed Tenancy
Contact Name	Amy
Phone	803-764-2994



### Market Information

Program	@50%, @60%
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	35%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Increased up to 10% annually
Concession	None
Waiting List	Yes; six households in length

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2	Garden (2 stories)	7	1,075	\$791	\$0	@50%	Yes	0	0.0%	no	None
2	2	Garden (2 stories)	21	1,075	\$980	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	7	1,225	\$893	\$0	@50%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	21	1,225	\$1,011	\$0	@60%	Yes	0	0.0%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2BA	\$791	\$0	\$791	\$37	\$828	2BR / 2BA	\$980	\$0	\$980	\$37	\$1,017
3BR / 2BA	\$893	\$0	\$893	\$54	\$947	3BR / 2BA	\$1,011	\$0	\$1,011	\$54	\$1,065

## Jackson Creek Station, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	Video Surveillance	None
Central A/C	Coat Closet		
Dishwasher	Ceiling Fan		
Garbage Disposal	Microwave		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Central Laundry	None	None
Off-Street Parking	On-Site Management		
Playground			

### Comments

The contact stated that the property accepts Housing Choice Vouchers. The property's rents are reportedly kept below max to maintain affordability.



# Jackson Creek Station, continued

## Trend Report

### Vacancy Rates

1Q19	4Q20	2Q23	4Q23
0.0%	0.0%	0.0%	0.0%

### Trend: @50%

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$563	\$0	\$563	\$600
2020	4	0.0%	\$611	\$0	\$611	\$648
2023	2	0.0%	\$791	\$0	\$791	\$828
2023	4	0.0%	\$791	\$0	\$791	\$828

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$641	\$0	\$641	\$695
2020	4	0.0%	\$696	\$0	\$696	\$750
2023	2	0.0%	\$893	\$0	\$893	\$947
2023	4	0.0%	\$893	\$0	\$893	\$947

### Trend: @60%

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$691	\$0	\$691	\$728
2020	4	0.0%	\$750	\$0	\$750	\$787
2023	2	0.0%	\$980	\$0	\$980	\$1,017
2023	4	0.0%	\$980	\$0	\$980	\$1,017

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$783	\$0	\$783	\$837
2020	4	0.0%	\$850	\$0	\$850	\$904
2023	2	0.0%	\$1,011	\$0	\$1,011	\$1,065
2023	4	0.0%	\$1,011	\$0	\$1,011	\$1,065

## Trend: Comments

- 1Q19 The manager indicated that the rents are below the maximum allowable LIHTC rents but did not know why rents were kept low. The manager indicated that higher rents are achievable in the market and the property rarely has vacancies. The manager could provide absorption data as she was not employed at the property during leaseup.
- 4Q20 The contact had no comment regarding the effects of COVID-19 at the property.
- 2Q23 The contact stated that the property accepts Housing Choice Vouchers. The contact had no further comments.
- 4Q23 The contact stated that the property accepts Housing Choice Vouchers. The property's rents are reportedly kept below max to maintain affordability.

Photos



# PROPERTY PROFILE REPORT

## Regent Park Apartments

Effective Rent Date	11/06/2023
Location	680 Windsor Lake Way Columbia, SC 29223 Richland County
Distance	1.9 miles
Units	72
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	2011 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy from the Columbia area
Contact Name	Evelyn
Phone	803-708-4700



### Market Information

Program	@50%, @60%
Annual Turnover Rate	4%
Units/Month Absorbed	36
HCV Tenants	50%
Leasing Pace	Within two weeks
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; 112 households

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	4	700	\$826	\$0	@50%	Yes	0	0.0%	yes	None
1	1	Garden (3 stories)	8	700	\$826	\$0	@60%	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	6	930	\$983	\$0	@50%	Yes	0	0.0%	yes	None
2	2	Garden (3 stories)	36	930	\$983	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	8	1,150	\$1,129	\$0	@50%	Yes	0	0.0%	yes	None
3	2	Garden (3 stories)	10	1,150	\$1,129	\$0	@60%	Yes	0	0.0%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$826	\$0	\$826	\$0	\$826	1BR / 1BA	\$826	\$0	\$826	\$0	\$826
2BR / 2BA	\$983	\$0	\$983	\$0	\$983	2BR / 2BA	\$983	\$0	\$983	\$0	\$983
3BR / 2BA	\$1,129	\$0	\$1,129	\$0	\$1,129	3BR / 2BA	\$1,129	\$0	\$1,129	\$0	\$1,129

## Regent Park Apartments, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	Video Surveillance	None
Central A/C	Dishwasher		
Ceiling Fan	Garbage Disposal		
Microwave	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Basketball Court	Business Center/Computer Lab	None	None
Clubhouse/Meeting Room/Community	Exercise Facility		
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

### Comments

The contact stated that the property accepts Housing Choice Vouchers. There were no additional comments.

# Regent Park Apartments, continued

## Trend Report

### Vacancy Rates

3Q21	2Q22	2Q23	4Q23
0.0%	0.0%	0.0%	0.0%

### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$595	\$0	\$595	\$595
2022	2	0.0%	\$655	\$0	\$655	\$655
2023	2	0.0%	\$826	\$0	\$826	\$826
2023	4	0.0%	\$826	\$0	\$826	\$826

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$705	\$0	\$705	\$705
2022	2	0.0%	\$775	\$0	\$775	\$775
2023	2	0.0%	\$983	\$0	\$983	\$983
2023	4	0.0%	\$983	\$0	\$983	\$983

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$805	\$0	\$805	\$805
2022	2	0.0%	\$885	\$0	\$885	\$885
2023	2	0.0%	\$1,129	\$0	\$1,129	\$1,129
2023	4	0.0%	\$1,129	\$0	\$1,129	\$1,129

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$730	\$0	\$730	\$730
2022	2	0.0%	\$805	\$0	\$805	\$805
2023	2	0.0%	\$826	\$0	\$826	\$826
2023	4	0.0%	\$826	\$0	\$826	\$826

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$870	\$0	\$870	\$870
2022	2	0.0%	\$955	\$0	\$955	\$955
2023	2	0.0%	\$983	\$0	\$983	\$983
2023	4	0.0%	\$983	\$0	\$983	\$983

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	3	0.0%	\$999	\$0	\$999	\$999
2022	2	0.0%	\$1,095	\$0	\$1,095	\$1,095
2023	2	0.0%	\$1,129	\$0	\$1,129	\$1,129
2023	4	0.0%	\$1,129	\$0	\$1,129	\$1,129

## Trend: Comments

3Q21	N/A
2Q22	N/A
2Q23	The contact stated that the property accepts Housing Choice Vouchers. The contact had no further comments.
4Q23	The contact stated that the property accepts Housing Choice Vouchers. There were no additional comments.

Photos



# PROPERTY PROFILE REPORT

## Gable Hill

Effective Rent Date	10/24/2023
Location	310 Ross Road Columbia, SC 29223 Richland County
Distance	0.5 miles
Units	180
Vacant Units	2
Vacancy Rate	1.1%
Type	Garden (3 stories)
Year Built/Renovated	1984 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Greenbrier, The Parklane, Fairways
Tenant Characteristics	Early 20s, Families, 15-20% military
Contact Name	Kim
Phone	803.736.5000



### Market Information

Program	Market
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within 1-2 weeks
Annual Chg. in Rent	Increased 4-7%
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	24	800	\$1,010	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (3 stories)	108	1,000	\$1,180	\$0	Market	No	2	1.9%	N/A	None
3	2	Garden (3 stories)	48	1,150	\$1,310	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,010	\$0	\$1,010	\$64	\$1,074
2BR / 2BA	\$1,180	\$0	\$1,180	\$91	\$1,271
3BR / 2BA	\$1,310	\$0	\$1,310	\$127	\$1,437

## Gable Hill, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Patrol	None
Cable/Satellite/Internet	Carpeting		
Central A/C	Dishwasher		
Ceiling Fan	Fireplace		
Garbage Disposal	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Car Wash	None	None
Clubhouse/Meeting Room/Community	Exercise Facility		
Central Laundry	Off-Street Parking		
On-Site Management	Playground		
Swimming Pool	Tennis Court		
Volleyball Court			

### Comments

The property does not currently accept Housing Choice Vouchers.



Trend Report

Vacancy Rates

4Q06	1Q08	2Q17	4Q23
10.0%	6.1%	2.8%	1.1%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2006	4	N/A	\$661	\$0	\$661	\$725
2008	1	N/A	\$573	\$0	\$573	\$637
2017	2	N/A	\$731	\$0	\$731	\$795
2023	4	0.0%	\$1,010	\$0	\$1,010	\$1,074

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2006	4	N/A	\$711	\$0	\$711	\$802
2008	1	N/A	\$632	\$0	\$632	\$723
2017	2	N/A	\$833	\$0	\$833	\$924
2023	4	1.9%	\$1,180	\$0	\$1,180	\$1,271

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2006	4	N/A	\$871	\$0	\$871	\$998
2008	1	N/A	\$741	\$0	\$741	\$868
2017	2	N/A	\$1,023	\$0	\$1,023	\$1,150
2023	4	0.0%	\$1,310	\$0	\$1,310	\$1,437

Trend: Comments

4Q06	Gable hill is a Market-rate property offering 180 one, two, and three-bedroom units. Rent has not changed over the past year. Contact said that concessions vary all the time. It depends on what unit, how long it has been vacant, and where it is located on the property.
1Q08	The rents reflected above are starting rents. Rents change daily based on the number of vacancies and depend on view, floor, and availability. The contact was unable to provide information on turnover rate. She believes that the market is slow.
2Q17	The contact noted that rents change daily based on the number of vacancies and depend on view, floor, and availability, though it was stated that generally there has been increases in the market over the past year. The contact was unable to provide information on which units were vacant, however she stated that there are five total vacancies at the property. The property does not accept Housing Choice Vouchers. There are no specials at the property.
4Q23	The property does not currently accept Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Greenbrier Apartments

Effective Rent Date	10/24/2023
Location	100 Willow Oak Drive Columbia, SC 29223 Richland County
Distance	0.4 miles
Units	526
Vacant Units	17
Vacancy Rate	3.2%
Type	Garden (3 stories)
Year Built/Renovated	1989 / 2005
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Providence Park, Paces Run, Fairways
Tenant Characteristics	Mixed tenancy including military and civilian households, some student
Contact Name	Julicia
Phone	803-741-0041



### Market Information

Program	Market
Annual Turnover Rate	33%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Fluctuates daily
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

## Greenbrier Apartments, continued

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	N/A	630	\$1,080	\$0	Market	No	0	N/A	N/A	HIGH
1	1	Garden (3 stories)	N/A	795	\$1,150	\$0	Market	N/A	0	N/A	N/A	HIGH
1	1	Garden (3 stories)	N/A	882	\$1,067	\$0	Market	No	0	N/A	N/A	HIGH
1	1	Garden (3 stories)	84	630	\$835	\$0	Market	No	3	3.6%	N/A	LOW
1	1	Garden (3 stories)	110	795	\$935	\$0	Market	No	3	2.7%	N/A	LOW
1	1	Garden (3 stories)	36	882	\$1,007	\$0	Market	No	3	8.3%	N/A	LOW
2	1	Garden (3 stories)	N/A	928	\$1,213	\$0	Market	No	0	N/A	N/A	HIGH
2	1	Garden (3 stories)	40	928	\$1,096	\$0	Market	No	3	7.5%	N/A	LOW
2	2	Garden (3 stories)	124	1,071	\$1,213	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (3 stories)	78	1,154	\$1,184	\$0	Market	No	2	2.6%	N/A	None
2	2	Garden (3 stories)	N/A	1,132	\$1,178	\$0	Market	No	0	N/A	N/A	HIGH
2	2	Garden (3 stories)	N/A	1,132	\$1,138	\$0	Market	No	3	N/A	N/A	LOW
3	2	Garden (3 stories)	54	1,321	\$1,308	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$835 - \$1,150	\$0	\$835 - \$1,150	\$0	\$835 - \$1,150
2BR / 1BA	\$1,096 - \$1,213	\$0	\$1,096 - \$1,213	\$0	\$1,096 - \$1,213
2BR / 2BA	\$1,138 - \$1,213	\$0	\$1,138 - \$1,213	\$0	\$1,138 - \$1,213
3BR / 2BA	\$1,308	\$0	\$1,308	\$0	\$1,308

### Amenities

In-Unit	Security	Services
Balcony/Patio	Patrol	None
Carpeting	Video Surveillance	
Coat Closet		
Exterior Storage		
Fireplace		
Oven		
Walk-In Closet		
Property	Premium	Other
Business Center/Computer Lab	None	None
Clubhouse/Meeting Room/Community Garage(\$75.00)		
Off-Street Parking		
Picnic Area		
Swimming Pool		

### Comments

The property does not accept Housing Choice Vouchers. The contact stated that garages are available for an additional \$75 per month.

# Greenbrier Apartments, continued

## Trend Report

### Vacancy Rates

2Q21	3Q21	1Q22	4Q23
6.1%	6.1%	6.1%	3.2%

## Trend: Market

### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	2	N/A	\$790 - \$900	\$0	\$790 - \$900	\$790 - \$900
2021	3	N/A	\$745 - \$905	\$0	\$745 - \$905	\$745 - \$905
2022	1	N/A	\$765 - \$919	\$0	\$765 - \$919	\$765 - \$919
2023	4	N/A	\$835 - \$1,150	\$0	\$835 - \$1,150	\$835 - \$1,150

### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	2	N/A	\$920	\$0	\$920	\$920
2021	3	N/A	\$920 - \$970	\$0	\$920 - \$970	\$920 - \$970
2022	1	N/A	\$976 - \$1,026	\$0	\$976 - \$1,026	\$976 - \$1,026
2023	4	N/A	\$1,096 - \$1,213	\$0	\$1,096 - \$1,213	\$1,096 - \$1,213

### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	2	N/A	\$940 - \$980	\$0	\$940 - \$980	\$940 - \$980
2021	3	N/A	\$885 - \$1,015	\$0	\$885 - \$1,015	\$885 - \$1,015
2022	1	N/A	\$1,002 - \$1,042	\$0	\$1,002 - \$1,042	\$1,002 - \$1,042
2023	4	N/A	\$1,138 - \$1,213	\$0	\$1,138 - \$1,213	\$1,138 - \$1,213

### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	2	N/A	\$1,160	\$0	\$1,160	\$1,160
2021	3	N/A	\$1,160 - \$1,170	\$0	\$1,160 - \$1,170	\$1,160 - \$1,170
2022	1	1.9%	\$1,109	\$0	\$1,109	\$1,109
2023	4	0.0%	\$1,308	\$0	\$1,308	\$1,308

## Trend: Comments

2Q21	The contact reported stable rent collection and stable occupancy during COVID-19. A majority of tenants are not experiencing job losses.
3Q21	N/A
1Q22	The property does not accept Housing Choice Vouchers. The contact reported that the property is no longer impacted by Covid-19. The contact noted that rent collection and occupancy are stable. The contact stated that garages are available for an additional \$75 per month.
4Q23	The property does not accept Housing Choice Vouchers. The contact stated that garages are available for an additional \$75 per month.

Photos



# PROPERTY PROFILE REPORT

## Paces Run

Effective Rent Date	10/24/2023
Location	7501 Parklane Road Columbia, SC 29223 Richland County
Distance	0.3 miles
Units	260
Vacant Units	6
Vacancy Rate	2.3%
Type	Garden (3 stories)
Year Built/Renovated	1987 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Greenbrier Apartments, Fairways
Tenant Characteristics	25-30% military, some business contractors.
Contact Name	Tanya
Phone	803.741.0300



### Market Information

Program	Market
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within 30 days
Annual Chg. in Rent	Changes daily, annual unknown
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	N/A	779	\$1,159	\$0	Market	No	3	N/A	N/A	None
1	1	Garden (3 stories)	N/A	614	\$1,200	\$0	Market	No	0	N/A	N/A	HIGH*
1	1	Garden (3 stories)	N/A	614	\$1,050	\$0	Market	No	3	N/A	N/A	LOW*
2	1	Garden (3 stories)	N/A	943	\$1,259	\$0	Market	No	0	N/A	N/A	None
2	2	Garden (3 stories)	128	1,127	\$1,279	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,050 - \$1,200	\$0	\$1,050 - \$1,200	\$0	\$1,050 - \$1,200
2BR / 1BA	\$1,259	\$0	\$1,259	\$0	\$1,259
2BR / 2BA	\$1,279	\$0	\$1,279	\$0	\$1,279

## Paces Run, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	In-Unit Alarm	None
Carpeting	Central A/C		
Dishwasher	Ceiling Fan		
Garbage Disposal	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Car Wash	Clubhouse/Meeting Room/Community	None	\$30 for unit with fireplace,
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Swimming Pool			

### Comments

The contact was unable to provide the number of units by unit type. Units are equipped with in-unit alarms, which if activated cost an additional \$25 per month. The property does not currently accept Housing Choice Vouchers.



## Paces Run, continued

### Trend Report

#### Vacancy Rates

3Q10	2Q17	3Q21	4Q23
5.0%	0.4%	0.4%	2.3%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2010	3	N/A	\$600 - \$710	\$50 - \$75	\$550 - \$635	\$550 - \$635
2017	2	N/A	\$768 - \$788	\$0	\$768 - \$788	\$768 - \$788
2021	3	N/A	\$770 - \$850	\$0	\$770 - \$850	\$770 - \$850
2023	4	N/A	\$1,050 - \$1,200	\$0	\$1,050 - \$1,200	\$1,050 - \$1,200

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2010	3	N/A	\$770	\$75	\$695	\$695
2017	2	N/A	\$857	\$0	\$857	\$857
2021	3	N/A	\$857	\$0	\$857	\$857
2023	4	N/A	\$1,259	\$0	\$1,259	\$1,259

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2010	3	2.3%	\$810	\$100	\$710	\$710
2017	2	0.8%	\$914	\$0	\$914	\$914
2021	3	0.8%	\$930	\$0	\$930	\$930
2023	4	0.0%	\$1,279	\$0	\$1,279	\$1,279

### Trend: Comments

3Q10	The property is now using a system that changes rents daily based on occupancy.
2Q17	The contact noted that there is more demand for the one-bedroom units than there is for the two-bedroom units. Rents at the property change daily and are based on unit availability; the annual change in rent was unknown. The contact was unable to provide the number of units by unit type. Units are equipped with in-unit alarms, which if activated cost an additional \$25 per month. The property does not accept Housing Choice Vouchers.
3Q21	N/A
4Q23	The contact was unable to provide the number of units by unit type. Units are equipped with in-unit alarms, which if activated cost an additional \$25 per month. The property does not currently accept Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Samara East

Effective Rent Date	10/24/2023
Location	8100 Bayfield Road Columbia, SC 29223 Richland County
Distance	0.5 miles
Units	288
Vacant Units	4
Vacancy Rate	1.4%
Type	Garden (2 stories)
Year Built/Renovated	1980 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Greenbrier Apartments
Tenant Characteristics	10% military, singles, some families.
Contact Name	Beverly; Jamie
Phone	803.736.2450



### Market Information

Program	Market
Annual Turnover Rate	42%
Units/Month Absorbed	N/A
HCV Tenants	7%
Leasing Pace	Within 1 month
Annual Chg. in Rent	Increased 3-5%
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Garden (2 stories)	12	515	\$949	\$0	Market	No	1	8.3%	N/A	None
1	1	Garden (2 stories)	92	780	\$1,009	\$0	Market	No	1	1.1%	N/A	None
2	2	Garden (2 stories)	160	918	\$1,109	\$0	Market	No	1	0.6%	N/A	None
3	2	Garden (2 stories)	24	1,031	\$1,229	\$0	Market	No	1	4.2%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$949	\$0	\$949	\$0	\$949
1BR / 1BA	\$1,009	\$0	\$1,009	\$0	\$1,009
2BR / 2BA	\$1,109	\$0	\$1,109	\$0	\$1,109
3BR / 2BA	\$1,229	\$0	\$1,229	\$0	\$1,229

## Samara East, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Cable/Satellite/Internet	Carpeting		
Central A/C	Dishwasher		
Garbage Disposal	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Car Wash	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Swimming Pool	Tennis Court		

### Comments

The rent also includes pest control and basic cable. There were no additional comments.

## Trend Report

## Vacancy Rates

1Q07	1Q08	3Q10	4Q23
6.9%	8.7%	3.8%	1.4%

## Trend: Market

## 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2007	1	N/A	\$780	\$305	\$475	\$475
2008	1	N/A	\$633	\$65	\$568	\$568
2010	3	4.3%	\$649	\$0	\$649	\$649
2023	4	1.1%	\$1,009	\$0	\$1,009	\$1,009

## 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2007	1	N/A	\$695	\$347	\$348	\$348
2008	1	N/A	\$719	\$0	\$719	\$719
2010	3	3.1%	\$729	\$0	\$729	\$729
2023	4	0.6%	\$1,109	\$0	\$1,109	\$1,109

## 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2008	1	N/A	\$828	\$0	\$828	\$828
2010	3	4.2%	\$839	\$0	\$839	\$839
2023	4	4.2%	\$1,229	\$0	\$1,229	\$1,229

## Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2007	1	N/A	\$550	\$275	\$275	\$275
2008	1	N/A	\$563	\$0	\$563	\$563
2010	3	8.3%	\$579	\$0	\$579	\$579
2023	4	8.3%	\$949	\$0	\$949	\$949

## Trend: Comments

1Q07	Parklane Apartments is a Market-rate property offering 288 studio, one, and two-bedroom units. Rent for studio units increased by 4%. There are three different rents for the one-bedroom, one-bath \$610, \$620, or \$630. Units for \$620 offer a fireplace, and units for \$630 offers fireplace, and washer/dryer hook-ups. Rent for these units have increased by 3%. Rents for two-bedroom, two-bath units have increased by 2%. Concession going on right now is half-off first 2 months rent with a one year lease. Contact said that the leasing pace depends on the situation but usually takes about 30-days.
1Q08	The property manager reported that the one-bedroom units comprise of the most vacancies. Studio and three-bedrooms are the most popular units and usually remain occupied, or lease quickly. The property manager has been marketing to local businesses, posted ads in the local newspapers and websites. Parklane Apartments no longer accepts Housing Choice Vouchers; however have approximately 20 households that were grandfathered in. The property manager reported that high turnover was a result of military tenants being sent overseas and tenants moving out of state due to jobs transfers. She also believes the market is slow. Traffic has been reportedly slow. The property manager believes the holidays are also affecting traffic. She anticipates traffic to pick up in the next month.
3Q10	The rent also includes pest control and basic cable.
4Q23	The rent also includes pest control and basic cable. There were no additional comments.

Photos



# PROPERTY PROFILE REPORT

## Springtree Apartments

Effective Rent Date	10/24/2023
Location	250 Springtree Road Columbia, SC 29223 Richland County
Distance	0.6 miles
Units	152
Vacant Units	2
Vacancy Rate	1.3%
Type	Garden (2 stories)
Year Built/Renovated	1982 / 2017
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Parklane, The Greenbrier
Tenant Characteristics	15% military, singles, roomates.
Contact Name	Paula
Phone	803-741-0413



### Market Information

Program	Market
Annual Turnover Rate	15%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Up to three weeks
Annual Chg. in Rent	Fluctuates often
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	0	694	\$885	\$0	Market	No	0	N/A	N/A	HIGH*
1	1	Garden (2 stories)	80	694	\$850	\$0	Market	No	2	2.5%	N/A	LOW*
2	1	Garden (2 stories)	0	984	\$980	\$0	Market	No	0	N/A	N/A	HIGH
2	1	Garden (2 stories)	72	984	\$1,000	\$0	Market	No	0	0.0%	N/A	LOW

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$850 - \$885	\$0	\$850 - \$885	\$77	\$927 - \$962
2BR / 1BA	\$980 - \$1,000	\$0	\$980 - \$1,000	\$104	\$1,084 - \$1,104

## Springtree Apartments, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpet/Hardwood	Patrol	None
Central A/C	Dishwasher		
Ceiling Fan	Garbage Disposal		
Oven	Refrigerator		
Property		Premium	Other
Exercise Facility	Central Laundry	None	None
Off-Street Parking	On-Site Management		
Picnic Area	Swimming Pool		
Tennis Court			

### Comments

The contact stated that rents fluctuate often due to pricing software.



## Trend Report

### Vacancy Rates

1Q20	2Q21	3Q21	4Q23
0.0%	0.0%	0.0%	1.3%

## Trend: Market

### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2020	1	0.0%	\$780	\$0	\$780	\$857
2021	2	0.0%	\$780	\$0	\$780	\$857
2021	3	0.0%	\$880	\$0	\$880	\$957
2023	4	2.5%	\$850 - \$885	\$0	\$850 - \$885	\$927 - \$962

### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2020	1	N/A	\$825 - \$880	\$0	\$825 - \$880	\$929 - \$984
2021	2	N/A	\$825 - \$880	\$0	\$825 - \$880	\$929 - \$984
2021	3	N/A	\$1,000 - \$1,055	\$0	\$1,000 - \$1,055	\$1,104 - \$1,159
2023	4	0.0%	\$980 - \$1,000	\$0	\$980 - \$1,000	\$1,084 - \$1,104

## Trend: Comments

1Q20	The contact stated the property renovated all units during 2016 and 2017, including new flooring, cabinets, paint, countertops, appliances, and fixtures. Higher end renovations include stainless steel appliances and command a premium of \$25 over the listed rents. Basic renovations include black appliances.
2Q21	The contact stated that rent collection and occupancy has not been negatively impacted by COVID-19.
3Q21	The contact stated that rents can change day-to-day due to supply and demand. The given rents are the rates of the most recently leased units.
4Q23	The contact stated that rents fluctuate often due to pricing software.

Photos



# PROPERTY PROFILE REPORT

## The Preserve At Windsor Lake

Effective Rent Date	11/01/2023
Location	1460 Oakcrest Drive Columbia, SC 29223 Richland County
Distance	1.4 miles
Units	264
Vacant Units	4
Vacancy Rate	1.5%
Type	Garden (3 stories)
Year Built/Renovated	2007 / N/A
Marketing Began	7/01/2007
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Villa at Spear Creek, Crowne Lake, Green Hill Parish
Tenant Characteristics	Local area tenants, small families, professionals, military
Contact Name	Cherise
Phone	803-918-5934



### Market Information

Program	Market
Annual Turnover Rate	23%
Units/Month Absorbed	12
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Changes daily
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	66	775	\$1,235	\$0	Market	No	0	0.0%	N/A	None
1	1	Garden (3 stories)	18	918	\$1,350	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (3 stories)	114	1,082	\$1,445	\$0	Market	No	1	0.9%	N/A	None
2	2	Garden (3 stories)	18	1,222	\$1,565	\$0	Market	No	1	5.6%	N/A	None
3	2	Garden (3 stories)	36	1,250	\$1,655	\$0	Market	No	2	5.6%	N/A	None
3	2	Garden (3 stories)	12	1,390	\$1,830	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,235 - \$1,350	\$0	\$1,235 - \$1,350	\$77	\$1,312 - \$1,427
2BR / 2BA	\$1,445 - \$1,565	\$0	\$1,445 - \$1,565	\$104	\$1,549 - \$1,669
3BR / 2BA	\$1,655 - \$1,830	\$0	\$1,655 - \$1,830	\$140	\$1,795 - \$1,970

## The Preserve At Windsor Lake, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Carpeting	Intercom (Buzzer)	None
Central A/C	Coat Closet	Limited Access	
Dishwasher	Exterior Storage		
Ceiling Fan	Garbage Disposal		
Microwave	Oven		
Refrigerator	Vaulted Ceilings		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Car Wash	None	None
Clubhouse/Meeting Room/Community	Exercise Facility		
Garage(\$135.00)	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		
Swimming Pool			

### Comments

The contact stated the property does not accept Housing Choice Vouchers. Garage parking is an additional \$135 per month. The contact had no further comments.

## Trend Report

### Vacancy Rates

4Q21	1Q22	2Q23	4Q23
N/A	N/A	0.8%	1.5%

## Trend: Market

### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	4	N/A	\$1,205 - \$1,275	\$0	\$1,205 - \$1,275	\$1,282 - \$1,352
2022	1	N/A	\$1,215 - \$1,275	\$0	\$1,215 - \$1,275	\$1,292 - \$1,352
2023	2	0.0%	\$1,235 - \$1,350	\$0	\$1,235 - \$1,350	\$1,312 - \$1,427
2023	4	0.0%	\$1,235 - \$1,350	\$0	\$1,235 - \$1,350	\$1,312 - \$1,427

### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	4	N/A	\$1,505 - \$1,555	\$0	\$1,505 - \$1,555	\$1,609 - \$1,659
2022	1	N/A	\$1,505 - \$1,555	\$0	\$1,505 - \$1,555	\$1,609 - \$1,659
2023	2	0.8%	\$1,445 - \$1,565	\$0	\$1,445 - \$1,565	\$1,549 - \$1,669
2023	4	1.5%	\$1,445 - \$1,565	\$0	\$1,445 - \$1,565	\$1,549 - \$1,669

### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2021	4	N/A	\$1,695 - \$1,745	\$0	\$1,695 - \$1,745	\$1,835 - \$1,885
2022	1	N/A	\$1,715 - \$1,765	\$0	\$1,715 - \$1,765	\$1,855 - \$1,905
2023	2	2.1%	\$1,735 - \$1,830	\$0	\$1,735 - \$1,830	\$1,875 - \$1,970
2023	4	4.2%	\$1,655 - \$1,830	\$0	\$1,655 - \$1,830	\$1,795 - \$1,970

## Trend: Comments

4Q21	The contact declined to provide the current occupancy rate at the property. This property does not accept Housing Choice Vouchers.
1Q22	The contact declined to provide the current occupancy and turnover rate at the property. This property does not accept Housing Choice Vouchers.
2Q23	The contact stated that the property does not accept Housing Choice Vouchers. Garage parking is an additional \$135 per month. The contact had no further comments.
4Q23	The contact stated the property does not accept Housing Choice Vouchers. Garage parking is an additional \$135 per month. The contact had no further comments.

## COMPARABLE PROPERTY ANALYSIS

Following are relevant characteristics of comparable properties surveyed:

### Location

The following table illustrates the Subject and comparable property household incomes, median gross rents, median home values, and WalkScores.

**LOCATIONAL COMPARISON SUMMARY**

#	Property Name	Program	Distance Subject	Household Income	Median Home Value	Median Rent	Crime Index	Walk Score	Vacant Housing	% Renter HH
S	Wyndham Pointe	LIHTC		\$38,444	\$203,295	\$1,015	225	10	6.6%	80.2%
1	Arcadia Park	LIHTC	1.9 miles	\$33,272	\$203,295	\$1,015	161	45	10.5%	64.5%
2	Brookside Crossing	LIHTC	0.5 mile	\$36,761	\$203,295	\$1,015	219	39	8.6%	76.3%
3	Deer Park Apartments	LIHTC	0.8 mile	\$45,945	\$203,295	\$1,015	219	31	10.8%	54.5%
4	Jackson Creek Station	LIHTC	2.0 miles	\$35,134	\$329,185	\$1,172	161	65	10.6%	61.6%
5	Regent Park Apartments	LIHTC	1.9 miles	\$47,642	\$203,295	\$1,015	181	9	10.0%	78.4%
6	Gable Hill	Market	0.5 mile	\$48,207	\$203,295	\$1,015	201	22	10.1%	76.6%
7	Greenbrier Apartments	Market	0.4 mile	\$36,246	\$203,295	\$1,015	219	31	8.5%	78.4%
8	Paces Run	Market	0.3 mile	\$45,152	\$203,295	\$1,015	219	31	8.2%	65.3%
9	Samara East	Market	0.5 mile	\$50,692	\$203,295	\$1,015	201	9	10.3%	73.0%
10	Springtree Apartments	Market	0.6 mile	\$36,267	\$203,295	\$1,015	219	29	8.6%	75.8%
11	The Preserve At Windsor Lake	Market	1.4 miles	\$47,648	\$203,295	\$1,015	174	23	9.6%	77.0%

The Subject is located in a mixed-use neighborhood in northeastern Columbia. All of the comparables are located within 2.0 miles of the Subject. All of the comparables are located in generally similar neighborhoods to the Subject, offering a similar median rent and median home values. Furthermore, the Subject is located in a “Car Dependent” area as defined by WalkScore. All of the comparables are located in areas with either similar to superior walkability to the Subject. Overall, the Subject is located in a generally similar location relative to the comparables, with Jackson Creek Station being located in a slightly superior location to the Subject.

### Unit Size

The following table summarizes unit sizes in the market area, and provides a comparison of the Subject’s unit size and the surveyed average unit sizes in the market.

**UNIT SIZE COMPARISON**

Bedroom Type	1BR	2BR	3BR
<b>Subject</b>	<b>1,036</b>	<b>1,232</b>	<b>1,444</b>
Average	759	1,040	1,219
Min	614	918	1,031
Max	918	1,222	1,390
<b>Advantage/Disadvantage</b>	<b>36.5%</b>	<b>18.4%</b>	<b>18.4%</b>

The Subject's one, two, and three-bedroom unit sizes are above the range of the surveyed comparable unit sizes. As such, the Subject’s units appear to offer a significant size advantage over local supply. We have considered the Subject's unit sizes in our determination of achievable rents.

**Vacancy**

The following table summarizes overall weighted vacancy trends at the surveyed properties.

OVERALL VACANCY						
Property Name	Program	Tenancy	Total Units	Vacant Units	Vacancy %	
Arcadia Park	LIHTC	Family	75	0	0.0%	
Brookside Crossing	LIHTC	Family	162	2	1.2%	
Deer Park Apartments	LIHTC	Family	64	0	0.0%	
Jackson Creek Station	LIHTC	Family	56	0	0.0%	
Regent Park Apartments	LIHTC	Family	72	0	0.0%	
Gable Hill	Market	Family	180	2	1.1%	
Greenbrier Apartments	Market	Family	526	17	3.2%	
Paces Run	Market	Family	260	6	2.3%	
Samara East	Market	Family	288	4	1.4%	
Springtree Apartments	Market	Family	152	2	1.3%	
The Preserve At Windsor Lake	Market	Family	264	4	1.5%	
<b>LIHTC Total</b>			<b>429</b>	<b>2</b>	<b>0.5%</b>	
<b>Market Total</b>			<b>1,670</b>	<b>35</b>	<b>2.1%</b>	
<b>Overall Total</b>			<b>2,099</b>	<b>37</b>	<b>1.8%</b>	

The comparable properties reported vacancy rates ranging from zero to 3.2 percent, with an overall weighted average of 1.8 percent. Managers at four of the five LIHTC properties reported being fully occupied. The average vacancy rate reported by the affordable comparables was 0.5 percent, well below the 2.1 percent weighted average reported by the market rate properties. All of the market rate properties reported vacancy rates of 3.2 percent or less. The average LIHTC vacancy rate of 0.5 percent is considered exceptionally low, and indicative of supply-constrained conditions.

According to the Subject’s rent roll dated August 31, 2023 (most recent available), the Subject was fully occupied. The Subject has operated with vacancy and collection loss ranging from 5.3 to 11.3 percent between 2020 and 2023 year to date. Based on the performance of the LIHTC comparables, we expect the Subject will operate with a vacancy and collection loss of five percent or less.

**LIHTC Vacancy – All LIHTC Properties in PMA**

There are 429 total LIHTC units in the PMA that we included in this comparable analysis. There are just two total vacant units among these five properties, and four of the five maintain waiting lists. This indicates strong demand for affordable rental housing in the PMA.

**REASONABILITY OF RENTS**

This report is written to SC Housing guidelines. Therefore, the conclusions contained herein may not be replicated by a more stringent analysis. We recommend that the sponsor understand the guidelines of all those underwriting the Subject development to ensure the proposed rents are acceptable to all.

Rents provided by property managers at some properties may include all utilities while others may require tenants to pay all utilities. To make a fair comparison of the Subject rent levels to comparable properties, rents at comparable properties are typically adjusted to be consistent with the Subject. Adjustments are made using the Housing Authority of the City of Columbia (Columbia Housing) utility allowance schedule, effective February 27, 2023, which is the most recent available. The rent analysis is based on net rents at the Subject as well as surveyed properties.

The following table summarizes the Subject’s proposed 60 percent AMI net rents compared to the maximum allowable 60 percent AMI rents, and the net 60 percent AMI rents at the comparables.

**LIHTC RENT COMPARISON @60%**

Property Name	County	1BR	2BR	3BR	Max Rent?
Wyndham Pointe	Richland	\$867	\$1,047	\$1,212	Yes
<b>2023 LIHTC Maximum Rent (Net)</b>	<b>Richland</b>	<b>\$867</b>	<b>\$1,047</b>	<b>\$1,212</b>	-
Arcadia Park	Richland	\$753	\$881	\$986	No
Brookside Crossing	Richland	\$886	\$1,056	\$1,212	Yes
Jackson Creek Station	Richland	-	\$1,017	\$1,065	No
Regent Park Apartments	Richland	\$826	\$983	\$1,129	No
<b>Average</b>	-	<b>\$822</b>	<b>\$984</b>	<b>\$1,098</b>	-
<b>Achievable LIHTC Rent</b>	-	<b>\$867</b>	<b>\$984</b>	<b>\$1,212</b>	Yes

The Subject’s proposed 60 percent AMI rents are set at the 2023 maximum allowable levels. As shown, one of the LIHTC comparables, Brookside Crossing, reported rents at the 2023 maximum allowable levels. Three of the four properties are fully occupied and maintain extensive waiting lists, indicating supply constrained conditions. Furthermore, based on the comparable data, we believe the Subject would achieve LIHTC rents at the 2023 maximum allowable levels. Upon completion of renovations, the Subject will be most similar to Brookside Crossing in terms of amenities and design.

**Brookside Crossing** is a 162-unit LIHTC development located 0.5 miles south of the Subject in a generally similar neighborhood. The property was built in 2009 and will exhibit a slightly inferior condition to the Subject post-renovation. This property offers generally similar unit and common area amenities as the Subject. Brookside Crossing is currently 98.8 percent occupied, indicating rents are well received. In overall terms, we believe the Subject will be a relatively similar product to Brookside Crossing. Based on the performance of this property, as well as the comparables, we believe the Subject’s proposed rents at the 60 percent AMI level are achievable.

The Subject will offer a superior product relative to the LIHTC comparables achieving maximum allowable rents post renovation. Therefore, we have concluded to achievable LIHTC rents at the 2023 maximum allowable level for the Subject’s one, two, and three-bedroom units.

**Achievable Market Rents**

Based on the quality of the surveyed comparable properties and the anticipated quality of the proposed Subject, we conclude that the Subject’s rental rates are below the achievable market rates for the Subject’s area. The following table shows both adjusted market rent comparisons and achievable market rents.

**SUBJECT COMPARISON TO MARKET RENTS**

Unit Type	Rent Level	Square Feet	Pro Forma Rent	Surveyed Min	Surveyed Max	Surveyed Average	Achievable Market Rent	Subject Rent Advantage
1BR/1BA	@60%	1,036	\$867	\$835	\$1,427	\$1,080	\$1,350	36%
2BR/2BA	@60%	1,232	\$1,047	\$1,084	\$1,669	\$1,241	\$1,550	32%
3BR/2BA	@60%	1,444	\$1,212	\$1,229	\$1,970	\$1,548	\$1,750	31%

The Subject’s proposed LIHTC rents are below the achievable market rents, and below the comparable averages. The Subject’s proposed LIHTC rents represent a rent advantage of 31 to 36 percent over the achievable market rents. We compared the Subject to **The Preserve At Windsor Lake**, as it is the most similar comparable to the Subject as proposed.

**The Preserve At Windsor Lake** is a 264-unit, garden-style development located 1.4 miles east of the Subject site, in a neighborhood considered generally similar to the Subject's location. The property was built in 2007, and currently exhibits a slightly inferior condition relative to the Subject as proposed. The Preserve At Windsor Lake offers generally similar common area amenities relative to the Subject. The property is currently 98.5 percent occupied, indicating rents have been well received. Overall, we have placed the Subject's achievable



rents below this property, but above the overall average rents reported by the comparables. The following table compares the Subject with The Preserve At Windsor Lake.

**SUBJECT COMPARISON TO THE PRESERVE AT WINDSOR LAKE**

Unit Type	Subject Achievable Market Rent	Square Feet	Subject RPSF	Comparable Rent	Square Feet	Comparable RPSF
1BR/1BA	\$1,350	1,036	\$1.30	\$1,427	918	\$1.55
2BR/2BA	\$1,550	1,232	\$1.26	\$1,669	1,222	\$1.37
3BR/2BA	\$1,750	1,444	\$1.21	\$1,970	1,390	\$1.42

In conclusion, we believe that the Subject’s achievable market rents are **\$1,350, \$1,550, and \$1,750**, for its one, two, and three-bedroom units, respectively. The maximum allowable LIHTC rents provide an advantage between 31 to 36 percent relative to the achievable market rents conclusions.

**Impact of Subject on Other Affordable Units in Market**

Managers at four of the five LIHTC comparables reported being fully occupied with a waiting list. With a limited supply of affordable housing options in the PMA, and a stable and growing base of low-income tenants, we believe the Subject’s rehabilitation will have no long-term impact on the existing area LIHTC developments. Since the Subject will continue to operate as a tax credit development, we do not expect any impact on the existing restricted housing in the market.

**Rent versus Buy Analysis**

We performed a rent/buy analysis. Our inputs assume a three-bedroom, single-family home listing on Zillow in the Subject’s neighborhood with a purchase price of \$196,000 and an interest rate of 7.00 percent for a 30-year fixed mortgage with a ten percent down payment. This was compared with the cost to rent the Subject’s three-bedroom unit at 60 percent of AMI. The analysis indicates that with a monthly differential of \$367, it is more affordable to rent than purchase a home. The rent buy analysis is illustrated in the following table.

RENT BUY ANALYSIS				
Property Type:	Three-Bedroom Single-Family Home			
Sales Price	\$196,000			
Down Payment at 10.0%	\$19,600			
Mortgage Amount	\$176,400			
Current Interest Rate	7.00%			
<i>Homeownership Costs</i>		<i>Monthly</i>	<i>% of Home Value</i>	<i>Annual</i>
Mortgage Payment	\$1,174			\$14,083
Property Taxes	\$204	1.25%		\$2,450
Private Mortgage Insurance*	\$74	0.50%		\$882
Maintenance	\$327	2.00%		\$3,920
Utility Costs**	\$140			\$1,680
Tax Savings	(\$307)			(\$3,685)
Cost Comparison				
	<i>Monthly</i>		<i>Annual</i>	
Costs of Homeownership	\$1,611		\$19,330	
Cost of Renting At Subject	\$1,244		\$14,928	
<b>Differential</b>	<b>\$367</b>		<b>\$4,402</b>	
Cost of Occupancy				
<i>Homeownership</i>				
Closing Costs		3.00%	\$5,880	
Down Payment at 10.0%		10.00%	\$19,600	
<b>Total</b>			<b>\$25,480</b>	
<i>Subject Rental</i>				
First Month's Rent	\$1,244			
Security Deposit	\$1,244			
<b>Total</b>	<b>\$2,488</b>			

\* Based upon 0.50% of mortgage amount  
 \*\* Utility Costs Included in Rent at Subject

As illustrated, the cash due at occupancy category totals over \$25,000 for the down payment and closing costs. The cash necessary for homeownership is still a barrier to many families. In general, first-time home buyers have difficulty saving for a down payment. Further, renting at the Subject is more affordable than purchasing even a modest single-family home in the Subject's neighborhood. Overall, we believe the Subject will face limited competition from homeownership.

### Availability of Affordable Housing Options

There are just two vacant LIHTC units among the five LIHTC comparables surveyed, and four of the LIHTC comparables maintain waiting lists. Within the PMA, there are 20 existing LIHTC properties. Overall, the availability of LIHTC housing targeting low and moderate incomes is considered constrained given the demographic growth of the PMA, and high occupancy rates. The renovation of the Subject will improve the existing affordable housing stock in the PMA, and will preserve affordable units for low-income families.

### Summary Evaluation of the Proposed Project

Overall, the local multifamily market is performing well with a 0.5 percent vacancy rate among all of the surveyed comparable projects. All of the LIHTC comparables maintain waiting lists, suggesting pent-up demand for affordable housing. One of the four LIHTC comparables are achieving maximum allowable rents. Given the rents being achieved by the comparables, and considering the Subject's condition post-renovations, we have concluded to achievable LIHTC rents at the 2023 maximum allowable level for the Subject's one, two, and three-bedroom units, respectively. These conclusions provide rent advantages between 31 to 36 percent relative to our market rent conclusions. Overall, we believe that the Subject will continue to be successful in the local market as proposed.

## **VIII. INTERVIEWS**

**INTERVIEWS**

The following section details interviews with local market participants regarding the housing market.

**Planning**

**New Supply**

We were unable to reach a contact with the City of Columbia Planning Department regarding planned, proposed, or under construction developments in the PMA. Therefore, we conducted online research and utilized a CoStar new construction report. According to CoStar, there are no proposed, planned, or under construction developments within the PMA.

**LIHTC Competition / Recent and Proposed Construction**

According to the South Carolina State Housing Finance and Development Authority (SC Housing) LIHTC allocation lists from 2020 to 2023, five properties have been allocated tax credits within the PMA within the last three years, which are detailed below. It should be noted that as of the date of this report, 2023 allocation lists have not yet been released.

- Midtown at Bull was allocated LIHTCs in 2021 for the new construction of 90 one, two, and three-bedroom units restricted to families earning 20, 50, 60, and 70 percent of the AMI or less. Construction is expected to be completed in 2024, and will directly compete with the Subject.
- Garden Lakes was allocated LIHTCs in 2021 for the new construction of 288 one, two, and three-bedroom units restricted to families earning 60 percent of the AMI or less. Construction is expected to be completed in 2024, and will directly compete with the Subject.
- The Haven at Palmer Pointe was allocated LIHTCs in 2021 for the new construction of 150 one and two-bedroom units restricted to seniors earning 60 percent of the AMI or less. Construction is expected to be completed in 2024, and will not directly compete with the Subject as an age-restricted development.
- Addison Pointe was allocated LIHTCs in 2022 for the new construction of 80 one, two, and three-bedroom units restricted to families earning 20, 50, 60, and 70 percent of the AMI or less. Construction is expected to be completed in 2025, and will directly compete with the Subject.

**Section 8/Public Housing**

We attempted to contact the Columbia Housing Authority for information to obtain information regarding voucher usage and waiting list data in the county; however, as of the date of this report our phone calls and emails have not been returned. The current payment standards are detailed in the table below and were provided by the Columbia Housing Authority.

**PAYMENT STANDARDS**

Bedroom Type	Gross Payment Standard	Subject Highest Proposed Gross LIHTC Rent
1BR	\$1,221	\$945
2BR	\$1,371	\$1,134
3BR	\$1,755	\$1,309

Source: Columbia Housing Authority, effective 10/1/2023

As indicated in the previous table, payment standards for all unit types are above the Subject’s highest proposed LIHTC rents, indicating tenants in these units would not have to pay additional money out of pocket.

**Property Managers**

The results from our interviews with property managers are included in the comments section of the property profile reports.

## **IX. RECOMMENDATIONS**

## Recommendations

We believe there is ample demand for the Subject in the PMA and the market supports the renovation of the Subject development as proposed. The overall capture rate for the Subject's units is 13.8 percent, which is within the acceptable demand threshold and considered good. Individual capture rates by bedroom type range from 4.9 to 19.9 percent, which are all considered good to excellent. Between 2023 and market entry, the total number of households is expected to increase at a rate of 0.5 percent annually in the PMA. The Subject is located within 1.5 miles of most community services and facilities that tenants would utilize on a consistent basis.

One of the LIHTC comparables, Brookside Crossing, reported rents at the 2023 maximum allowable levels. Three of the four properties are fully occupied and maintain extensive waiting lists, indicating supply constrained conditions. Furthermore, based on the comparable data, we believe the Subject would achieve LIHTC rents at the 2023 maximum allowable levels. These conclusions provide rent advantages between 31 to 36 percent relative to our market rent conclusions. Overall, we believe that the Subject will continue to be successful in the local market as proposed.

Further, there are several apparent strengths of the Subject's site, development scheme, and market, which include:

- Rehabilitation of the Subject's units will positively impact the surrounding area by improving the Subject's condition and street appeal, and thus representing an improvement to the neighborhood.
- The Subject is an existing property that is 100 percent occupied and maintains a waiting list, and all tenants are expected to remain income qualified post-renovation.
- The Subject will be in good condition upon completion and will fill a need for good quality/newly renovated affordable housing in Columbia and the surrounding areas.

As such, we recommend the Subject as proposed, with no suggested modifications.

# **X. SIGNED STATEMENT REQUIREMENTS**

I affirm that an employee of Novogradac (Julianne Magana) has made a physical inspection of the market and surrounding area and the information obtained in the field has been used to determine the need and demand for new rental LIHTC units. I understand that any misrepresentation of this statement may result in denial of further participation in the South Carolina State Housing Finance and Development Authority's programs. I also affirm that I have no financial interest in the project or current business relationship with the ownership entity and my compensation is not contingent on this project being funded. This report was written according to the SCSHFDA's market study requirements. The information included is accurate and can be relied upon by SCSHFDA to present a true assessment of the low-income housing rental market.

Respectfully submitted,  
Novogradac

Date: December 7, 2023



Rachel B. Denton, MAI  
Partner  
Rachel.Denton@novoco.com  
913.312.4612



**ADDENDUM A**  
**Qualifications of Consultants**

**STATEMENT OF PROFESSIONAL QUALIFICATIONS  
RACHEL BARNES DENTON, MAI**

**I. EDUCATION**

Cornell University, Ithaca, NY  
School of Architecture, Art & Planning, Bachelor of Science in City & Regional Planning

**II. LICENSING AND PROFESSIONAL AFFILIATION**

Designated Member of the Appraisal Institute  
Member of National Council of Housing Market Analysts (NCHMA)  
Member of Commercial Real Estate Women (CREW) Network  
    2011 and 2012 Communications Committee Co-Chair for the Kansas City CREW Chapter  
    2013 Director of Communications and Board Member for Kansas City CREW  
    2014 Secretary and Board Member for Kansas City CREW  
    2015 and 2016 Treasurer and Board Member for Kansas City CREW

State of Arkansas Certified General Real Estate Appraiser No. CG3527  
State of California Certified General Real Estate Appraiser No. AG044228  
State of Colorado Certified General Real Estate Appraiser No. 100031319  
State of Georgia Certified General Real Estate Appraiser No. 391113  
State of Hawaii Certified General Real Estate Appraiser No. CGA1048  
State of Illinois Certified General Real Estate Appraiser No. 553.002012  
State of Kansas Certified General Real Estate Appraiser No. G-2501  
State of Minnesota Certified General Real Estate Appraiser No. 40420897  
State of Missouri Certified General Real Estate Appraiser No. 2007035992  
State of Nebraska Certified General Real Estate Appraiser No. CG2017030R  
State of New Mexico Certified General Real Estate Appraiser No. 03424-G  
State of North Dakota Certified General Real Estate Appraiser No. CG-219110  
State of Oklahoma Certified General Real Estate Appraiser No. 13085CGA  
State of Oregon Certified General Real Estate Appraiser No. C000951  
State of South Dakota Certified General Real Estate Appraiser No. 1488CG  
State of Texas Certified General Real Estate Appraiser No. 1380396

**III. PROFESSIONAL EXPERIENCE**

Novogradac & Company LLP, Partner  
Novogradac & Company LLP, Principal  
Novogradac & Company LLP, Manager  
Novogradac & Company LLP, Senior Real Estate Analyst

**IV. PROFESSIONAL TRAINING**

Educational requirements successfully completed for the Appraisal Institute:  
    Appraisal Principals, September 2004  
    Basic Income Capitalization, April 2005  
    Uniform Standards of Professional Appraisal Practice, various  
    Advanced Income Capitalization, August 2006  
    General Market Analysis and Highest & Best Use, July 2008  
    Advanced Sales Comparison and Cost Approaches, June 2009  
    Advanced Applications, June 2010  
    General Appraiser Report Writing and Case Studies, July 2014  
    Standards and Ethics (USPAP and Business Practices and Ethics)  
    MAI Designation General Comprehensive Examination, January 2015  
    MAI Demonstration of Knowledge Report, April 2016

Completed HUD MAP Training, Columbus, Ohio, May 2010

## **V. SPEAKING ENGAGEMENTS**

Have presented and spoken at both national Novogradac conferences and other industry events, including the National Council of Housing Market Analysts (NCHMA) Annual Meetings and FHA Symposia, National Housing and Rehabilitation Association Conferences, Institute for Professional and Executive Development (IPED) conferences, and state housing conferences, such as Housing Colorado, Idaho Conference on Housing and Economic Development, and Missouri Workforce Housing Association.

## **VI. REAL ESTATE ASSIGNMENTS**

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

In general, have managed and conducted numerous market analyses and appraisals for various types of commercial real estate since 2003, with an emphasis on affordable multifamily housing.

Conducted and managed appraisals of proposed new construction, rehab and existing Low-Income Housing Tax Credit properties, Section 8 Mark-to-Market properties, HUD MAP Section 221(d)(4) and 223(f) properties, USDA Rural Development, and market rate multifamily developments on a national basis. Analysis includes property screenings, economic and demographic analysis, determination of the Highest and Best Use, consideration and application of the three traditional approaches to value, and reconciliation to a final value estimate. Both tangible real estate values and intangible values in terms of tax credit valuation, beneficial financing, and PILOT are considered. Additional appraisal assignments completed include commercial land valuation, industrial properties for estate purposes, office buildings for governmental agencies, and leasehold interest valuation. Typical clients include developers, lenders, investors, and state agencies.

Managed and conducted market studies for proposed Low-Income Housing Tax Credit, HUD MAP, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties, on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis and operating expense analysis. Property types include proposed multifamily, senior independent living, large family, acquisition/rehabilitation, historic rehabilitation, adaptive reuse, and single family developments. Typical clients include developers, state agencies, syndicators, investors, and lenders.

Completed and have overseen numerous Rent Comparability Studies in accordance with HUD's Section 8 Renewal Policy and Chapter 9 for various property owners and local housing authorities. The properties were typically undergoing recertification under HUD's Mark to Market Program.

Performed and managed market studies and appraisals of proposed new construction and existing properties insured and processed under the HUD Multifamily Accelerated Processing (MAP) program. These reports meet the requirements outlined in HUD Handbook 4465.1 and Chapter 7 of the HUD MAP Guide for 221(d)(4) and 223(f) programs.

Performed and have overseen numerous market study/appraisal assignments for USDA RD properties in several states in conjunction with acquisition/rehabilitation redevelopments. Documents are used by states, lenders, USDA, and the developer in the underwriting process. Market studies are compliant to State, lender, and USDA requirements. Appraisals are compliant to lender requirements and USDA HB-1-3560 Chapter 7 and Attachments.

Performed appraisals for estate valuation and/or donation purposes for various types of real estate, including commercial office, industrial, and multifamily assets. These engagements were conducted in accordance with the Internal Revenue Service's Real Property Valuation Guidelines, Section 4.48.6 of the Internal Revenue Manual.

Performed analyses of various real estate asset types subject to USDA 4279-B, Business and Industry Guaranteed Loans, Section 4279.150 guidelines.

Conducted various Highest and Best Use Analyses for proposed development sites nationwide. Completed an analysis of existing and proposed senior supply of all types of real estate, and conducted various demand and feasibility analyses in order to determine level of need and ultimate highest and best use of the site.

Prepared a three-year Asset Management tracking report for a 16-property portfolio in the southern United States. Data points monitored include economic vacancy, levels of concessions, income and operating expense levels, NOI and status of capital projects. Data used to determine these effects on the project's ability to meet its income-dependent obligations.

Performed various community-wide affordable housing market analyses and needs assessments for communities and counties throughout the Midwest and Western states. Analysis included demographic and demand forecasts, interviews with local stakeholders, surveys of existing and proposed affordable supply, and reconciliation of operations at existing supply versus projected future need for affordable housing. Additional analyses included identification of housing gaps, potential funding sources, and determination of appropriate recommendations. These studies are typically used by local, state, and federal agencies in order to assist with housing development and potential financing.

Managed a large portfolio of Asset Management reports for a national real estate investor. Properties were located throughout the nation, and were diverse in terms of financing, design, tenancy, and size. Information compiled included income and expenses, vacancy, and analysis of property's overall position in the market.

Performed appraisals of LIHTC assets for Year 15 purposes; valuations of both the underlying real estate asset and partnership interests have been completed. These reports were utilized to assist in potential disposition options for the property, including sale of the asset, buyout of one or more partners, or potential conversion to market rate.

# STATEMENT OF PROFESSIONAL QUALIFICATIONS

## SARA N. NACHBAR

### I. EDUCATION

Missouri State University – Springfield, MO  
*Bachelor of Science – Finance*

### II. PROFESSIONAL EXPERIENCE

*Manager, Novogradac & Company LLP*  
*Executive Assistant, Helzberg Entrepreneurial Mentoring Program*  
*Claims Associate, Farmers Insurance Group*

### III. REAL ESTATE ASSIGNMENTS

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

- Prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, assisted living, large family, and acquisition with rehabilitation.
- Assisted in the preparation of Rent Comparability Studies for expiring Section 8 contracts and USDA contracts for subsidized properties located throughout the United States. Engagements included site visits to the subject property, interviewing and inspecting potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Assisted in appraisals of proposed new construction, rehabilitation, and existing Low Income Housing Tax Credit properties. Analysis included property screenings, valuation analysis, capitalization rate analysis, expense comparability analysis, determination of market rents, and general market analysis.
- Prepared market studies and assisted in appraisals of proposed new construction and existing properties under the HUD Multifamily Accelerated Processing (MAP) program. These reports meet the requirements outlined in HUD Handbook 4465.1 and Chapter 7/Appendix 7 of the HUD MAP Guide for 221(d)(4) and 223(f) programs.
- Researched and analyzed local and national economy and economic indicators for specific projects throughout the United States. Research included employment industries analysis, employment historical trends and future outlook, and demographic analysis.
- Examined local and national housing market statistical trends and potential outlook in order to determine sufficient demand for specific projects throughout the United States.
- Conducted more than 40 site inspections for market studies and appraisals throughout the United States for various reports including proposed new construction and rehabilitation multifamily projects.

# STATEMENT OF PROFESSIONAL QUALIFICATIONS

## Brandon Mitchell

### I. Education

#### **University of Kansas**

Bachelor of Science – Political Science

#### **University of Missouri-Kansas City**

Master of Science in Entrepreneurial Real Estate

### II. Professional Experience

Analyst - Novogradac & Company LLP

### III. Real Estate Assignments

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

- Assisted in appraisals of proposed new construction, rehabilitation, and existing Low Income Housing Tax Credit properties. Analysis included property screenings, valuation analysis, capitalization rate analysis, expense comparability analysis, determination of market rents, and general market analysis.
- Prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, assisted living, large family, and acquisition with rehabilitation.
- Assisted in the preparation of Rent Comparability Studies for expiring Section 8 contracts and USDA contracts for subsidized properties located throughout the United States. Engagements included site visits to the subject property, interviewing and inspecting potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Researched and analyzed local and national economy and economic indicators for specific projects throughout the United States. Research included employment industries analysis, employment historical trends and future outlook, and demographic analysis.
- Examined local and national housing market statistical trends and potential outlook in order to determine sufficient demand for specific projects throughout the United States.

**ADDENDUM B**  
**Utility Allowance Schedule**

**Utility Allowance Schedule**

**U.S. Department of Housing  
and Urban Development**

OMB Approval No. 2577-0169

Office of Public and Indian Housing

The following allowances are used to determine the total cost of tenant-furnished utilities and appliances.

Locality/PHA <b>SC State Housing Finance &amp; Development Agency Midlands Region</b>		Green Discount <b>Energy Star</b>		Unit Type <b>Larger Apartment Bldgs. (5+ units)</b>			Date (mm/dd/yyyy) <b>02/27/2023</b>
<b>Monthly Dollar Allowances</b>							
Utility or Service	Fuel Type	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR
<b>Space Heating</b>	Natural Gas	\$19	\$22	\$25	\$27	\$30	\$33
	Bottled Gas	\$43	\$50	\$56	\$62	\$68	\$74
	Electric Resistance	\$11	\$13	\$16	\$19	\$23	\$26
	Electric Heat Pump	\$9	\$11	\$13	\$15	\$16	\$18
	Fuel Oil	\$45	\$53	\$59	\$65	\$72	\$78
<b>Cooking</b>	Natural Gas	\$4	\$4	\$6	\$8	\$10	\$12
	Bottled Gas	\$8	\$10	\$14	\$19	\$23	\$28
	Electric	\$5	\$6	\$8	\$11	\$13	\$15
	Other						
<b>Other Electric</b>	Electric	\$18	\$21	\$29	\$37	\$46	\$54
<b>Air Conditioning</b>	Electric	\$12	\$14	\$20	\$26	\$32	\$38
<b>Water Heating</b>	Natural Gas	\$8	\$10	\$14	\$18	\$22	\$27
	Bottled Gas	\$18	\$22	\$31	\$41	\$51	\$60
	Electric	\$11	\$13	\$16	\$20	\$24	\$27
	Fuel Oil	\$19	\$23	\$33	\$43	\$53	\$63
<b>Water</b>		\$25	\$26	\$37	\$54	\$71	\$88
<b>Sewer</b>		\$36	\$38	\$54	\$73	\$87	\$101
<b>Trash Collection</b>		\$13	\$13	\$13	\$13	\$13	\$13
<b>Other - Specify</b>							
<b>Range/Microwave</b>		\$4	\$4	\$4	\$4	\$4	\$4
<b>Refrigerator</b>		\$5	\$5	\$5	\$5	\$5	\$5
<b>Electric Base Charge</b>		\$11	\$11	\$11	\$11	\$11	\$11
<b>Natural Gas Base Charge</b>		\$11	\$11	\$11	\$11	\$11	\$11
<b>Actual Family Allowances</b> -May be used by the family to compute allowance while searching for a unit.					<b>Utility/Service/Appliance</b>		<b>Allowance</b>
					Heating		
Head of Household Name					Cooking		
					Other Electric		
					Air Conditioning		
Unit Address					Water Heating		
					Water		
					Sewer		
					Trash Collection		
Number of Bedrooms					Range/Microwave		
					Refrigerator		
					<b>Total</b>		

Previous editions are obsolete

Spreadsheet (ver14) based on form HUD-52667 (7/2019).

ref. Handbook 7420.8



**ADDENDUM C**  
**Floor/Site Plans**

# Wyndham Pointe

Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

Owner / Developer

**WYNDHAM POINTE DEVELOPMENT, L.L.C.**

Architect

**MORTON M. GRUBER, AIA, ARCHITECT**

Civil Engineer

**BERLY & ASSOCIATES**

## INDEX TO DRAWINGS

SHEET #	TITLE
T1	TITLE SHEET, INDEX
T2	SITE PLAN, UNIT TABULATION, UNIT NUMBERING

### APARTMENT BUILDINGS

SHEET #	TITLE
A0	TITLE SHEET, PROJECT DATA, PROJECT DIRECTORY, GENERAL NOTES, SYMBOL KEY

### ARCHITECTURAL

A1.1	ONE BEDROOM UNIT FLOOR PLAN
A1.2	ONE BEDROOM UNIT INTERIOR ELEVATIONS
A1.3	TWO BEDROOM UNIT FLOOR PLAN
A1.4	TWO BEDROOM UNIT INTERIOR ELEVATIONS
A1.5	THREE BEDROOM UNIT FLOOR PLAN
A1.6	THREE BEDROOM UNIT INTERIOR ELEVATIONS
A2.1	BREEZEWAY 3 STORY FLOOR, FDTN, FRAMING
A2.2	BREEZEWAY 3 STORY FRAMING PLANS
A3.1	DOOR SCHED., WINDOW SCHED., EQUIPMENT SCHED.
A3.2	FINISH SCHEDULES
A4.1.1	BUILDING TYPE 'A' FLOOR PLANS
A4.1.2	FDTN. PLAN, ROOF PLAN
A4.1.3	BLDG. #1 ELEVATIONS
A4.1.4	BLDG. #5 ELEVATIONS
A4.2.1	BUILDING TYPE 'B' FLOOR PLANS
A4.2.2	FDTN. PLAN, ROOF PLAN
A4.2.3	BLDG. #2 ELEVATIONS
A4.2.4	BLDG. #3 ELEVATIONS
A4.3.1	BUILDING TYPE 'C' FLOOR PLANS
A4.3.2	FDTN. PLAN, ROOF PLAN
A4.3.3	ELEVATIONS
A4.4.1	BUILDING TYPE 'D' FLOOR PLANS
A4.4.2	FDTN. PLAN, ROOF PLAN
A4.4.3	ELEVATIONS
A5.1.1	3 STORY BREEZEWAY SECTION
A5.1.2	3 STORY BUILDING SECTION
A5.1.3	3 STORY BUILDING SECTION AT BALCONY
A5.1.4	3 STORY WALL SECTIONS
A6.1	DETAILS
A6.2	DETAILS
A6.3	DETAILS
A7.1	DETAILS
A7.2	DETAILS
A7.3	DETAILS
A7.4	DETAILS
A7.5	DETAILS
A7.6	DETAILS
A7.7	DETAILS
A7.8	DETAILS
A7.9	DETAILS
A7.10	DETAILS
A7.11	DETAILS
A7.12	DETAILS
A7.13	DETAILS
A7.14	DETAILS
A7.15	DETAILS
A7.16	DETAILS
A7.17	DETAILS
A7.18	DETAILS
A7.19	DETAILS
A7.20	DETAILS
A7.21	DETAILS
A7.22	DETAILS
A7.23	DETAILS
A7.24	DETAILS
A7.25	DETAILS
A7.26	DETAILS
A7.27	DETAILS
A7.28	DETAILS
A7.29	DETAILS
A7.30	DETAILS
A7.31	DETAILS
A7.32	DETAILS
A7.33	DETAILS
A7.34	DETAILS
A7.35	DETAILS
A7.36	DETAILS
A7.37	DETAILS
A7.38	DETAILS
A7.39	DETAILS
A7.40	DETAILS
A7.41	DETAILS
A7.42	DETAILS
A7.43	DETAILS
A7.44	DETAILS
A7.45	DETAILS
A7.46	DETAILS
A7.47	DETAILS
A7.48	DETAILS
A7.49	DETAILS
A7.50	DETAILS
A7.51	DETAILS
A7.52	DETAILS
A7.53	DETAILS
A7.54	DETAILS
A7.55	DETAILS
A7.56	DETAILS
A7.57	DETAILS
A7.58	DETAILS
A7.59	DETAILS
A7.60	DETAILS
A7.61	DETAILS
A7.62	DETAILS
A7.63	DETAILS
A7.64	DETAILS
A7.65	DETAILS
A7.66	DETAILS
A7.67	DETAILS
A7.68	DETAILS
A7.69	DETAILS
A7.70	DETAILS
A7.71	DETAILS
A7.72	DETAILS
A7.73	DETAILS
A7.74	DETAILS
A7.75	DETAILS
A7.76	DETAILS
A7.77	DETAILS
A7.78	DETAILS
A7.79	DETAILS
A7.80	DETAILS
A7.81	DETAILS
A7.82	DETAILS
A7.83	DETAILS
A7.84	DETAILS
A7.85	DETAILS
A7.86	DETAILS
A7.87	DETAILS
A7.88	DETAILS
A7.89	DETAILS
A7.90	DETAILS
A7.91	DETAILS
A7.92	DETAILS
A7.93	DETAILS
A7.94	DETAILS
A7.95	DETAILS
A7.96	DETAILS
A7.97	DETAILS
A7.98	DETAILS
A7.99	DETAILS
A7.100	DETAILS

### STRUCTURAL

S-01	STRUCTURAL NOTES, SCHEDULES
S1.1	ONE BEDROOM UNIT FOUNDATION & FRAMING PLANS
S1.2	TWO BEDROOM UNIT FOUNDATION & FRAMING PLANS
S1.3	THREE BEDROOM UNIT FOUNDATION & FRAMING PLANS

### MECHANICAL, PLUMBING, ELECTRICAL

M1	UNIT HVAC PLANS
P1	UNIT PLUMBING PLANS
P2	PLUMBING RISERS, DIAGRAMS
E0	SITE ELECTRICAL PLAN
E1	UNIT ELEC. PLANS
E2	BUILDING ELEC. PLANS
E3	BUILDING ELEC. PLANS
E4	SCHEDULES & RISERS
E5	METRIC CENTER DETAILS

### MAIL CENTER

MC-0	TITLE SHEET
MC-1	PLANS & ELEVATIONS
MC-2	BUILDING SECTION, DETAILS
MC-3	STRUCTURAL NOTES
MC-E1	ELECTRICAL PLAN



### CLUBHOUSE

CH-T1	TITLE SHEET
CH-A1.1	FOUNDATION PLAN
CH-A2.1	FLOOR PLAN
CH-A3.1	REFLECTED CEILING PLAN
CH-A4.1	ROOF PLAN
CH-A5.1	ROOF FRAMING PLAN
CH-A6.1	FRONT ELEVATION
CH-A6.2	REAR ELEVATION
CH-A6.3	RIGHT ELEVATION
CH-A6.4	LEFT ELEVATION
CH-A7.1	INTERIOR ELEVATIONS - LOUNGE, KITCHEN
CH-A7.2	INT. ELEVATIONS - OFFICE #1, FOYER, RECEPTION
CH-A7.3	INT. ELEVATIONS - WORK AREA, MANAGER, HALLWAY
CH-A7.4	INT. ELEVATIONS - FILE ROOM/BREAK ROOM, KEY CLOSET, TOILETS
CH-A7.5	INT. ELEVATIONS - FITNESS CENTER, TECHNOLOGY CTR, LAUNDRY
CH-A8.1	DOOR SCHED., DOOR TYPES, WINDOW SCHED.
CH-A8.2	FINISH SCHEDULES
CH-A9.1	BUILDING SECTION, DETAILS
CH-A9.2	BUILDING SECTION, DETAILS
CH-A9.3	BUILDING SECTION, DETAILS
CH-A9.4	BUILDING SECTION, DETAILS
CH-A9.5	BUILDING SECTION, DETAILS
CH-A10.1	WALL SECTIONS
CH-A11.1	STRUCTURAL NOTES, SCHEDULES

### MECHANICAL, PLUMBING, ELECTRICAL

CH-M1.1	HVAC PLANS
CH-P1.1	PLUMBING PLAN
CH-P2.1	RISER WATER DIAGRAMS
CH-P2.2	RISER WASTE DIAGRAMS
CH-E1.1	POWER PLAN
CH-E2.1	LIGHTING PLAN
CH-E3.1	LOW VOLTAGE PLAN
CH-E4.1	PANELS, SCHEDULES & RISERS
CH-MPE-0	THROUGH PENETRATION DETAILS

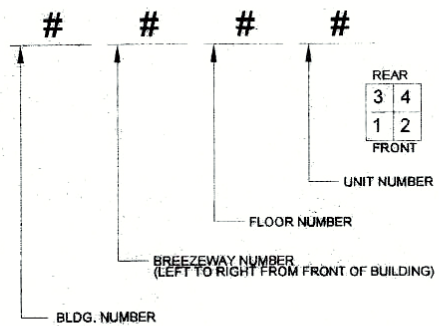


DATE	REVISION
10-18-04	11-17-04
	12-02-05
	01-11-06

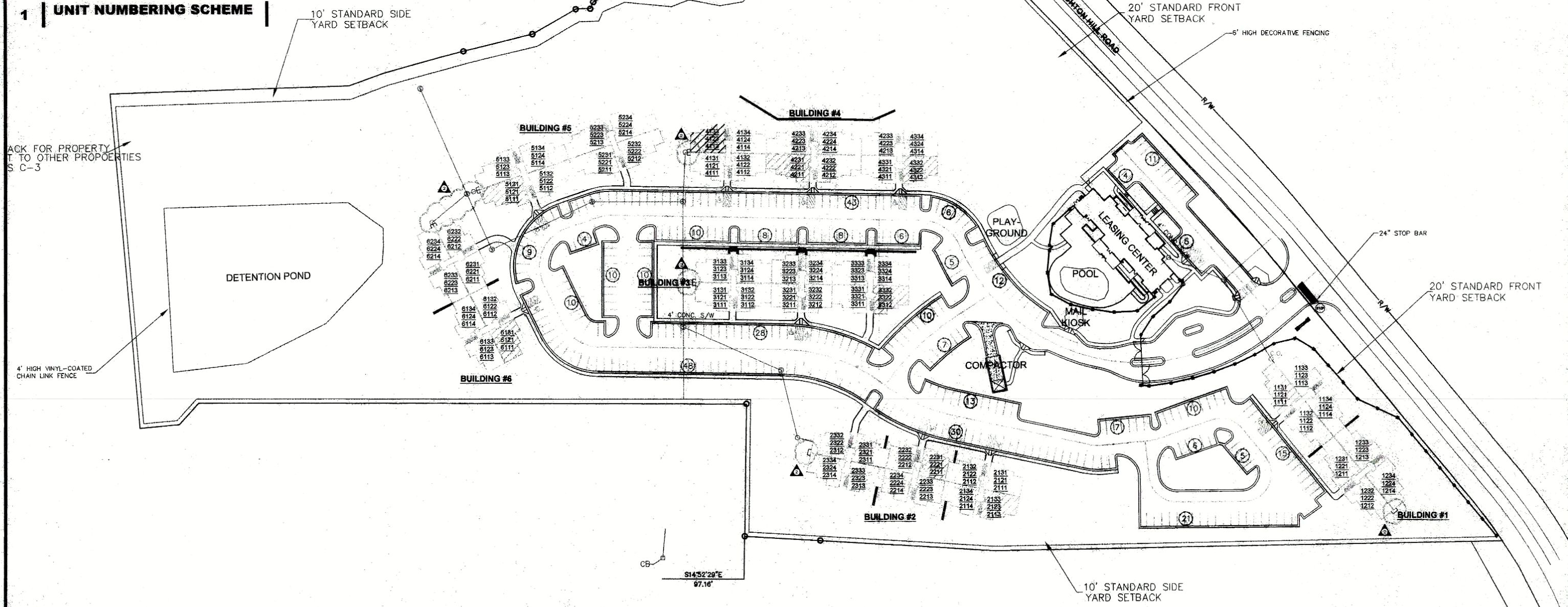
Wyndham Pointe  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

TITLE SHEET

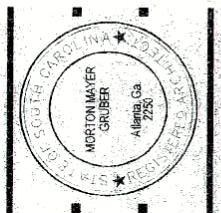
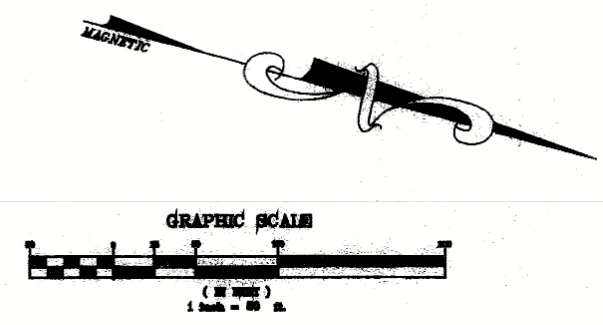
T1



**1 UNIT NUMBERING SCHEME**



UNIT TABULATION												
BUILDING				UNITS								
BLDG. NO.	BLDG. TYPE	AREA PER FLOOR	TOTAL BLDG. AREA (GROSS)	OCCUPANT LOAD	HEIGHT	UNIT-A 1BR	UNIT-B 2BR	UNIT-C 3BR	TOTAL UNITS	HC ACCESS. UNITS	HC ACCESSIBLE UNIT #	FHA UNITS
#1	A	12,208 s.f.	36,624 s.f.		3 STORY		24	24	24	1	1111 (3BR)	7
#2	B	14,976 s.f.	44,928 s.f.		3 STORY	12	24		36	2	2113 (2BR), 2211 (1BR), 3312 (2BR)	11
#3	B	14,976 s.f.	44,928 s.f.		3 STORY	12	24		36	1	3111-3114, 3211-3214, 3311, 3313, 3314	11
#4	C	16,616 s.f.	49,848 s.f.		3 STORY		24	12	36	3	4113 (2BR), 4211 (3BR), 4312 (2BR)	9
#5	A	12,208 s.f.	36,624 s.f.		3 STORY		24	24	24	1	5111 (3BR)	7
#6	D	10,512 s.f.	31,536 s.f.		3 STORY		24		24	1	6111 (2BR)	7
TOTAL RESIDENTIAL S.F.							24	96	60	180	9	51
CLUBHOUSE			8,348 s.f.									
TOTALS			252,836 s.f.									
HC ACCESSIBLE UNITS (5% TOTAL UNITS)							1	5	3	9		
FHA COMPLIANT UNITS							7	27	17	51		
UNITS EQUIPPED FOR HEARING AND SIGHT IMPAIRED (2% TOTAL UNITS)							1	2	1	4		



DATE: 10/19/04  
 REVISION: 12/02/05

**Wyndham Pointe**  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

SITE PLAN  
 UNIT POSITION  
 UNIT NUMBERING

**T2**

**GENERAL NOTES**

- THESE NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS.
- ALL WORK INCLUDING CIVIL, MECHANICAL, PLUMBING & ELECTRICAL SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE & LOCAL CODE REQUIREMENTS, AND IN ACCORDANCE WITH ACCEPTED CONSTRUCTION INDUSTRY STANDARDS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS, INSPECTIONS AND APPROVALS INCLUDING THOSE RELATED TO BUILDING AND SIGNAGE.
- ALL COMBUSTIBLE INTERIOR FINISHES SHALL BE EITHER CLASS A, B, OR C MATERIALS WITH FLAME SPREAD RATING NOT TO EXCEED 200. IF REQUESTED, CONTRACTOR SHALL PROVIDE TO THE FIRE SERVICES AUTHORITY TEST DATA VERIFYING COMPLIANCE.
- PRIOR TO TURNING BUILDING OVER TO OWNER, REPAIR OR REPLACE ALL MATERIALS, GLASS, OR ASSEMBLIES DAMAGED OR BROKEN DURING CONSTRUCTION.
- APARTMENT UNITS AT GROUND FLOORS SHALL MEET FHA GUIDELINES.
- MAINTAIN 1-HOUR FIRE RATED (VERTICAL AND HORIZONTAL) SEPARATIONS BETWEEN TENANTS.
- MANAGEMENT SHALL PROVIDE IN EACH UNIT (OR REQUIRE EACH TENANT TO PROVIDE) FIRE EXTINGUISHER, VERIFY SIZE AND LOCATION WITH FIRE MARSHAL.
- GC SHALL SUBMIT SPRINKLER SHOP DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT PRIOR TO INSTALLATION. DRAWINGS SHALL INDICATE COMPLIANCE WITH NFPA 13R. DRAWINGS SHALL INCLUDE COMPLETE SEISMIC SUPPORT DETAILS. (FIRE SPRINKLER CONTRACTOR) SHALL OBTAIN A FIRE SPRINKLER SYSTEM PERMIT PRIOR TO INSTALLATION. ANY FIRE SPRINKLER PLAN INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT SYSTEM SHALL BE MONITORED. DRAWINGS SHALL INCLUDE METHOD OF PROTECTION FOR ANY PIPING LOCATED WHERE SUBJECT TO FREEZING.
- AT ALL RATED WALLS AND RATED CEILINGS, ALL PLUMBING, ELECTRICAL & HVAC PENETRATIONS SHALL BE SEALED WITH APPROVED FIRESTOPPING MATERIAL.
- ALL FIRE RATED FLOOR/CEILING AND CEILING/ROOF ASSEMBLIES SHALL BE SUPPORTED BY FIRE RATED STRUCTURAL WALLS, COLUMNS, & BEAMS.
- SEAL ALL PENETRATIONS OF RATED ASSEMBLIES PER DETAILS INCLUDED OR PER DRAWINGS OF APPROVED TESTING AGENCY.
- FRAMER SHALL PROVIDE IN-WALL BLOCKING AS REQUIRED AT TOILET ACCESSORIES.
- FRAMER TO CAULK PLATES WHERE INDICATED WITH NON-HARDENING BUTYL OR APPROVED EQUAL MATERIAL TO ACHIEVE WATER SEAL.
- NOT USED.

- FIRE ALARM SYSTEM REQUIREMENTS
  - FIRE ALARM SYSTEM INSTALLATION DEVICES, MATERIALS AND EQUIPMENT SHALL COMPLY WITH BUILDING CODE AND NFPA 72.
  - SOUND LEVEL FOR AUDIBLE DEVICES SHALL BE A MINIMUM OF 15DBA ABOVE THE AVERAGE AMBIENT SOUND LEVEL IN EVERY OCCUPIED SPACE WITH A MINIMUM OF 60 DBA AND THE MAXIMUM OF 130 DBA.
  - A 100% ACCEPTANCE TEST WILL BE CONDUCTED ON THE FIRE ALARM SYSTEM UPON COMPLETION OF INSTALLATION. FIRE ALARM CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DEVICES THAT MAY BE REQUIRED TO MEET MINIMUM REQUIREMENTS EVEN IF SYSTEM IS INSTALLED PER APPROVED FIRE ALARM SYSTEM DRAWINGS.
  - SMOKE DETECTORS SHALL BE INSTALLED PER THE REQUIREMENTS OF GOVERNING CODES.
  - PROVIDE MANUAL PULL STATIONS AT THE ENTRANCE TO EACH STAIRWAY AT EACH FLOOR.
- SUBMIT DRAWINGS TO ARCHITECT AND LOCAL GOVERNING AUTHORITIES.
- PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- INSULATE ALL EXTERIOR AND PARTY WALLS WITH R-13 BATT, INSULATION AND ATTICS WITH R-30 BLOWN OR BATT.
- SPRINKLER EQUIPMENT ROOMS AND FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED AND LABELED PER THE REQUIREMENTS OF NFPA-13, STANDARD FIRE PREVENTION CODE, AND CONFORM WITH REQUIREMENTS OF GOVERNING AUTHORITIES.
- GRADE SHALL SLOPE AWAY FROM FOUNDATION AT A SLOPE OF NOT LESS THAN 1:20 (5%) FOR A MIN. DISTANCE OF 10'-0".
- PVC OR VINYL GUARDRAILS SHALL CONFORM WITH THE LOADING REQUIREMENTS OF SECTIONS 1607.7.1 OF THE INTERNATIONAL BUILDING CODE 2000.
- ALTERNATE FIRE RATED ROOF CLG ASSEMBLY. SHINGLES OVER ROOFING FELT ON 1/2" OSB SHEATHING WITH PLY CLIPS ON ROOF TRUSSES AT 24" O.C. INSULATED WITH FURRING CHANNELS AT 12" O.C. PERPENDICULAR TO TRUSSES WITH 1/2" TYPE 'C' GYP. BD. INSTALLED IN ACCORDANCE WITH UL DESIGN #PS22.
- FINISHES IN BREEZEWAY SHALL BE MIN. CLASS 'C' PER IBC 803.4. G.C. SHALL PROVIDE PRODUCT DATA TO INSPECTOR PRIOR TO INSTALLATION.
- EXTERIOR SHEATHING (EXCEPT BREEZEWAYS) SHALL BE ENERGY BRACE (RED) SHEATHING WITH JOINTS LAPPED 3/4" TO PROVIDE WATER RESISTANT BARRIER. SEE SHEAR WALL SCHEDULE FOR STRUCTURAL REQUIREMENTS.

# Wyndham Pointe

## 80 Brighton Hill Road

### Richland County, South Carolina

# APARTMENT BUILDINGS

**UNIT SQUARE FOOTAGE**

UNIT	GROSS BUILDING AREA PER UNIT	GROSS UNIT AREA	UNIT HEATED AREA
1 BR	1116 sq.ft.	954 sq.ft.	898 sq.ft.
2 BR	1314 sq.ft.	1152 sq.ft.	1086 sq.ft.
3 BR	1526 sq.ft.	1364 sq.ft.	1287 sq.ft.

**GROSS BUILDING AREA / PER UNIT:**  
AREA TAKEN TO OUTSIDE FACE OF STUD INCLUDING AREAS WITHOUT SURROUNDING WALLS THAT ARE WITHIN THE HORIZONTAL PROJECTION OF ROOF OR FLOOR ABOVE INCLUDES AREA OF BREEZEWAY ATTRIBUTED TO EACH UNIT.

**GROSS UNIT AREA:**  
AREA TAKEN TO OUTSIDE FACE OF STUD INCLUDING CHASE WALL AREA.

**UNIT HEATED AREA:**  
AREA TAKEN TO INTERIOR FACE OF GYPSUM BOARD ON EXTERIOR WALLS.

**SUBMITTAL REQUIREMENTS**

- Metal Plate Connected Wood Truss:**  
Submittal shall include the following information:  
1. Shall be signed and sealed by engineer registered in the state in which project is being constructed. Submittals sent without appropriate seal and signature will not be reviewed and will be rejected.  
2. Drawings shall bear an indication that they have been reviewed by the General Contractor prior to being submitted to architect.  
3. Slope or depth, span and spacing  
4. Location of Joints  
5. Required bearing widths  
6. Design Loads as applicable and meeting requirements indicated on structural drawings  
7. Top chord live load (including snow load)  
8. Top chord dead load  
9. Bottom chord live load  
10. Bottom chord dead load  
11. Concentrated loads and their points of application  
12. Controlling wind and earthquake loads  
13. Adjustments to lumber and metal connector plate design values for conditions of use  
14. Each reaction force and direction  
15. Metal connector plate type, size, thickness or gage, and the dimensioned location of each metal connector plate except where symmetrically located relative to the joint interface  
16. Lumber size species and grade for each member  
17. Connection requirements for:  
- Truss to girder  
- Truss ply to ply  
- Field species  
18. Calculated deflection ratio and/or maximum deflection for live and total load  
19. maximum axial compression forces in the truss members to enable the building designer to design the size, connections and anchorage of the permanent continuous lateral bracing. Forces shall be shown on the truss construction documents or on supplemental documents  
20. Required permanent truss member bracing locations
- Fire Alarm System Submittal:**  
Submittal shall include the following information:  
1. Drawings shall be signed and sealed by an engineer licensed in state where project is located.  
2. Drawings shall indicate required codes for compliance.  
3. Floor Plans locating all devices and equipment  
4. Alarm control and trouble signaling devices  
5. Annunciation  
6. Power connection  
7. Battery Calculations  
8. Conductor Types and Sizes  
9. Voltage drop calculations  
10. Manufacturers, model numbers and listing information for equipment devices and materials  
11. Details of ceiling height and construction  
12. The interface of fire safety control functions  
13. All details necessary to properly install system  
Submit Drawings to Fire Marshal, Building Dept. or Other Governing Authorities as required by Each  
Submit one set to architect for their records.
- Fire Suppression System Submittal:**  
Submittal shall include the following information:  
1. Calculations signed and sealed by an engineer licensed in state where project is located.  
2. Drawings shall indicate required codes for compliance.  
3. Drawings shall include complete seismic support details  
4. Floor Plans locating all sprinkler heads and piping layout  
5. Drawing shall include complete system  
6. All details needed to install system  
7. Identification method for all rooms and equipment.

**ABBREVIATIONS**

AL	ALUMINUM ABOVE FINISHED FLOOR	N.I.C.	NOT IN CONTRACT
B.O.	BOARD	N.M.	NON-METAL
B.L.G.	BLOCKING BEARING	O.D.	OVERALL OUTSIDE DIAMETER
C.B.	CABINET	O.P.P.	OPPOSITE OR CENTER
C.C.	CONCRETE	P.L.	PLASTIC LAMINATE
C.M.	CONCRETE MASONRY UNIT	P.P.	PLAIN
C.N.	CONCRETE	P.T.	PLAIN TREATMENT
C.P.	CONCRETE	P.T.P.	PRESSURE TREATED IN FLOOR
C.P.T.	CARPETED	Q.T.	QUARTER TILE
C.T.	CERAMIC TILE	R.A.	RETURN AIR
C.J.	CORNER JOINT	R.E.	REFERENCE / REFER TO
C.O.	CASED OPENING	R.S.	REFRESH
D.A.	DIAMETER	R.F.	REFINISH
D.M.P.	DIMENSION	R.G.	REQUIREMENTS
D.R.	DRAWING	R.H.	ROUGH OPENING
D.S.	DOWNSPOUT	S.C.	SCHEDULE
D.T.	DETAIL	S.C.C.	SOLID CORE SECTION
D.W.G.	DRAWING	S.F.	SQUARE FEET
D.W.R.	DRAWER	S.H.	SHIELD
E.	ELECTRICAL	S.P.	SPECIFICATION
E.L.	ELEVATION	S.P.F.	SPECIFIED
E.M.R.	EMERGENCY EQUIPMENT	S.S.	STAINLESS STEEL
E.Q.	EQUAL	S.T.	STEEL
E.X.	EXHAUST	S.T.S.	STAINLESS STEEL
E.X.C.	EXISTING	S.U.P.P.	SUPPLIER
E.X.P.	EXPANSION	S.U.S.P.	SUSPENDED
E.X.T.	EXTENSION	T.E.L.	TELEPHONE
E.J.	EXPANSION JOINT	T.E.N.	TENANT / OWNER / RANCH/SEE TYPICAL
F.A.	FIRE ALARM	T.C.C.	TENANT'S CABINET CONTRACTOR
F.D.	FLOOR DRAIN	T.E.C.	TENANT'S ELECTRICAL CONTRACTOR
F.E.	FIRE EXTINGUISHER	T.G.C.	TENANT'S GENERAL CONTRACTOR
F.F.	FLOOR FINISH	U.O.N.	UNLESS OTHERWISE NOTED
F.F.C.	FACE OF CONCRETE	V.C.T.	VINYL COMPOSITION TILE
F.F.F.	FACE OF FINISH	V.E.R.T.	VERTICAL
F.F.M.	FACE OF MASONRY	V.F.	VINYL TILE
F.F.S.	FACE OF STUD	V.I.F.	VINYL IN FIELD
F.F.P.	FIBERGLASS REINFORCED PANEL	W.C.	WATER CLOSET
F.F.T.	FOOT OR FEET	W.O.	WOOD
F.F.R.	FURRED (ING)	W.P.	WELDED WIRE FABRIC
F.F.R.	FIRE RESISTANT	W.T.H.	WITH
F.F.R.	FIRE RESISTANT	W.O.	WITHOUT
G.A.	GALVANIZED	W.O.	WITHOUT
G.O.	GRADE OR GRADING	W.O.	WITHOUT
G.L.	GLASS	W.P.	WELDED WIRE FABRIC
G.S.	GENERAL CONTRACTOR	W.T.H.	WITH
G.C.	GENERAL CONTRACTOR	W.O.	WITHOUT
G.W.B.	GYPSUM WALL BOARD		
H.C.	HOLLOW CORE		
H.C.	HOLLOW CORE		
H.M.	HOLLOW METAL		
H.O.R.	HORIZONTAL		
I.D.	INSIDE DIAMETER		
I.N.S.T.	INSTALLER		
I.N.S.	INSULATION		
I.N.T.	INTERIOR		
J.	JOINT		
J.M.	JAM		
L.A.V.	LAMINATE		
L.L.	LANDING		
M.A.T.	MATERIAL		
M.A.K.	MAKUP		
M.D.	MEDIUM DENSITY FIBER BOARD		
M.E.C.H.	MECHANICAL		
M.F.C.	MANUFACTURER		
M.I.N.	MINIMUM		
M.I.S.C.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
M.T.L.	METAL		

**DRAWING SYMBOL KEY**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- WINDOW TAG (SEE WINDOW SCHEDULE)
- FINISH TAG (SEE FINISH SCHEDULE)
- WALL TYPE TAG (SEE WALL / PARTITION SCHEDULE)
- TOILET ACCESSORY TAG (SEE TOILET ACCESSORY SCHEDULE)
- EQUIPMENT TAG (SEE EQUIPMENT SCHEDULE)
- REVISION TAG (SEE PROJECT TRACKING)
- REVISION CLOUD (DENOTES AREA OR ITEM ON DRAWING AFFECTED BY REVISION)
- COLUMN GRID #
- COLUMN CENTERLINE
- ITEM DENOTED (ELEVATION OF ITEM)
- ELEVATION MARK
- DETAIL #
- WALL SECTION REFERENCE TAG
- BUILDING SECTION REFERENCE TAGS
- ELEVATION #
- INTERIOR ELEVATION REFERENCE TAGS

**PROJECT DATA**

- CODES:**
- INTERNATIONAL BUILDING CODE, 2003 EDITION
  - INTERNATIONAL FUEL GAS CODE, 2003 EDITION
  - INTERNATIONAL MECHANICAL CODE, 2003 EDITION
  - INTERNATIONAL PLUMBING CODE, 2003 EDITION
  - NATIONAL ELECTRICAL CODE, 2002 EDITION, (NFPA 70)
  - INTERNATIONAL FIRE PREVENTION CODE, 2003 EDITION
  - INTERNATIONAL ENERGY CONSERVATION CODE, 2003 EDITION
  - THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL.
  - ICC/ANSI A117.1, ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES, 1998 EDITION
  - BUILDING ENERGY EFFICIENCY STANDARDS ACT
  - THE FAIR HOUSING ACT
  - THE AMERICANS WITH DISABILITIES ACT

OCCUPANCY CLASSIFICATION: R-2  
CONSTRUCTION TYPE: V-A  
SPRINKLERED: 13R WITH SPRINKLER COVERAGE AT BALCONIES  
OCCUPANT LOAD: 200 GROSS SQ. FT./OCCUPANT  
MAX. BUILDING AREA PER FLOOR: ALLOWABLE BLDG AREA (SEE UNIT TABULATION SHEET AD FOR ACTUAL AREAS)

AREA ALLOWED PER TABLE 503 IBC = 12,000 S.F.  
AREA ALLOWED WITH INCREASE FOR FRONTAGE = 21,000 S.F.

$$A_A = A_1 \cdot \left( \frac{A_1 + A_2}{100} \right) + \left( \frac{A_1}{100} \right) \text{ (EQUATION 5-1)}$$

$$I_1 = 100 (F/P - 0.25) W/30$$

$$A_T = 12,000 \text{ PER TABLE 503}$$

$$I_2 = 49.5$$

$$I_3 = 100 (1 - 0.25) 2030$$

$$I_4 = 49.5$$

$$I_5 = 0$$

$$A_A = 12,000 + \left( \frac{12,000 \cdot 70}{100} \right) + \left( \frac{12,000 \cdot 0}{100} \right)$$

$$A_A = 12,000 + 8,400$$

$$A_A = 20,400$$

MAX. # STORIES: THREE

**PROJECT TRACKING**

DATE	DESCRIPTION	SHEETS AFFECTED
10-19-04	100% DRAWINGS	ALL
11-17-04	REVISIONS PER BLDG DEPT. AND FIXTURE SCHED. CHANGE COLUMN DETAILING, ADD TOILET ACCESSORIES, MISC. REVISIONS	T1, A0, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6, A3.1, A4.1.1, A4.1.2, A4.1.3, A4.1.4, A4.2.1, A4.2.2, A4.2.3, A4.3.1, A4.3.2, A4.3.3, A4.4.1, A4.4.2, A4.4.3, A5.1.1, A6.3, A6.5, S0.1, S1.1, S1.2, S1.3, M1, P1, E1.
12-02-05	DELETE BALCONIES, GARDEN TUBS, TILE TUB SURROUND, CHANGE SIDING TO VINYL, REVISE ROOF TO GABLE ROOF, ADD CLOSET AT ENTRY OF 2BR & 3BR UNIT AND RELOCATE HVAC & WH, DELETE TRAY CLG AT 3RD FLOOR	ALL SHEETS EXCEPT A7.1 & E5
01-11-06	CHANGES PER OWNERS REQUEST, MISC. REVISIONS TO BRICK & ELEVATIONS	ALL SHEETS EXCEPT T2, A7.1, S0.1, E4, E5

**PROJECT DIRECTORY**

- OWNER / DEVELOPER**  
Wyndham Pointe Development L.L.C.  
c/o NorSouth  
Atlanta, GA 30328  
Bus: (770) 850-8280  
Bus. Fax: (770) 850-8230
- ARCHITECT**  
Morton M. Gruber, AIA, Architect  
245 Peachtree Center Ave.  
Suite 2445  
Atlanta, GA 30303-1224  
Bus: (404) 584-1681  
Bus. Fax: (404) 584-1695
- ARCHITECT'S PROJECT MANAGER**  
Thomas J. Metzger, AIA  
5801 Fawn Run Drive  
Flower Mound, TX 75078  
Bus: (972) 807-4002  
Fax: (972) 874-7319
- BUILDING DEPARTMENT**  
RICHLAND COUNTY  
BUILDING INSPECTIONS DEPT.  
2020 HAMPTON STREET  
1ST FLOOR  
COLUMBIA, SC 29205  
Bus: (803) 576-2140
- CIVIL ENGINEER**  
EBERLY & ASSOCIATES  
JIM LARKIN  
3680 North Peachtree Road  
Atlanta, GA 30341  
Bus: (770) 452-7849 ext.111  
Bus. Fax: (770) 452-0086

**INDEX TO DRAWINGS**

APARTMENT BUILDINGS ARCHITECTURAL	
A0	TITLE SHEET, PROJECT DATA, PROJECT DIRECTORY, GENERAL NOTES, SYMBOL KEY
A1.1	ONE BEDROOM UNIT FLOOR PLAN
A1.2	ONE BEDROOM UNIT INTERIOR ELEVATIONS
A1.3	TWO BEDROOM UNIT FLOOR PLAN
A1.4	TWO BEDROOM UNIT INTERIOR ELEVATIONS
A1.5	THREE BEDROOM UNIT FLOOR PLAN
A1.6	THREE BEDROOM UNIT INTERIOR ELEVATIONS
A2.1	BREEZEWAY 3 STORY FLOOR, FDTN, FRAMING
A2.2	BREEZEWAY 3 STORY FRAMING PLANS
A3.1	DOOR SCHED., WINDOW SCHED., EQUIPMENT SCHED.
A3.2	FINISH SCHEDULES
A4.1.1	BUILDING TYPE 'A' FLOOR PLANS
A4.1.2	FDTN. PLAN, ROOF PLAN
A4.1.3	BLDG. #1 ELEVATIONS
A4.1.4	BLDG. #5 ELEVATIONS
A4.2.1	BUILDING TYPE 'B' FLOOR PLANS
A4.2.2	FDTN. PLAN, ROOF PLAN
A4.2.3	BLDG. #2 ELEVATIONS
A4.2.4	BLDG. #3 ELEVATIONS
A4.3.1	BUILDING TYPE 'C' FLOOR PLANS
A4.3.2	FDTN. PLAN, ROOF PLAN
A4.3.3	ELEVATIONS
A4.4.1	BUILDING TYPE 'D' FLOOR PLANS
A4.4.2	FDTN. PLAN, ROOF PLAN
A4.4.3	ELEVATIONS
A5.1.1	3 STORY BREEZEWAY SECTION
A5.1.2	3 STORY BUILDING SECTION
A5.1.3	3 STORY BUILDING SECTION AT BALCONY
A5.1.4	3 STORY WALL SECTIONS
A6.1	DETAILS
A6.2	DETAILS
A6.3	DETAILS
A6.4	DETAILS
A7.1	FIRE RATING DETAILS
STRUCTURAL	
S-01	STRUCTURAL NOTES, SCHEDULES
S1.1	ONE BEDROOM UNIT FOUNDATION & FRAMING PLANS
S1.2	TWO BEDROOM UNIT FOUNDATION & FRAMING PLANS
S1.3	THREE BEDROOM UNIT FOUNDATION & FRAMING PLANS
MECHANICAL, PLUMBING, ELECTRICAL	
M1	UNIT HVAC PLANS
P1	UNIT PLUMBING PLANS
P2	PLUMBING RISERS, DIAGRAMS
E0	SITE ELECTRICAL PLAN
E1	UNIT ELEC. PLANS
E2	BUILDING ELEC. PLANS
E3	BUILDING ELEC. PLANS
E4	SCHEDULES & RISERS
E5	METER CENTER DETAILS

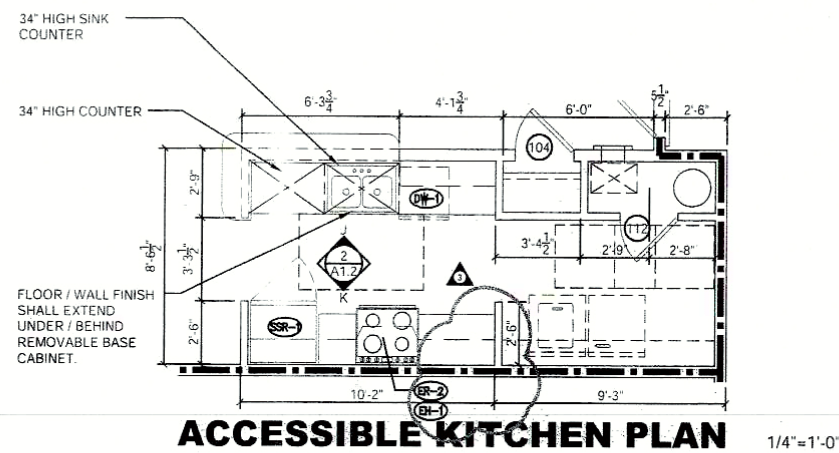


DATE: 10-19-04  
REVISION: 11-17-04, 12-02-05, 01-11-06

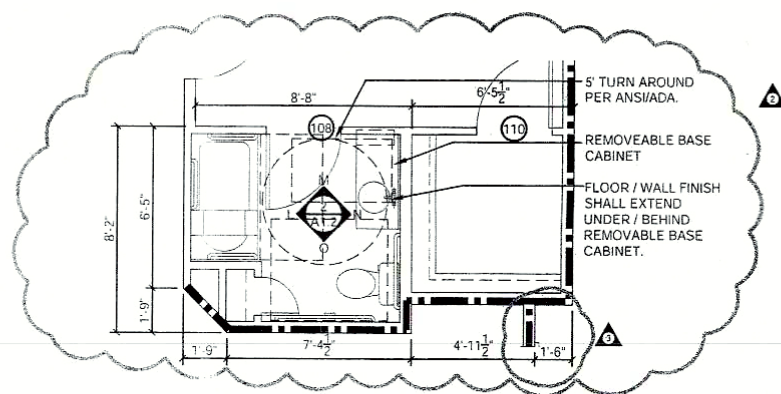
**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

APARTMENT BUILDINGS TITLE SHEET  
INDEX, UNIT TABULATION, PROJECT DIRECTORY, LOCATION MAP, GENERAL NOTES, SYMBOL KEY, ABBREVIATIONS

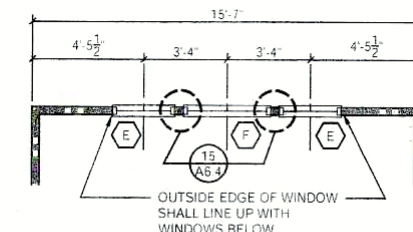
MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1681 FAX: 404/584-1695



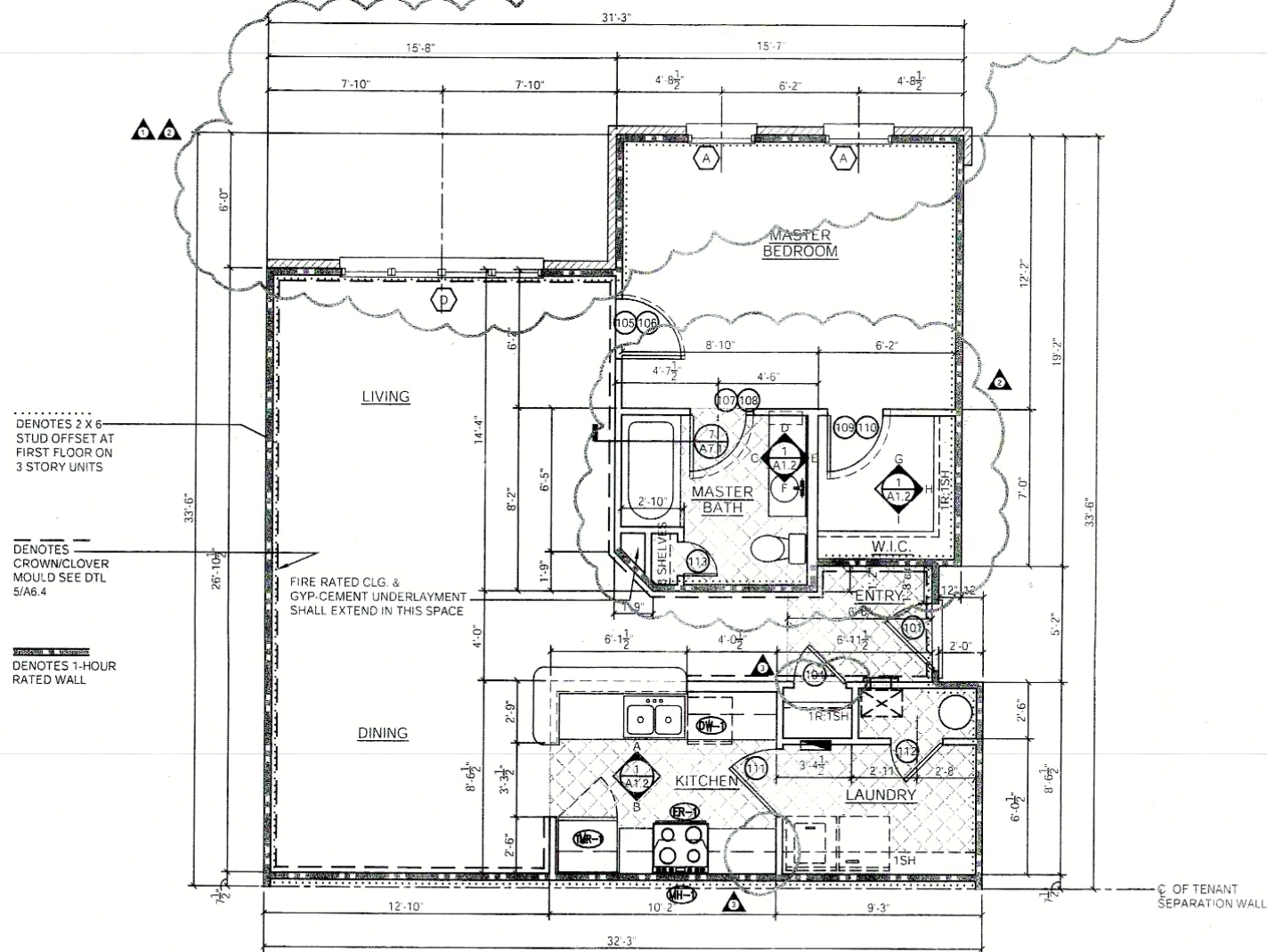
**ACCESSIBLE KITCHEN PLAN** 1/4"=1'-0"



**ACCESSIBLE MASTER BATH PLAN** 1/4"=1'-0"



**THIRD FLOOR MASTER BEDROOM WINDOWS** 1/4"=1'-0"



**ONE BEDROOM UNIT PLAN** 1/4"=1'-0"



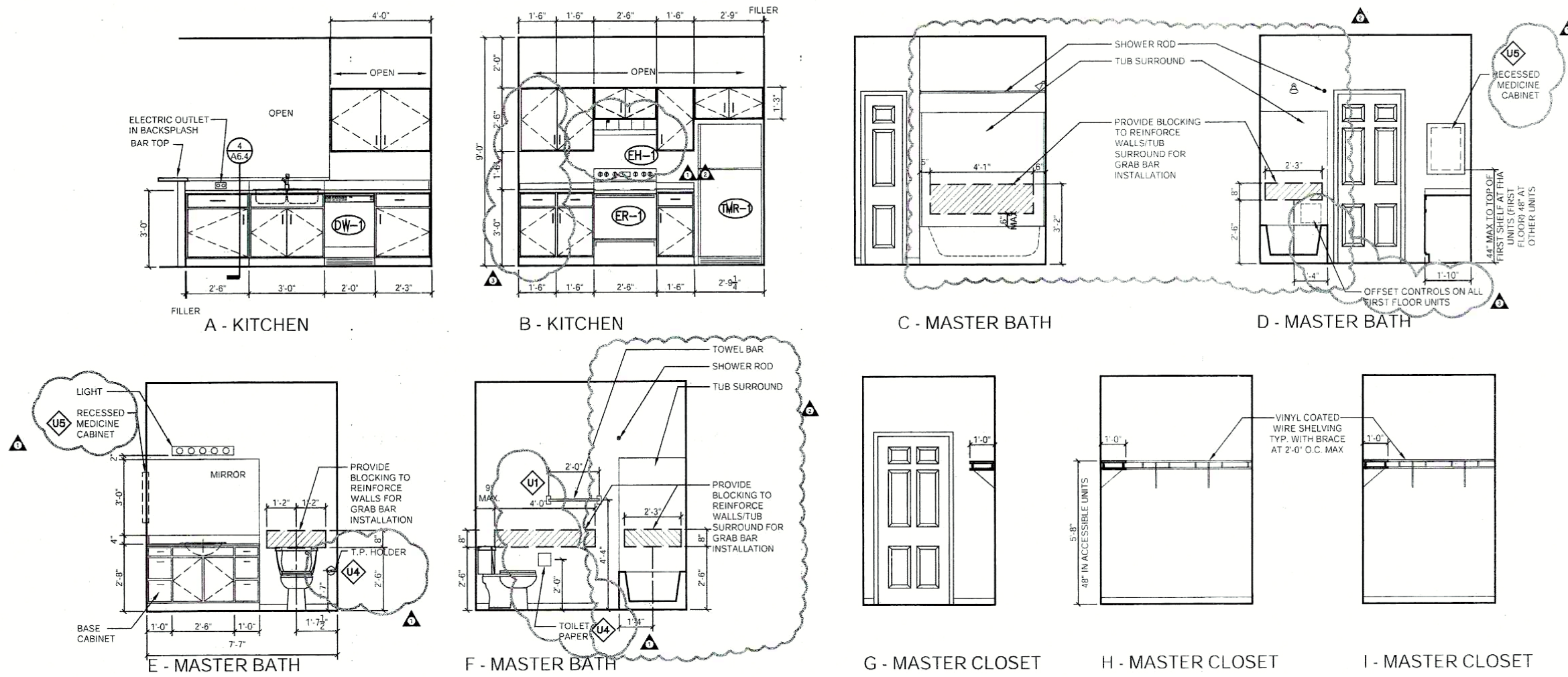
DATE	REVISION
10-19-04	
11-17-04	1
12-02-05	2
01-11-06	3

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 246 PEACHTREE CENTER AVE SUITE 2405 ATLANTA, GA 30303 TEL: 404/564-1889 FAX 404/564-1885

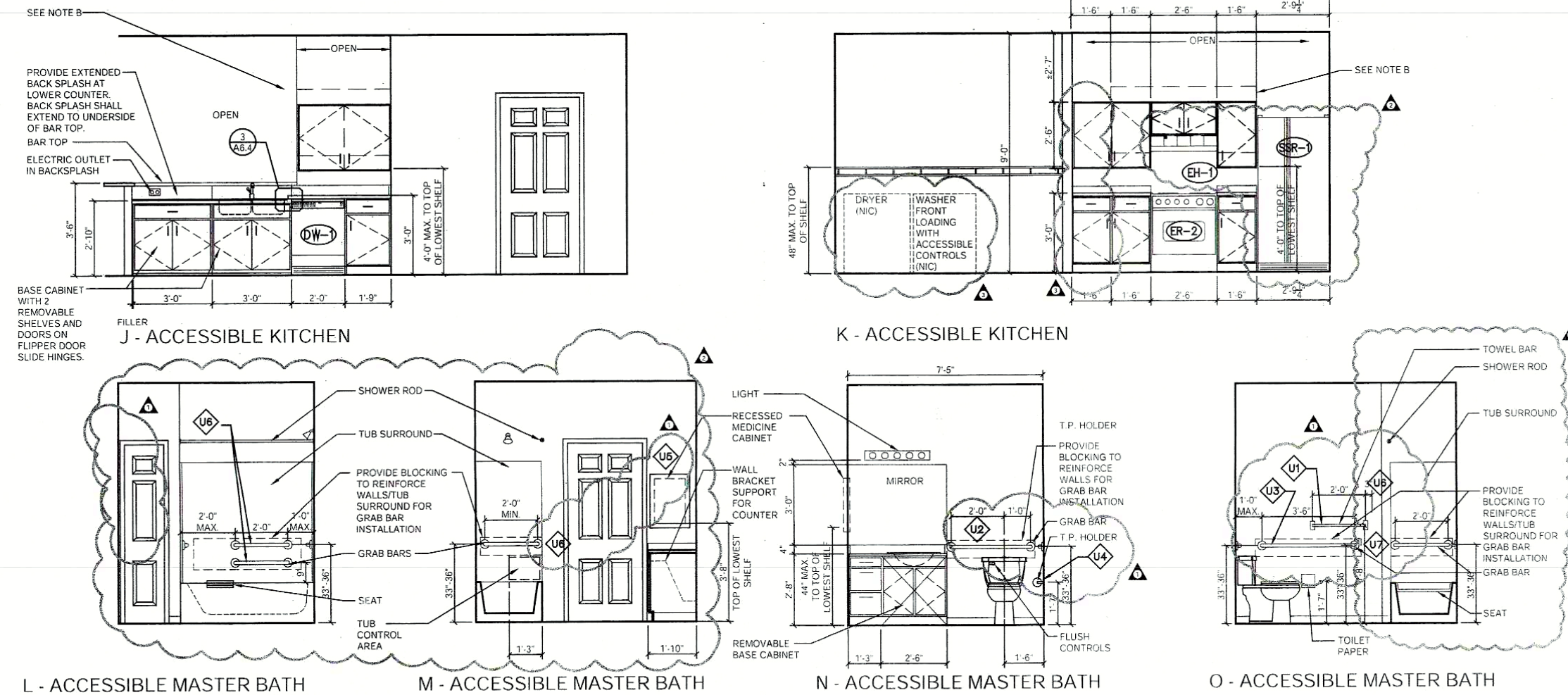
ONE BEDROOM UNIT FLOOR PLAN

**A1.1**



**1 INTERIOR ELEVATIONS - ONE BEDROOM UNIT**  
SCALE: 3/8"=1'-0"

HATCHED AREAS ARE REINFORCED WITH 2x BLOCKING TO RECEIVE GRAB BARS REQUIRED AT ALL FHA COVERED DWELLING UNITS.



**2 INTERIOR ELEVATIONS - ACCESSIBLE ONE BEDROOM UNIT**  
SCALE: 3/8"=1'-0"

**NOTE A:** REINFORCE WALLS FOR GRAB BARS AS SHOWN IN ACCESSIBLE UNITS. GRAB BARS MAY BE STORED ON PREMISES AND NOT INSTALLED. INSTALLATION SHALL BE PROVIDED WHEN REQUIRED BY A DISABLED TENANT. VERIFY WITH OWNER WHETHER TO INSTALL GRAB BARS.

**NOTE B:** KITCHEN CABINETS IN ACCESSIBLE UNITS MAY BE INSTALLED AT TYPICAL MOUNTING HEIGHT PROVIDED THEY ARE INSTALLED WITH REMOVABLE FASTENERS AND CONSTRUCTED SUCH THAT THEY CAN AND SHALL LOWER TO ACCESSIBLE MOUNTING HEIGHT UPON THE REQUEST OF TENANT. EXTEND WALL FINISH BEHIND CABINETS.

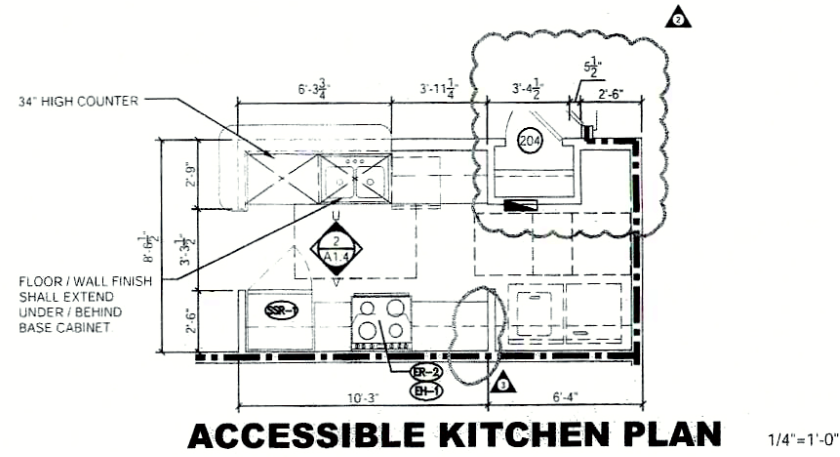


DATE: 10-19-04  
REVISION: 11-17-04, 12-02-05, 01-11-06

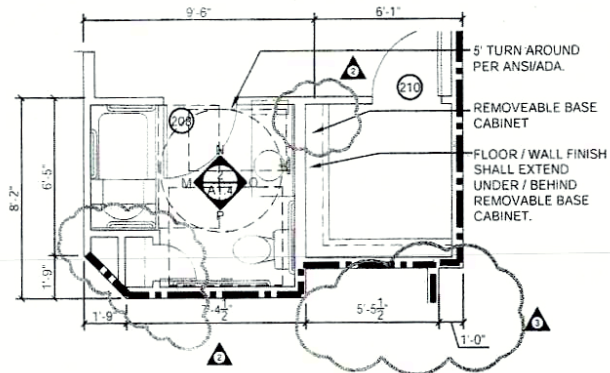
**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
246 PEACHTREE CENTER AVE. SUITE 2405 ATLANTA, GA 30309 TEL: 404/884-1860 FAX: 404/884-1866

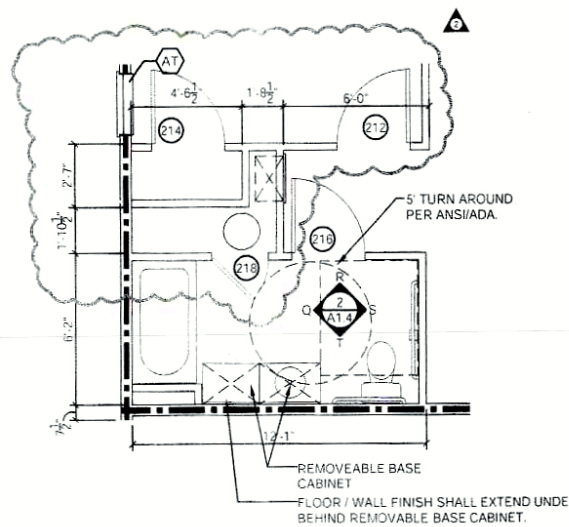
ONE BEDROOM UNIT  
INTERIOR ELEVATIONS



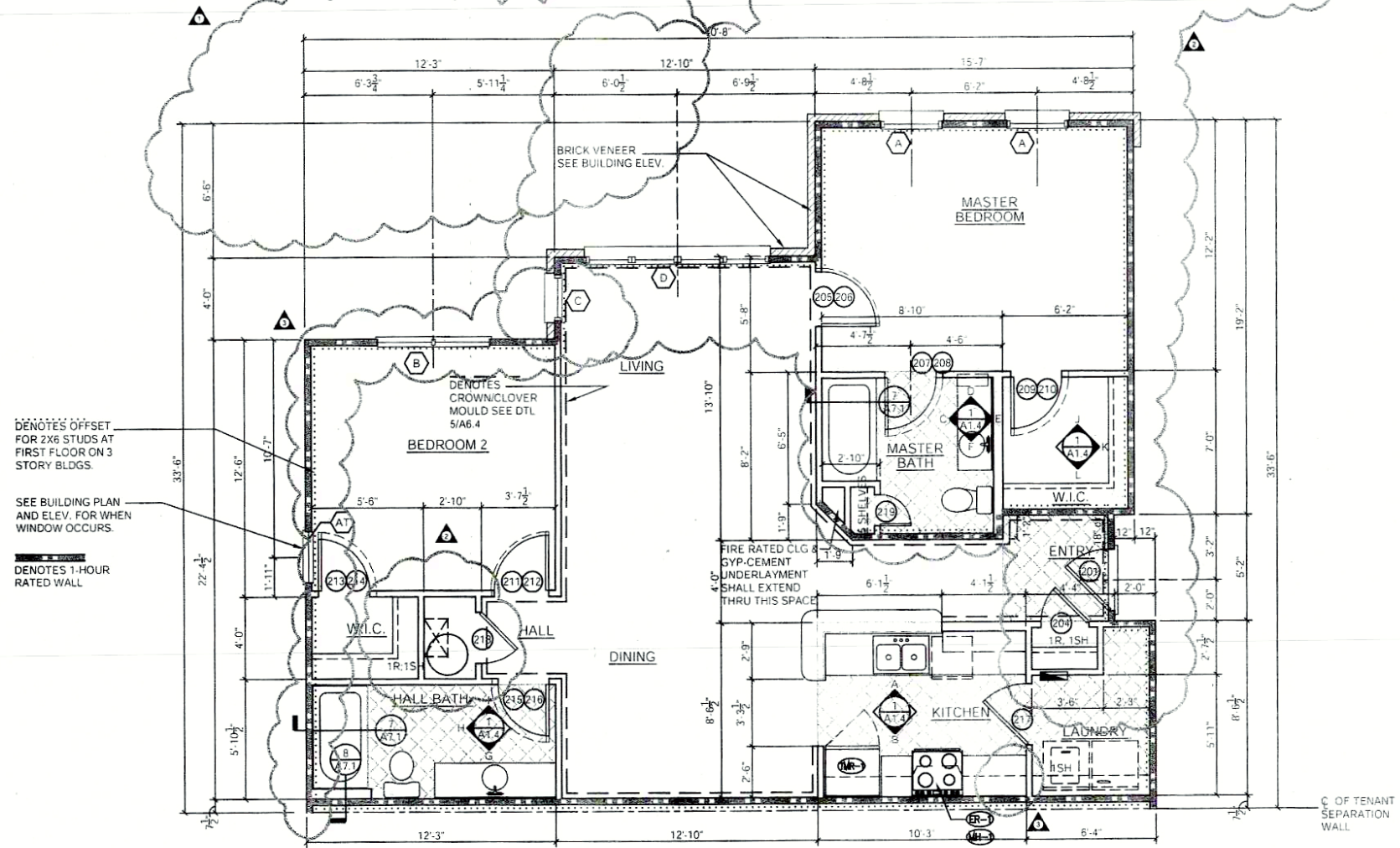
**ACCESSIBLE KITCHEN PLAN** 1/4"=1'-0"



**ACCESSIBLE MASTER BATH PLAN** 1/4"=1'-0"



**ACCESSIBLE HALL BATH PLAN** 1/4"=1'-0"



**TWO BEDROOM LOWER UNIT PLAN** 1/4"=1'-0"

**THIRD FLOOR MASTER BEDROOM WINDOWS** 1/4"=1'-0"



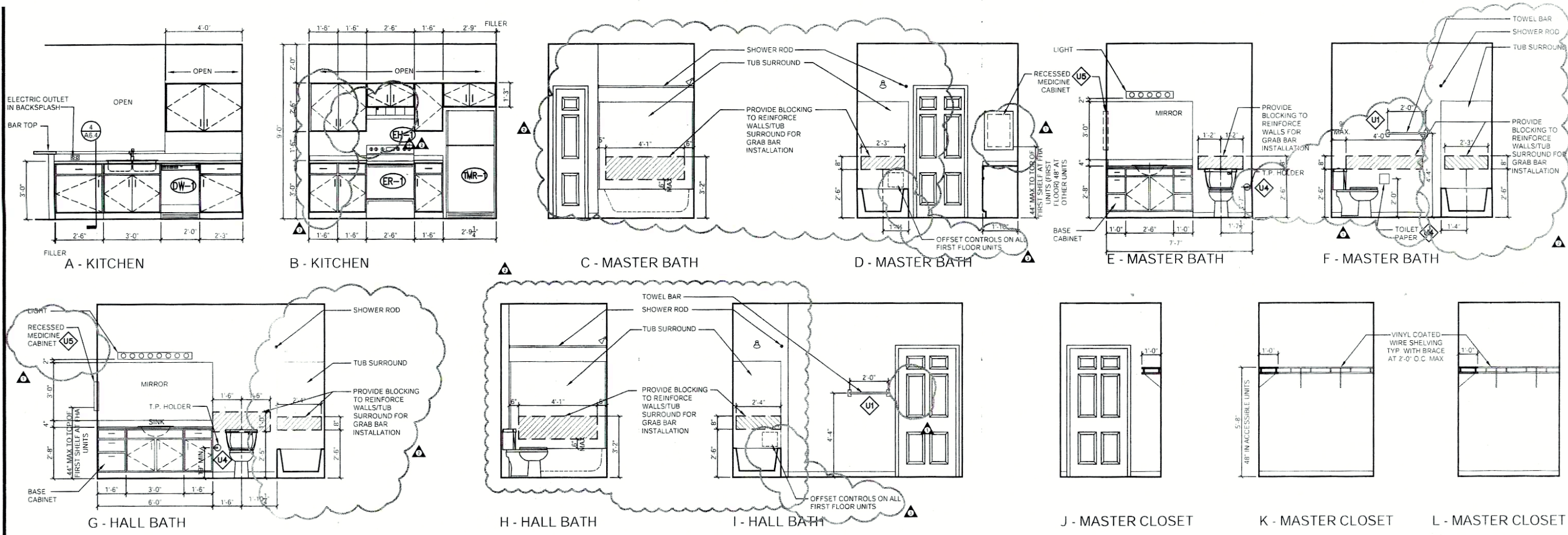
DATE	REVISION
10/10/04	11/17/04
	12/02/05
	01/11/06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

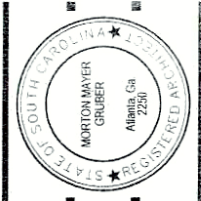
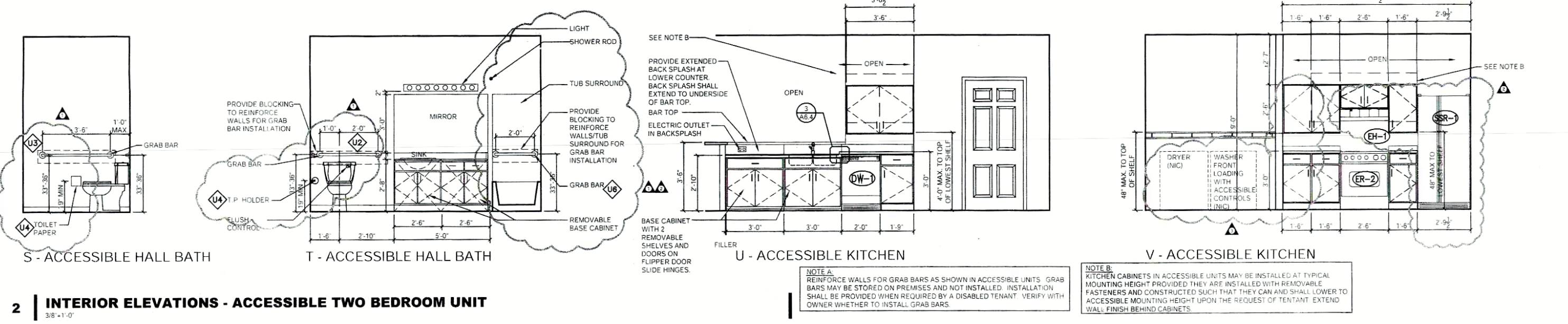
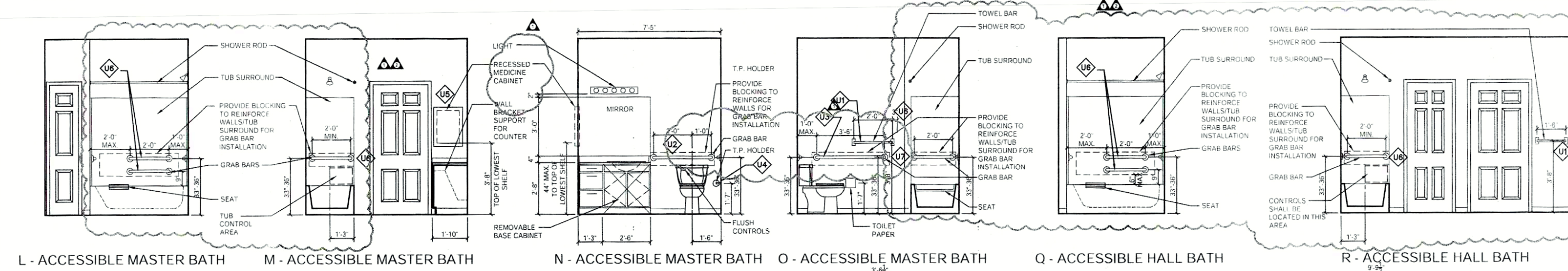
**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTERAVE SUITE 2645 ATLANTA, GA 30303 TEL: 404.596.1650 FAX: 404.596.1655

TWO BEDROOM UNIT  
 FLOOR PLAN

**A1.3**



**1 INTERIOR ELEVATIONS - TWO BEDROOM UNIT**  
3/8"=1'-0"



DATE: 10/19/04  
REVISION: 11/17/04, 12/02/05, 01/11/06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PINEHURST CENTER DRIVE, SUITE 2445, ATLANTA, GA 30328 TEL: 404.884.1888 FAX: 404.884.8885

TWO BEDROOM UNIT  
INTERIOR ELEVATIONS

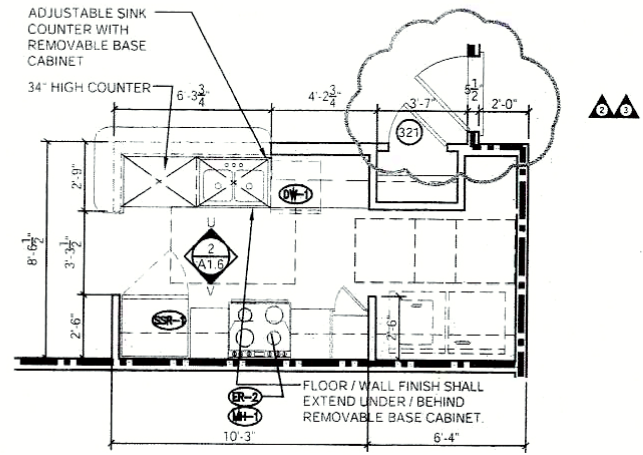
**A1.4**

**2 INTERIOR ELEVATIONS - ACCESSIBLE TWO BEDROOM UNIT**  
3/8"=1'-0"

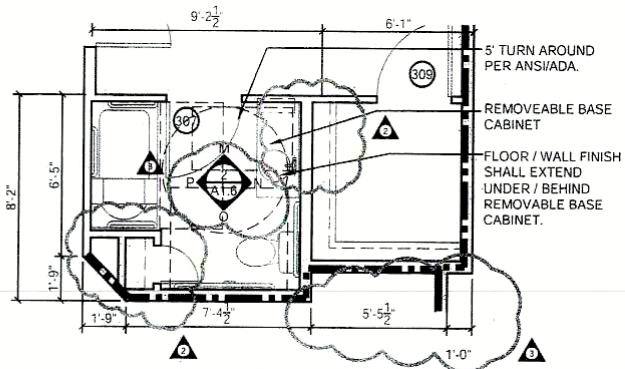
NOTE A:  
REINFORCE WALLS FOR GRAB BARS AS SHOWN IN ACCESSIBLE UNITS. GRAB BARS MAY BE STORED ON PREMISES AND NOT INSTALLED. INSTALLATION SHALL BE PROVIDED WHEN REQUIRED BY A DISABLED TENANT. VERIFY WITH OWNER WHETHER TO INSTALL GRAB BARS.

NOTE B:  
KITCHEN CABINETS IN ACCESSIBLE UNITS MAY BE INSTALLED AT TYPICAL MOUNTING HEIGHT PROVIDED THEY ARE INSTALLED WITH REMOVABLE FASTENERS AND CONSTRUCTED SUCH THAT THEY CAN AND SHALL LOWER TO ACCESSIBLE MOUNTING HEIGHT UPON THE REQUEST OF TENANT. EXTEND WALL FINISH BEHIND CABINETS.

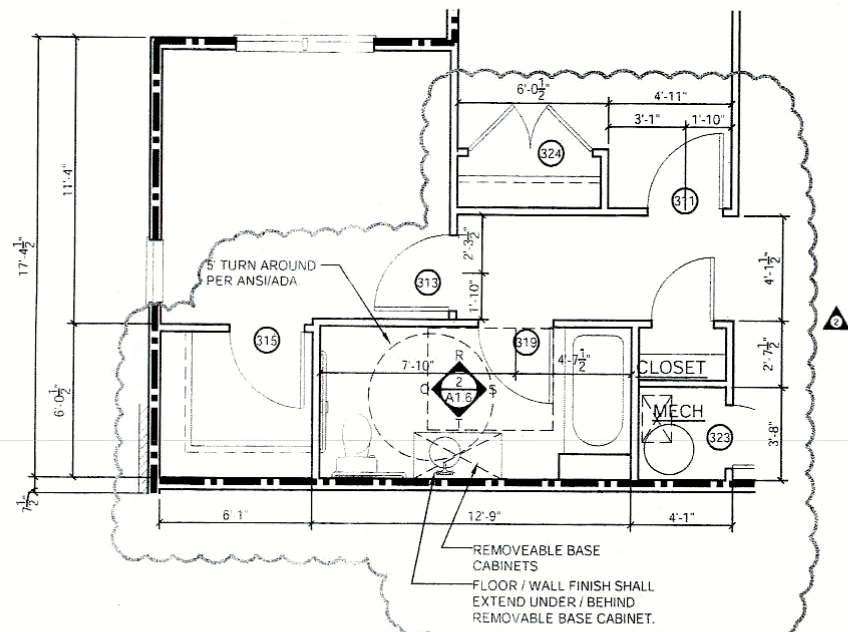




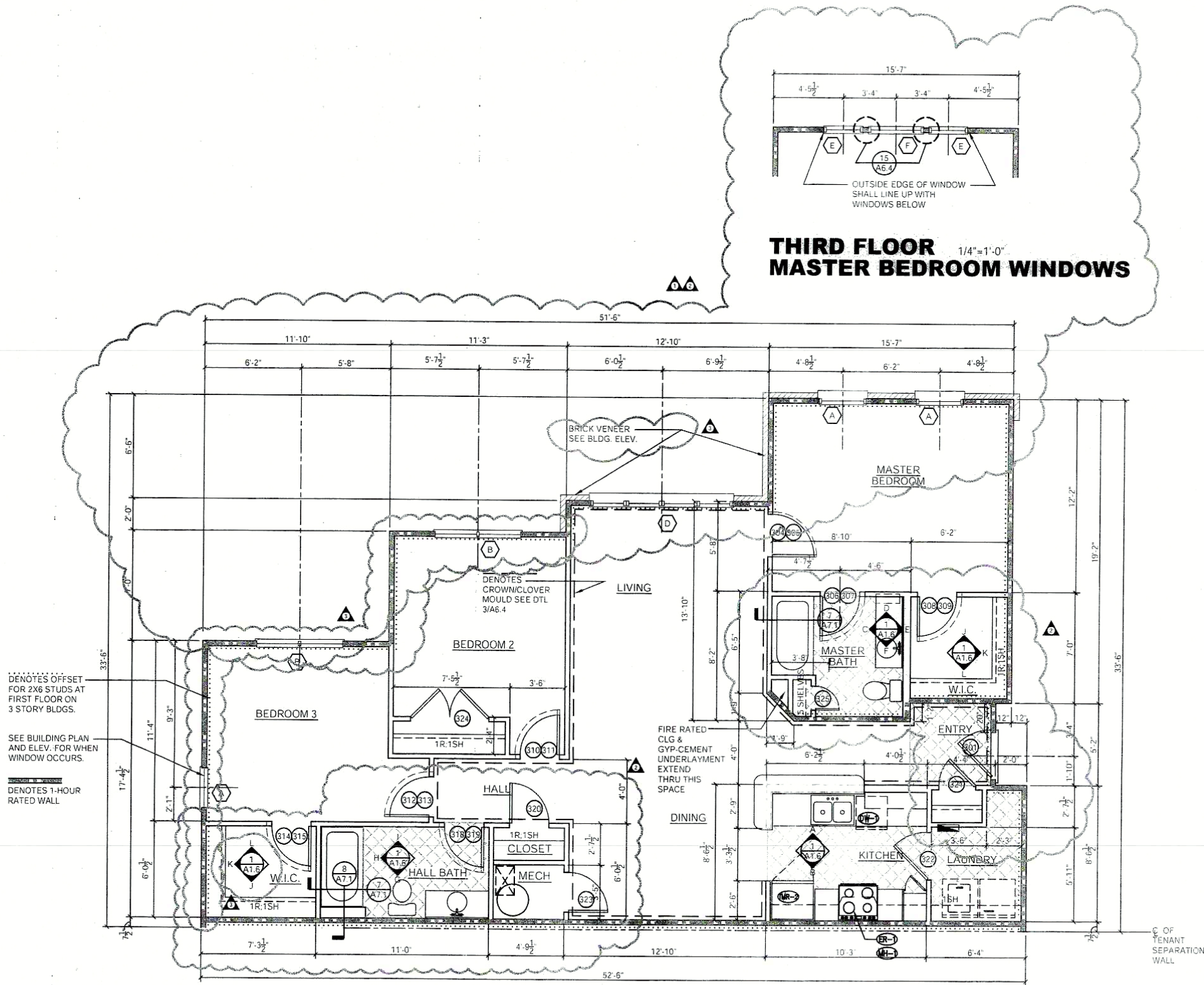
**ACCESSIBLE  
KITCHEN PLAN** 1/4"=1'-0"



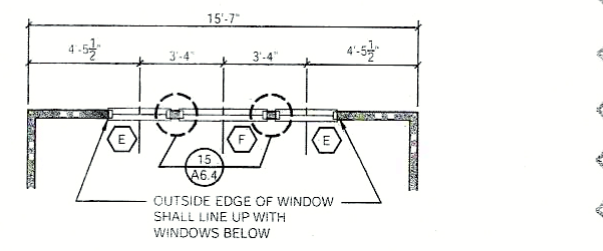
**ACCESSIBLE  
MASTER BATH PLAN** 1/4"=1'-0"



**ACCESSIBLE  
HALL BATH PLAN** 1/4"=1'-0"



**THREE BEDROOM LOWER UNIT PLAN** 1/4"=1'-0"



**THIRD FLOOR  
MASTER BEDROOM WINDOWS** 1/4"=1'-0"



DATE  
10/19/04

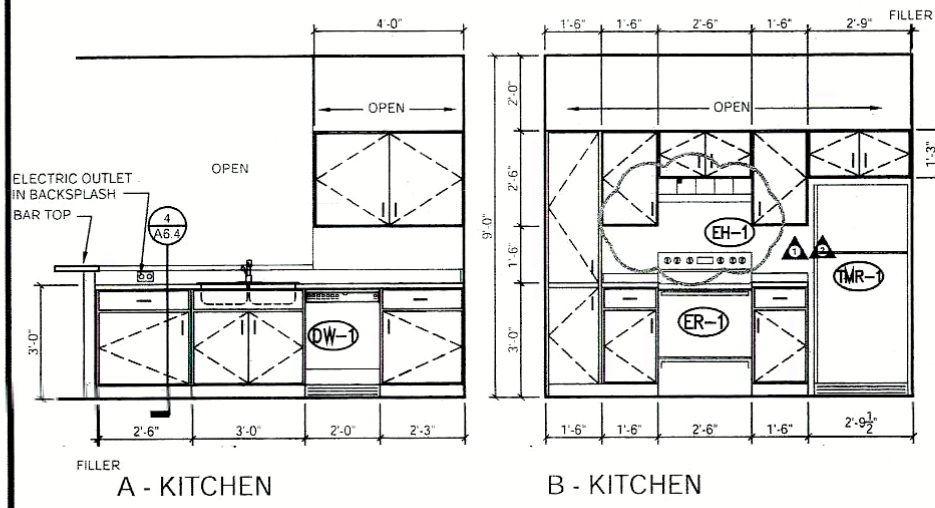
REVISION  
11/17/04  
12/02/05  
01/11/06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL. 404/584-1880 FAX 404/584-1895

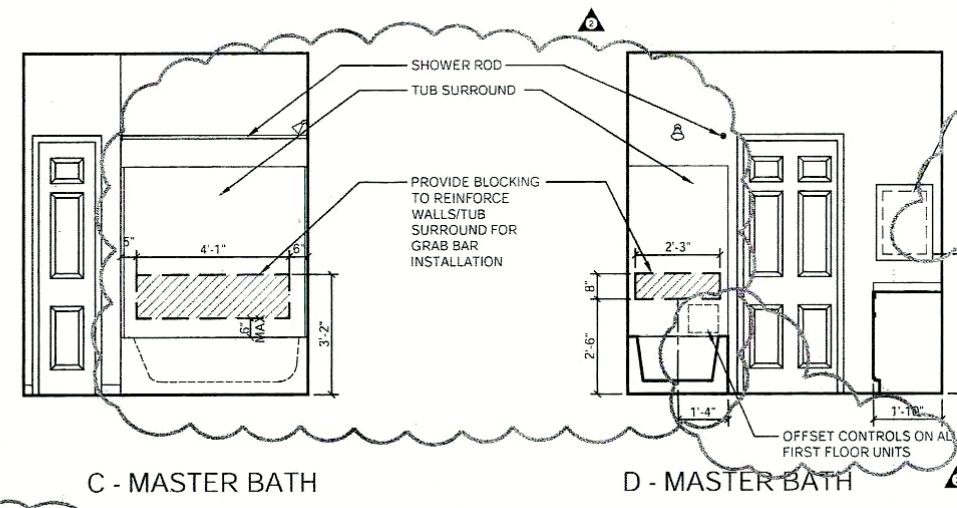
THREE BEDROOM UNIT  
FLOOR PLAN

**A1.5**



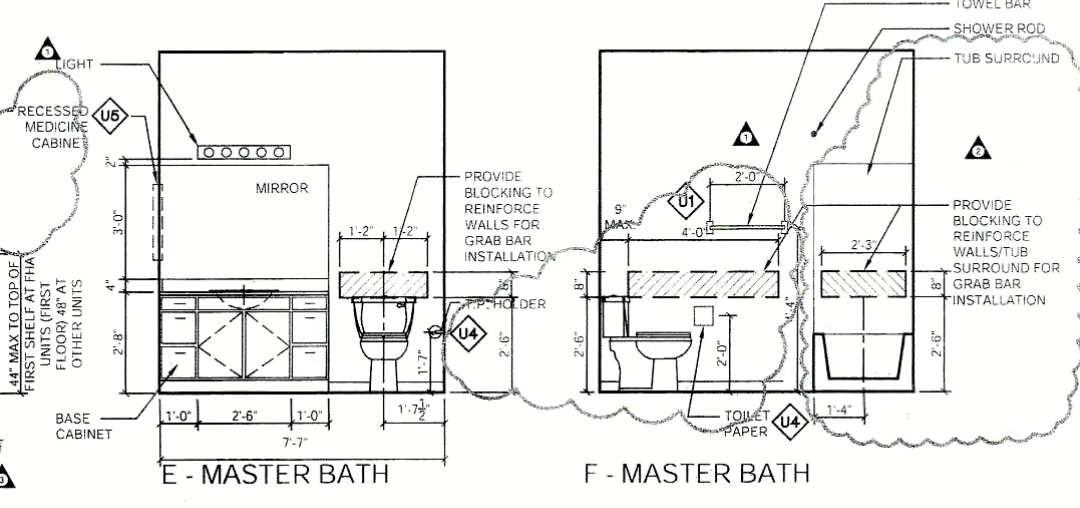
A - KITCHEN

B - KITCHEN



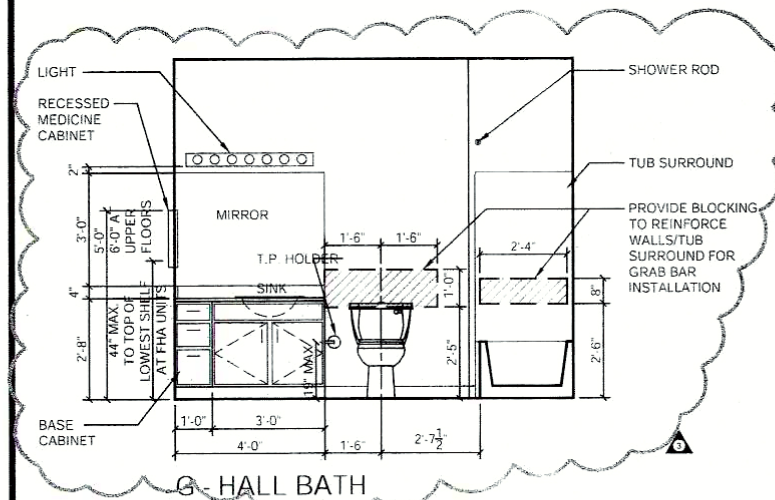
C - MASTER BATH

D - MASTER BATH

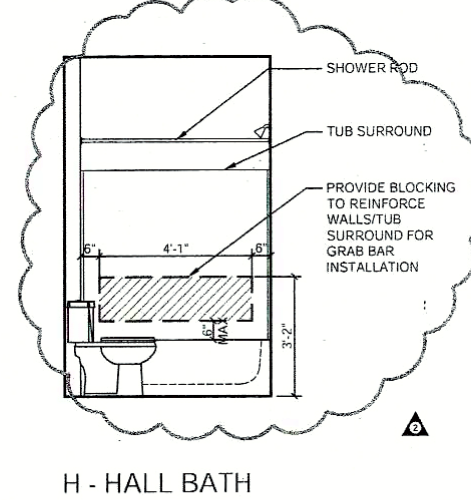


E - MASTER BATH

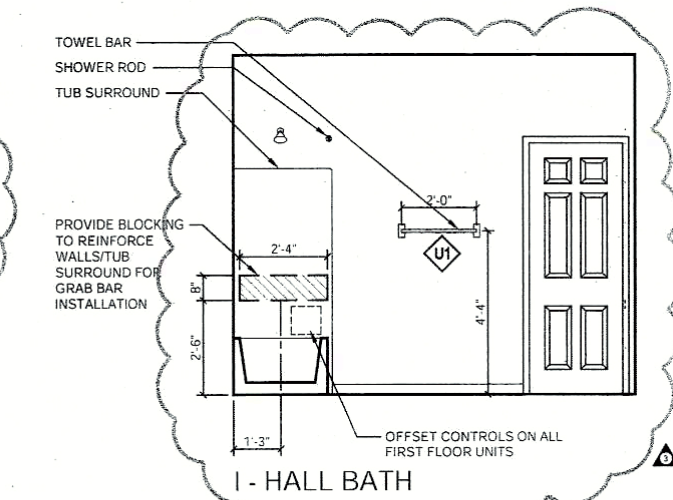
F - MASTER BATH



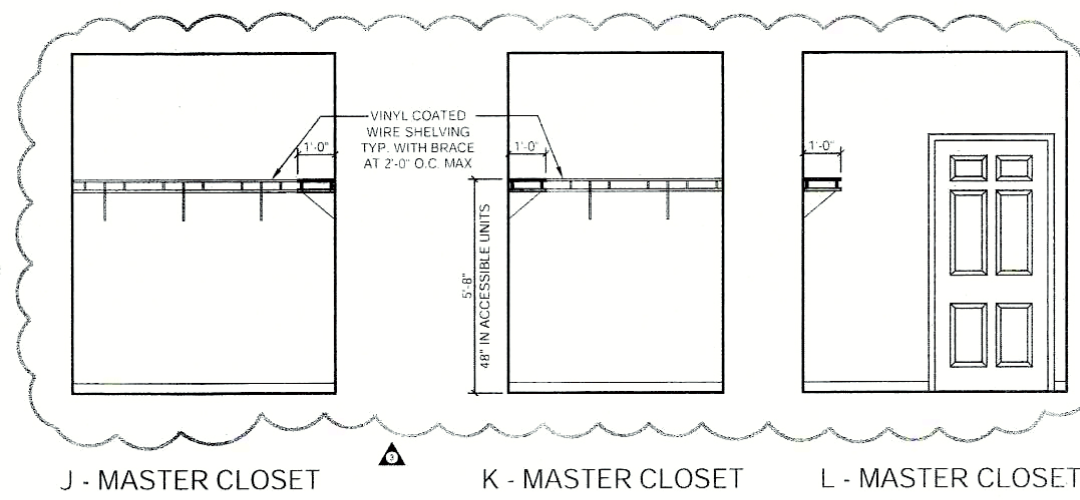
G - HALL BATH



H - HALL BATH



I - HALL BATH



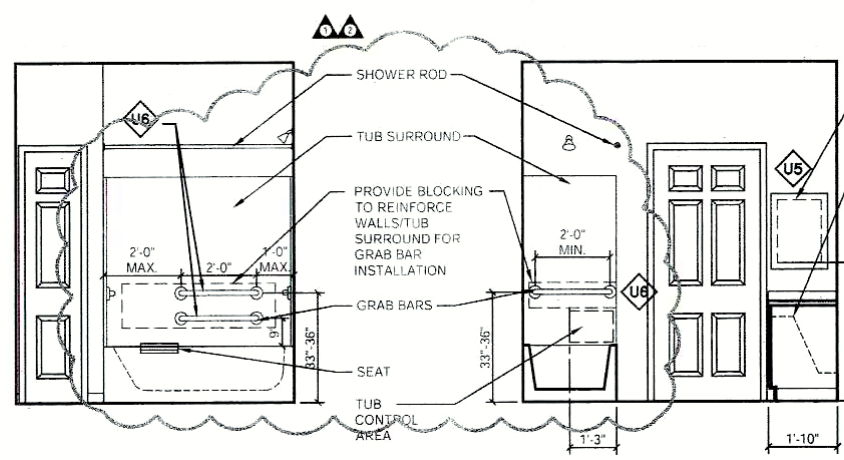
J - MASTER CLOSET

K - MASTER CLOSET

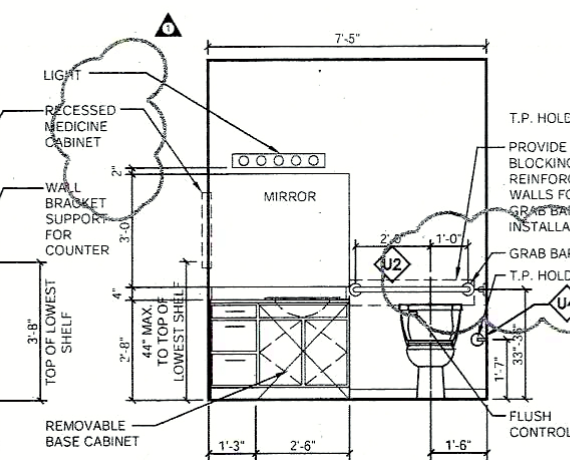
L - MASTER CLOSET

**1 | INTERIOR ELEVATIONS - THREE BEDROOM UNIT**  
3/8"=1'-0"

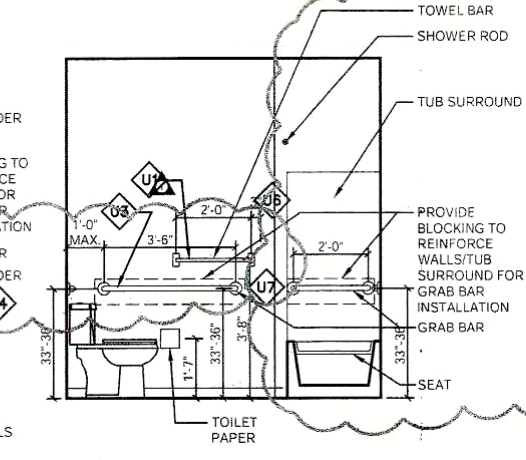
HATCHED AREAS ARE REINFORCED WITH 2x BLOCKING TO RECEIVE GRAB BARS REQUIRED AT ALL FHA COVERED DWELLING UNITS.



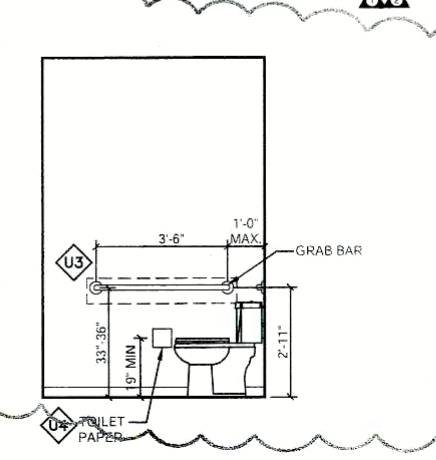
L - ACCESSIBLE MASTER BATH



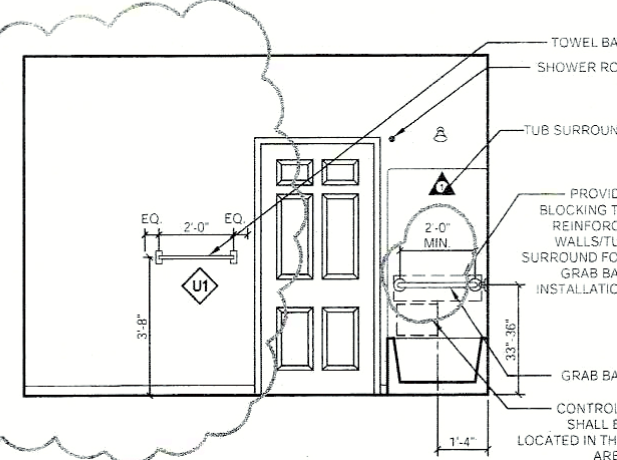
M - ACCESSIBLE MASTER BATH



N - ACCESSIBLE MASTER BATH

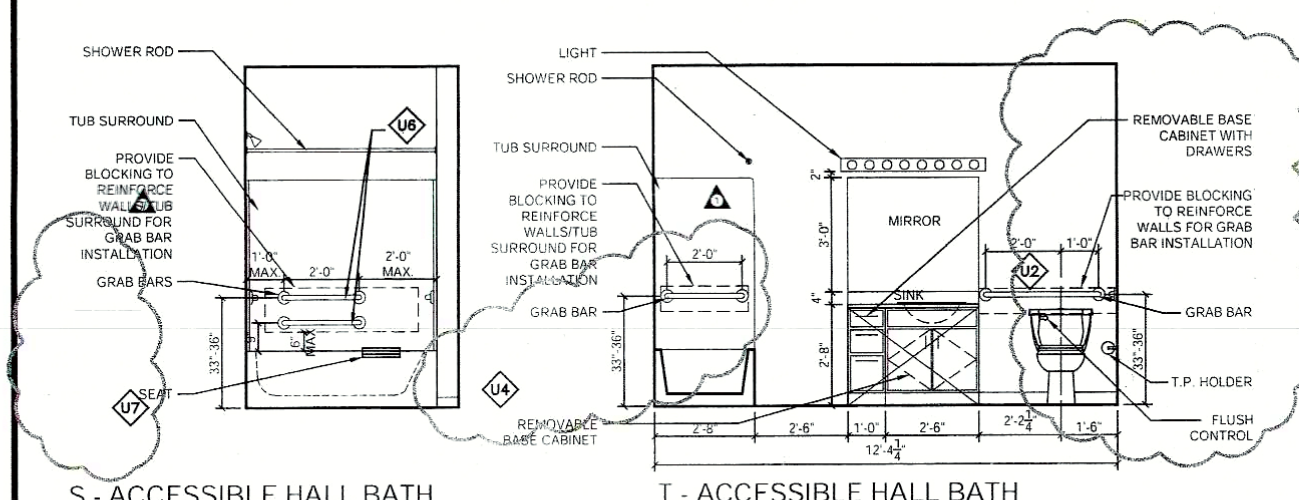


O - ACCESSIBLE MASTER BATH



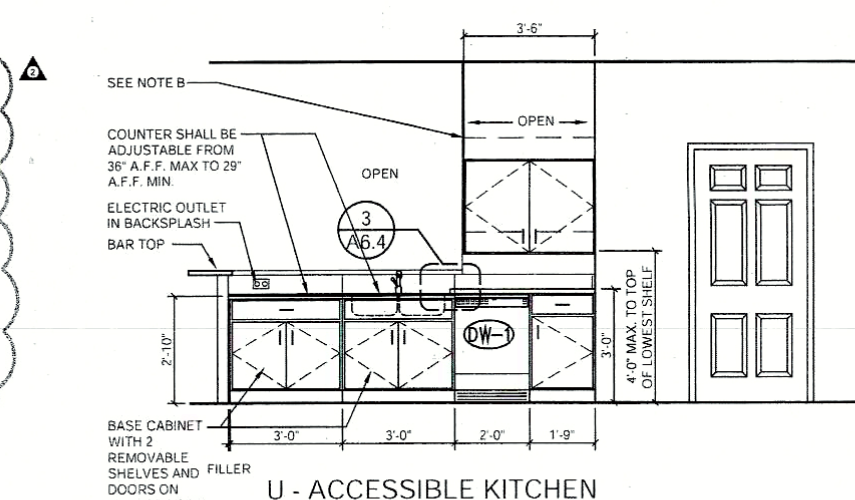
Q - ACCESSIBLE HALL BATH

R - ACCESSIBLE HALL BATH

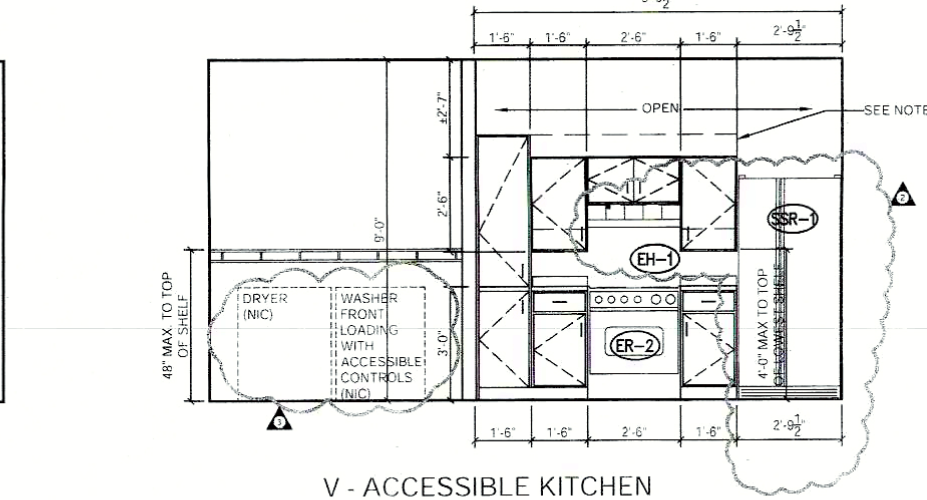


S - ACCESSIBLE HALL BATH

T - ACCESSIBLE HALL BATH



U - ACCESSIBLE KITCHEN



V - ACCESSIBLE KITCHEN

**2 | INTERIOR ELEVATIONS - ACCESSIBLE THREE BEDROOM UNIT**  
3/8"=1'-0"

**NOTE A:** REINFORCE WALLS FOR GRAB BARS AS SHOWN IN ACCESSIBLE UNITS. GRAB BARS MAY BE STORED ON PREMISES AND NOT INSTALLED. INSTALLATION SHALL BE PROVIDED WHEN REQUIRED BY A DISABLED TENANT. VERIFY WITH OWNER WHETHER TO INSTALL GRAB BARS.

**NOTE B:** KITCHEN CABINETS IN ACCESSIBLE UNITS MAY BE INSTALLED AT TYPICAL MOUNTING HEIGHT PROVIDED THEY ARE INSTALLED WITH REMOVABLE FASTENERS AND CONSTRUCTED SUCH THAT THEY CAN AND SHALL LOWER TO ACCESSIBLE MOUNTING HEIGHT UPON THE REQUEST OF TENANT. EXTEND WALL FINISH BEHIND CABINETS.



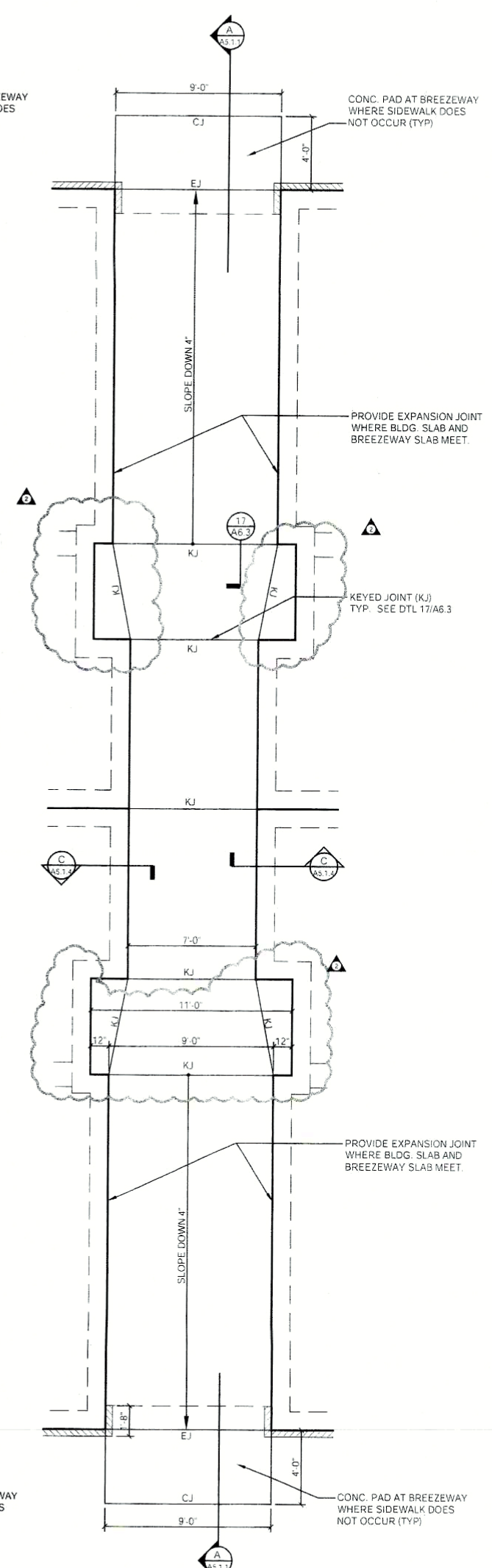
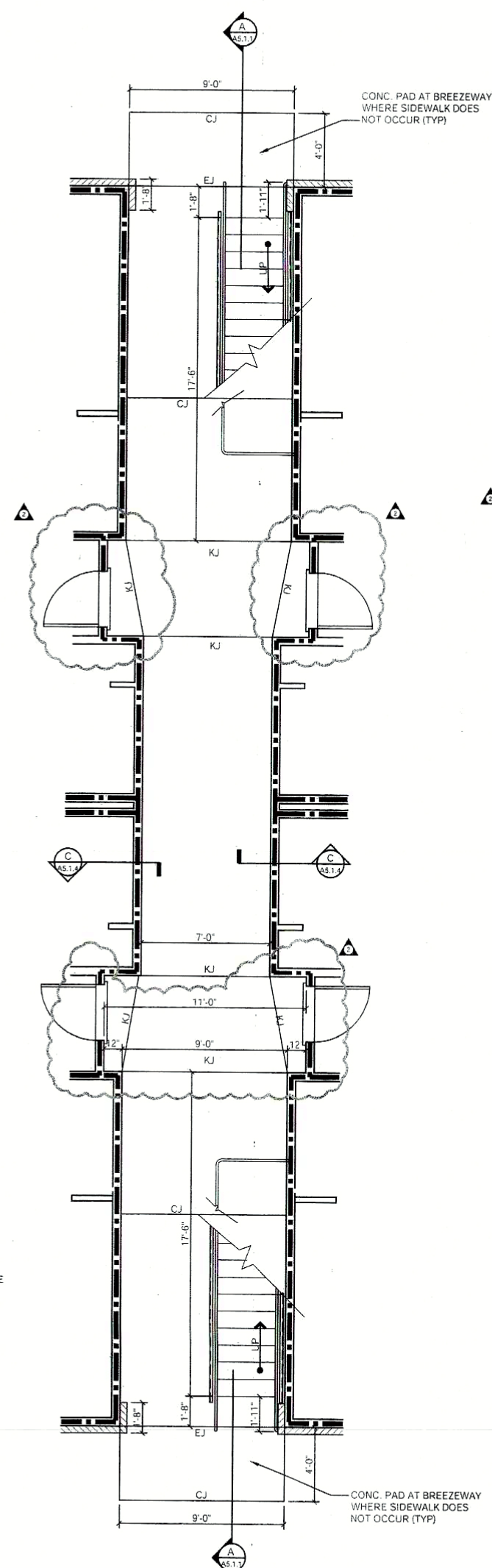
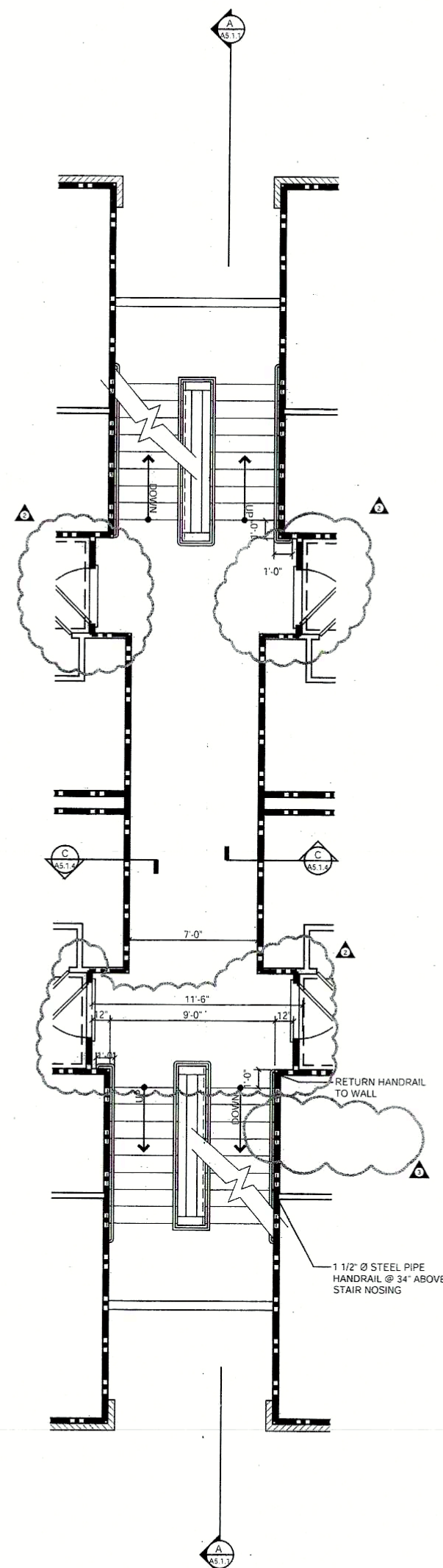
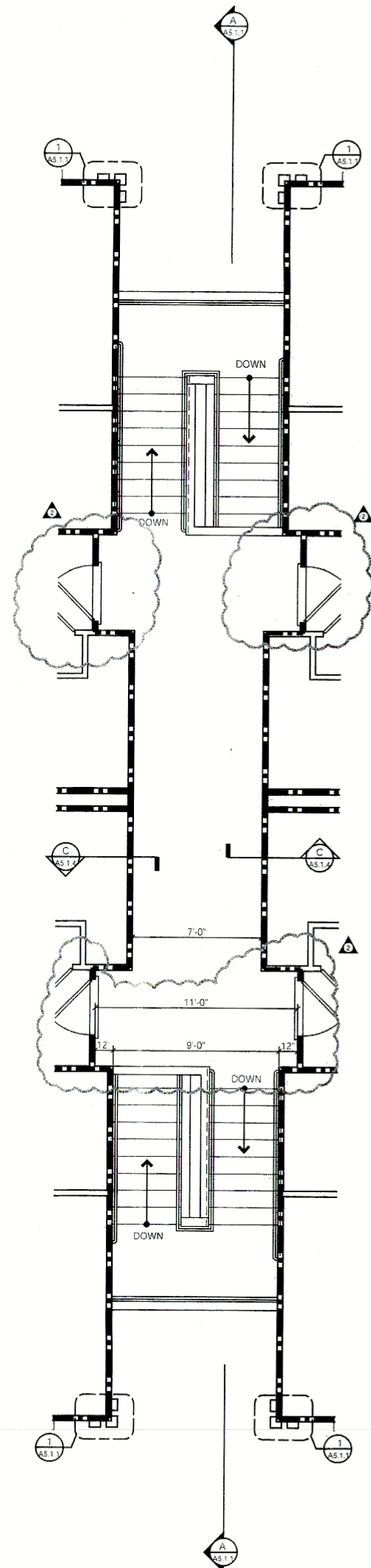
DATE: 10-19-04  
REVISION: 11-17-04  
11-17-04  
12-02-05  
01-11-06

**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/594-1880 FAX: 404/594-1885

THREE BEDROOM UNIT  
INTERIOR ELEVATIONS

**A1.6**



3RD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2ND FLOOR  
SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**BREEZEWAY PLANS**

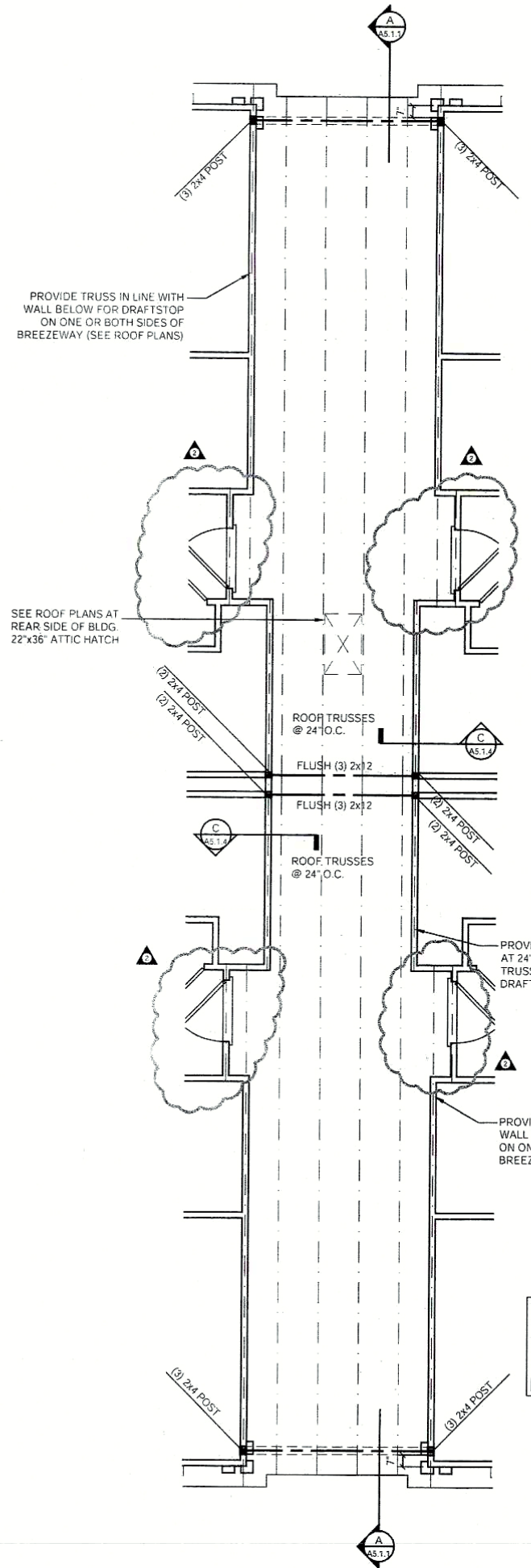


DATE	REVISION
10/19/04	
12-02-05	
01-11-06	

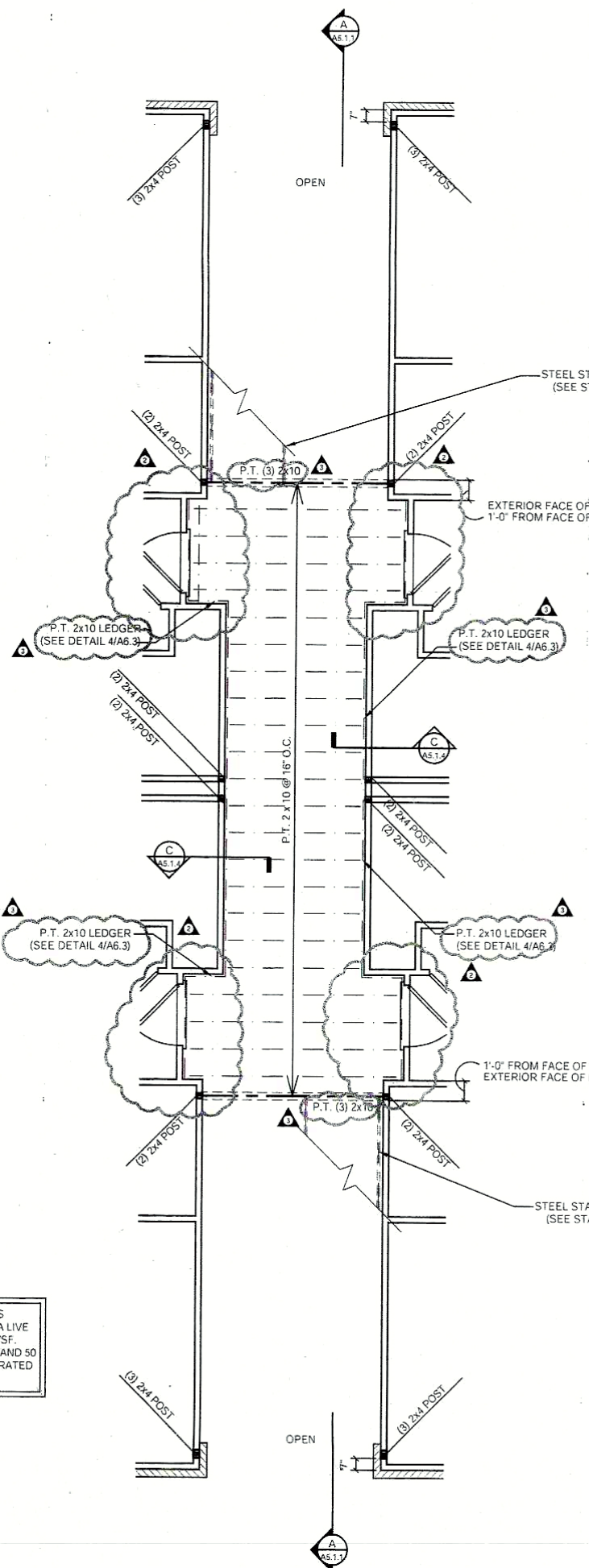
*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2440 ATLANTA, GA. 30303 TEL. 404/984-1680 FAX 404/984-1695

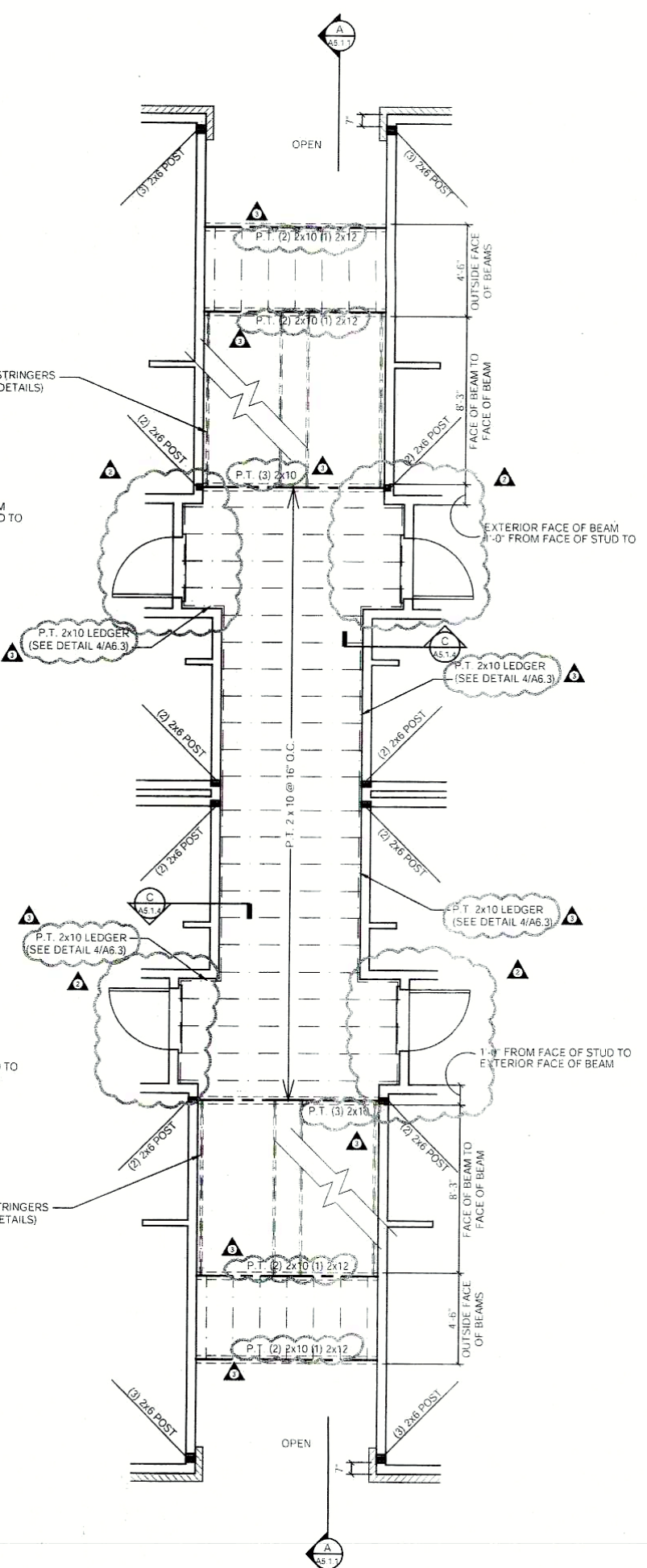
- BREEZEWAY PLAN
- 1ST FLOOR PLAN
- 2ND FLOOR PLAN
- 3RD FLOOR PLAN



**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**THIRD FLOOR**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

**BREEZEWAY FRAMING PLANS**



DATE: 10/19/04  
REVISION: 12/02/05  
11/11/05

**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL. 404/864-1680 FAX 404/864-1685

BREEZEWAY PLANS  
2ND FLOOR FRAMING PLAN  
3RD FLOOR FRAMING PLAN  
ROOF FRAMING PLAN



**Finish Schedule - Common Areas**

Room		Floor		Wall (ALL WALLS ARE SMOOTH FINISH)						Ceiling		Remarks	
NO.	Name	Carpet	Tile	Paint	Trim Paint	Trim			Surface	Paint			
		MFG: Mohawk, Style: Moving Up, Color: #518 Classic neutral	MFG: Coretec, Style: Proande, Color: #02102 Free Design	MFG: Sherwin Williams, Style: Sherwin Paint Interior - Satin, Color: SW6156 Rambe	MFG: Sherwin Williams, Style: Sherwin Paint Interior - Satin, Color: SW6154 Black	Base: WM 623 (ogee base) 3/4" x 1/4" x 1/4" x 1/4"	Door Casing: WM 356 1 1/2" by 2 1/4" x 1/4" x 1/4"	Window Casing: Wrap with gyp. bd.	WM 126 1 1/2" by 3/4" x 1/4" x 1/4" quarter round base	Window Sill: 5 1/4" x 1/4" x 1/4" x 1/4"	Crown: WM 49 9/16" x 3 5/8" high and crown mould see all end floor plans	Surface: Gypsum Board - smooth finish	MFG: Sherwin Williams, Style: Sherwin Paint Interior - Satin, Color: SW6156 Rambe
	ENTRY	●	●	●	●	●	●	●	●	●	●	●	●
	LIVING ROOM	●		●	●	●	●	●	●	●	●	●	●
	DINING ROOM	●		●	●	●	●	●	●	●	●	●	●
	KITCHEN	●		●	●	●	●	●	●	●	●	●	●
	MASTER BEDROOM / CLOSET	●		●	●	●	●	●	●	●	●	●	●
	MASTER BATH		●	●	●	●	●	●	●	●	●	●	●
	BEDROOM #2 / CLOSET	●		●	●	●	●	●	●	●	●	●	●
	BEDROOM #3 / CLOSET	●		●	●	●	●	●	●	●	●	●	●
	HALL CLOSET	●		●	●	●	●	●	●	●	●	●	●
	HALLWAY BATH		●	●	●	●	●	●	●	●	●	●	●

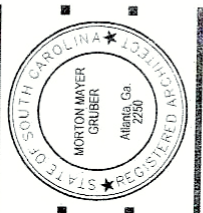
SEE PLAN FOR LOCATION OF VINYL / CARPET TRANSITION

**CABINET / COUNTERTOP FINISHES**

ROOM NAME	CABINETS		COUNTERTOP			REMARKS
	MANUFACTURER	FINISH	MATERIAL	MANUFACTURER	FINISH	
KITCHEN	REPUBLIC	OAK ALAMO	PLASTIC LAMINATE	Nevamar (1st CHOICE) OR Formica (2nd CHOICE)	Style Earthstone texture Color: EA2001T Color #7734-58 Jamocho granite matte finish	
MASTER BATH	REPUBLIC	OAK ALAMO	PLASTIC LAMINATE	Formica	Color #7708-58 Flax Gauze matte finish	
HALL BATH	REPUBLIC	OAK ALAMO	PLASTIC LAMINATE	Formica	Color #7708-58 Flax Gauze - matte finish	

**EXTERIOR FINISHES**

MATERIAL	MANUFACTURER	FINISH
BRICK	GENERAL SHALE / BORAL	CAMBRIDGE / MT. VERNON - QUEEN SIZE
ROOFING	ELK	PRESTIGE RAISED 30 YEAR ARCHITECTURAL COLOR: WEATHERWOOD
TRIM AND SOFFIT PAINT	SHERWIN WILLIAMS	EXTERIOR - GLOSS WHITE
SIDING PAINT	SHERWIN WILLIAMS	COLORS AS SELECTED BY OWNER

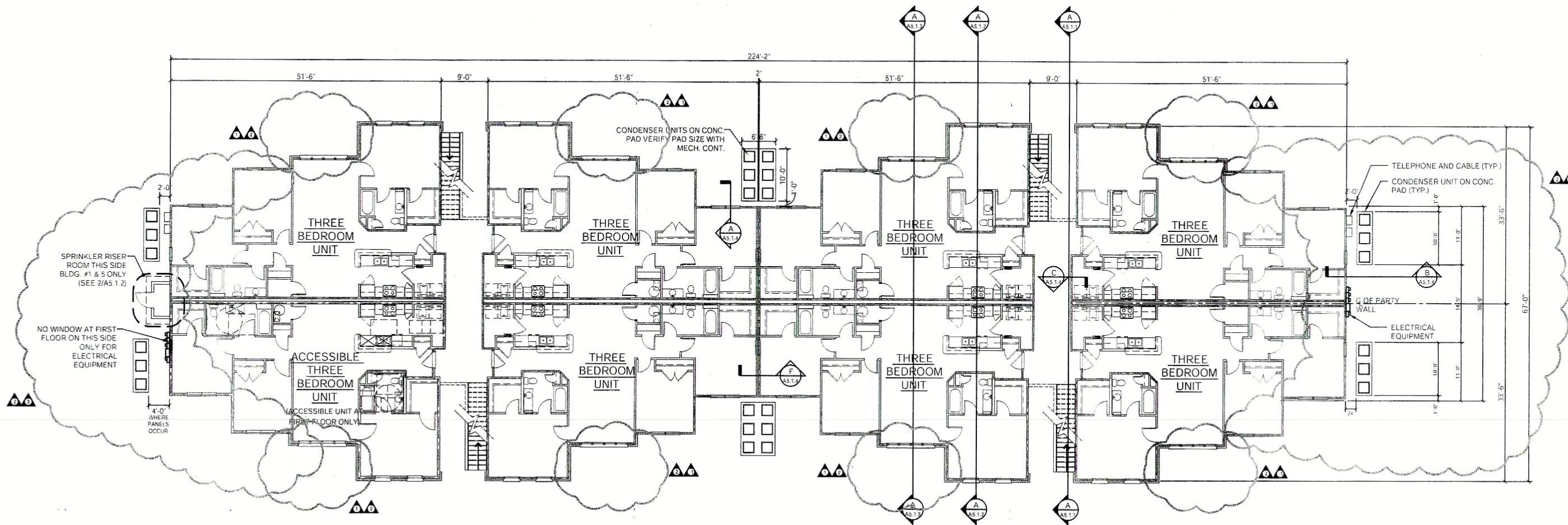


DATE: 10-19-04  
 REVISION: 12-02-05  
 01-11-06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445, ATLANTA, GA. 30303 TEL: 404/594-1600 FAX: 404/594-1605

FINISH SCHEDULE  
 EXTERIOR FINISHES  
 CABINET FINISHES



**BUILDING TYPE 'A' - GROUND FLOOR PLAN** (UPPER FLOORS SIMILAR) 3/32"=1'-0"



DATE	REVISION
10-19-04	11-17-04
	12-02-05
	01-11-06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA. 30303 TEL. 404/594-1680 FAX 404/594-1685

BUILDING TYPE 'A'  
 FLOOR PLAN

**A4.1.1**



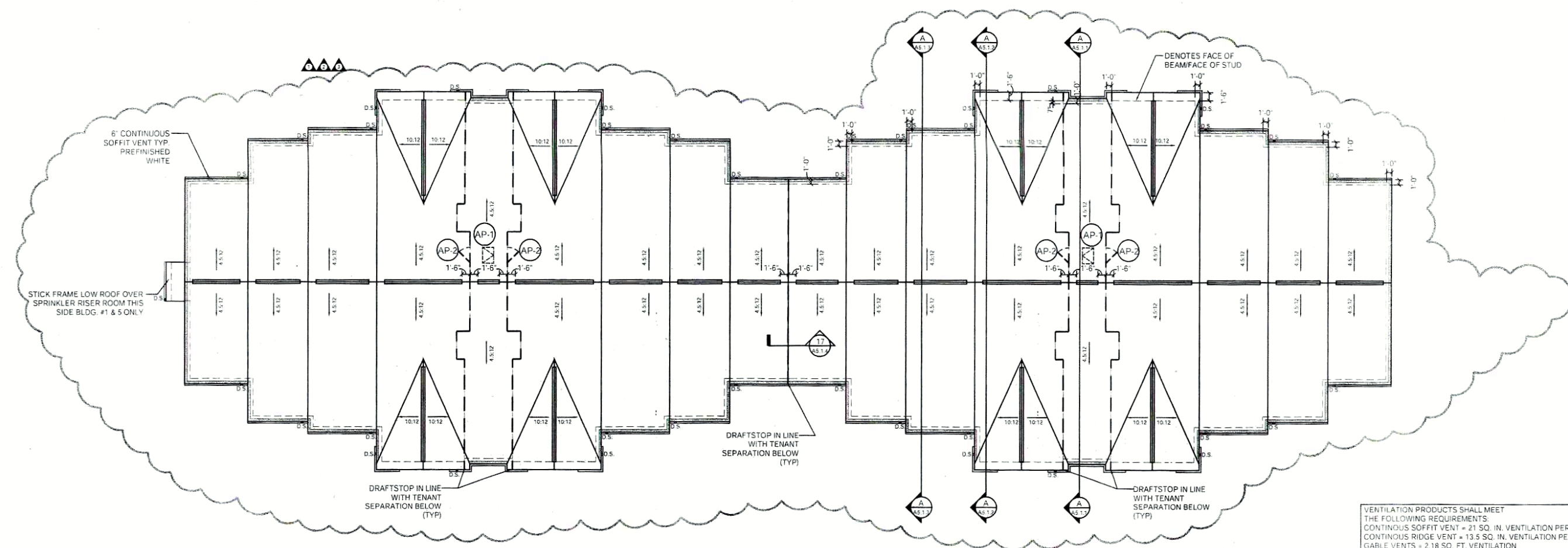
DATE: 10/10/04  
 REVISION: 11/17/04  
 12/02/05  
 01/11/06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1899 FAX: 404/584-1895

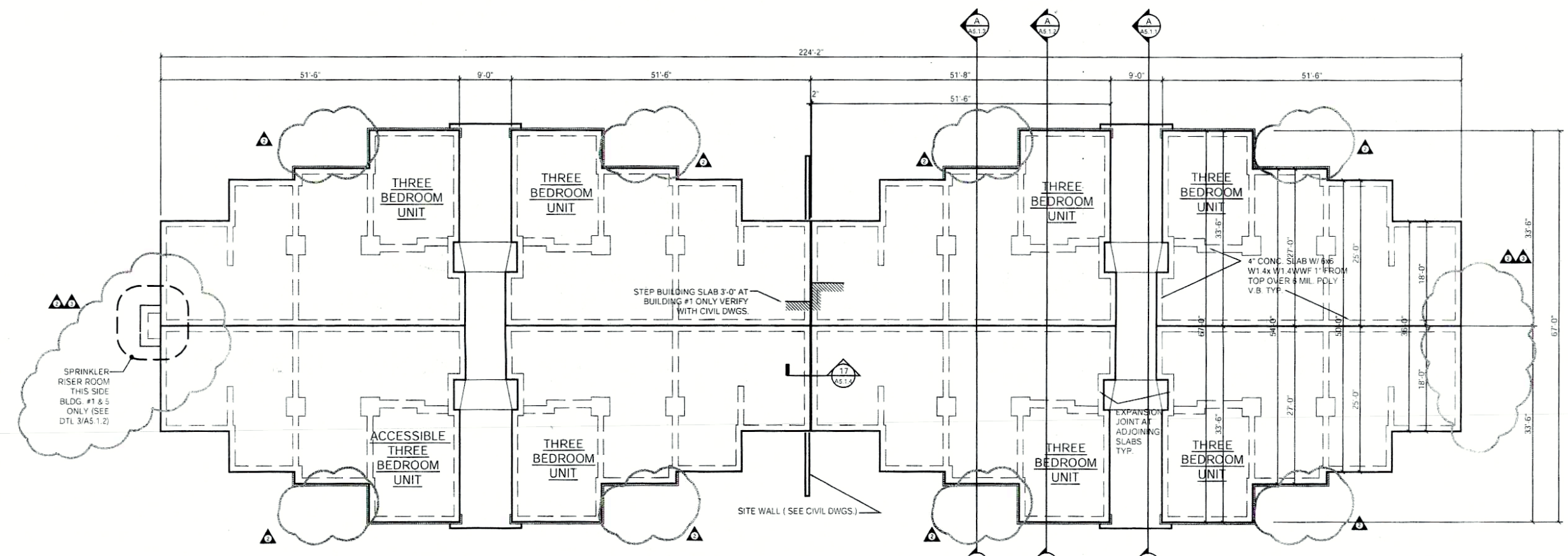
BUILDING TYPE 'A'  
 ROOF PLAN  
 FOUNDATION PLAN

**A4.1.2**



VENTILATION PRODUCTS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 CONTINUOUS SOFFIT VENT = 21 SQ. IN. VENTILATION PER LINEAR FT.  
 CONTINUOUS RIDGE VENT = 13.5 SQ. IN. VENTILATION PER LINEAR FT.  
 GABLE VENTS = 2.18 SQ. FT. VENTILATION

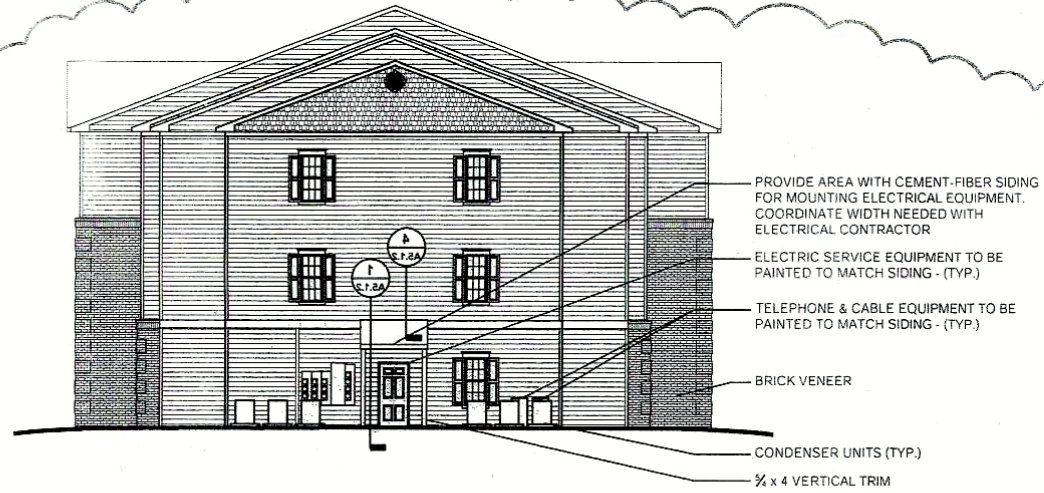
**BUILDING TYPE 'A' - ROOF PLAN** 3/32"=1'-0"



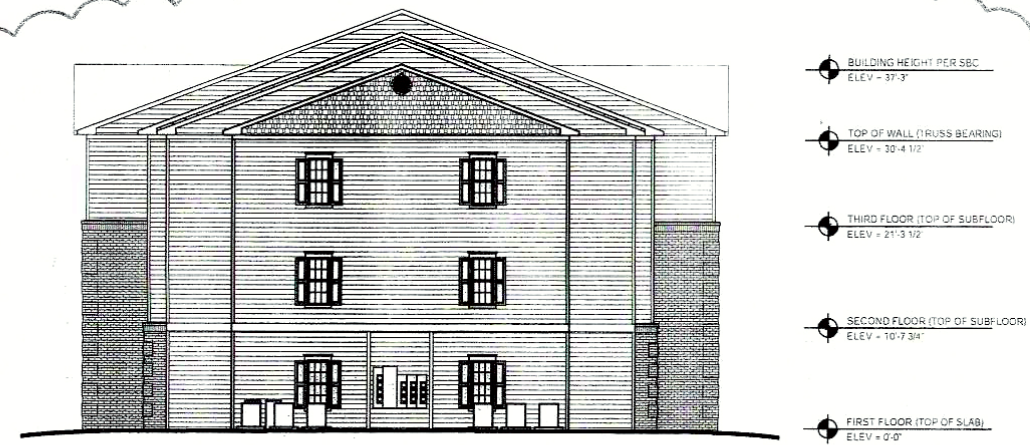
SEE THE FOLLOWING SHEETS FOR ENLARGED FOUNDATION PLANS:  
 1BR UNIT - SHEET S1.1  
 2BR UNIT - SHEET S1.2  
 3BR UNIT - SHEET S1.3  
 BREEZEWAY - SHEET A2.1

**BUILDING TYPE 'A' - FOUNDATION PLAN** 3/32"=1'-0"





**LEFT ELEVATION** 3/32"=1'-0"



**RIGHT ELEVATION** 3/32"=1'-0"

- BUILDING HEIGHT PER SBC  
ELEV = 37'-3"
- TOP OF WALL (TRUSS BEARING)  
ELEV = 32'-4 1/2"
- THIRD FLOOR (TOP OF SUBFLOOR)  
ELEV = 21'-3 1/2"
- SECOND FLOOR (TOP OF SUBFLOOR)  
ELEV = 10'-7 3/4"
- FIRST FLOOR (TOP OF SLAB)  
ELEV = 0'-0"



**FRONT ELEVATION** 3/32"=1'-0"



**REAR ELEVATION** 3/32"=1'-0"

**BUILDING TYPE 'A' - BUILDING #1 ONLY**

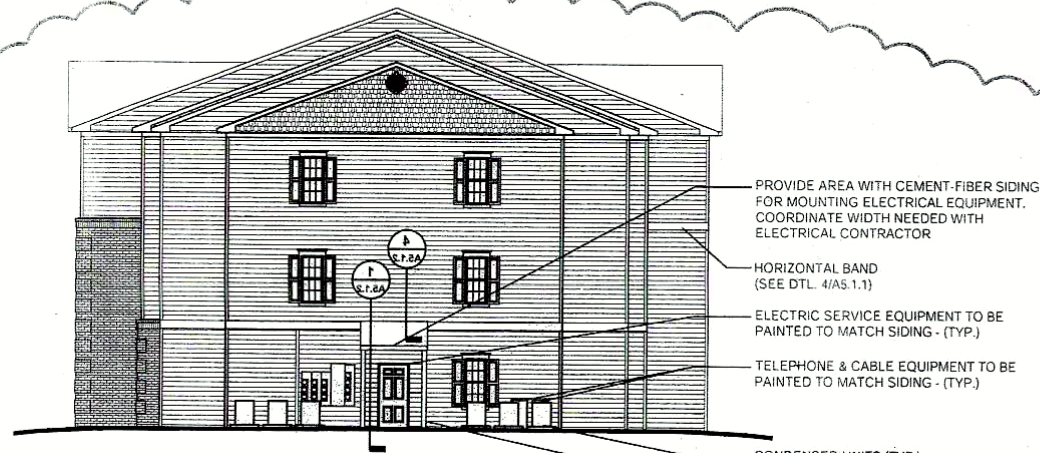


DATE: 10/19/04  
REVISION: 11/17/04, 12/02/05, 01/11/06

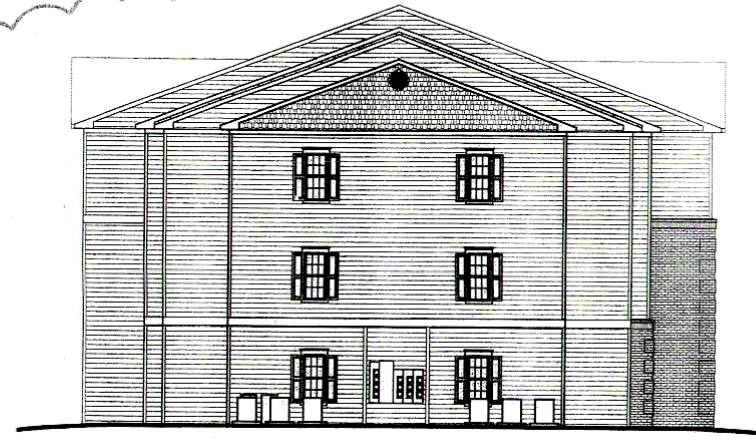
*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
246 PEACHTREE CENTER AVE. SUITE 2405 ATLANTA, GA 30303 TEL: 404/584-1880 FAX: 404/584-1895

BUILDING TYPE 'A'  
BUILDING #1 ONLY  
ELEVATIONS



**LEFT ELEVATION** 3/32"=1'-0"



**RIGHT ELEVATION** 3/32"=1'-0"

- BUILDING HEIGHT PER SBC  
ELEV = 37'-3"
- TOP OF WALL (TRUSS BEARING)  
ELEV = 30'-4 1/2"
- THIRD FLOOR (TOP OF SUBFLOOR)  
ELEV = 21'-3 1/2"
- SECOND FLOOR (TOP OF SUBFLOOR)  
ELEV = 10'-7 3/4"
- FIRST FLOOR (TOP OF SLAB)  
ELEV = 0'-0"



**FRONT ELEVATION** 3/32"=1'-0"



**REAR ELEVATION** 3/32"=1'-0"

**BUILDING TYPE 'A' - BUILDING #5 ONLY**



DATE: 10/19/04  
REVISION: 01/11/06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2446 ATLANTA, GA. 30303 TEL. 404/854-1880 FAX 404/854-1805

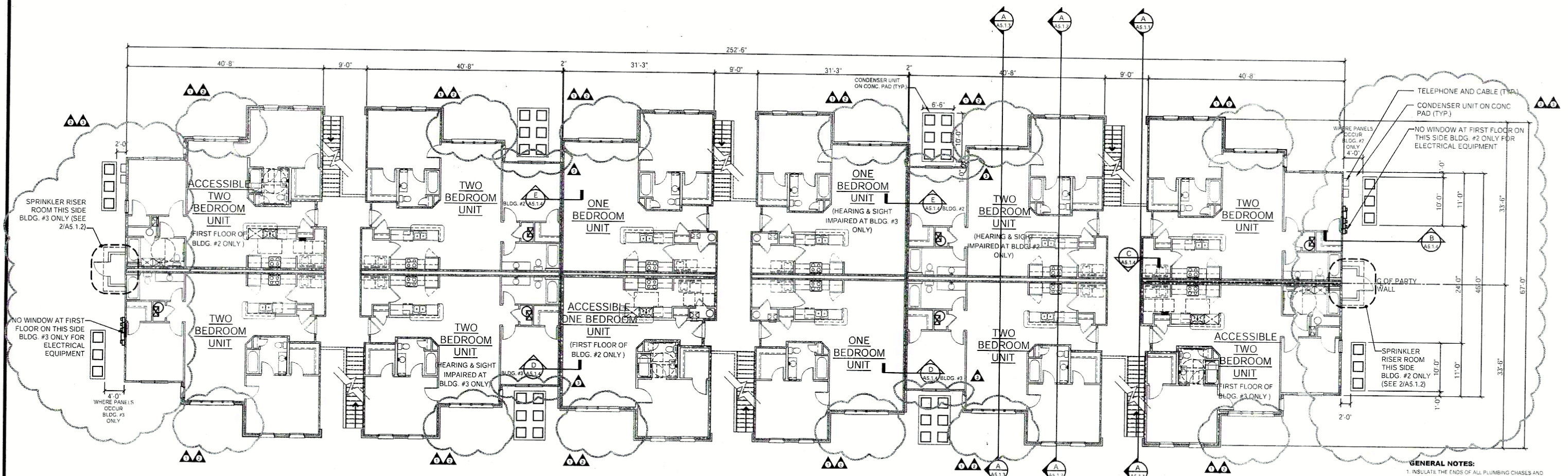
BUILDING TYPE 'A'  
BUILDING #5 ONLY  
ELEVATIONS



DATE	REVISION
10/19/04	11/17/04
	12/02/05
	01/11/06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/564-1800 FAX: 404/564-1805



**BUILDING TYPE 'B' - FLOOR PLAN**

(UPPER FLOORS SIMILAR)

3/32"=1'-0"

ONE BEDROOM UNIT - SEE SHEET A1.1  
 TWO BEDROOM UNIT - SEE SHEET A1.3

- GENERAL NOTES:**
- INSULATE THE ENDS OF ALL PLUMBING CHASES AND AIRSPACES
  - CONDENSES 1 HOUR FIRE RATED WALL ASSEMBLIES
  - FOLLOW ILL DESIGN #0 341 AT TENANT SEPARATION WALLS
  - FOLLOW ILL SHEET #8-1 AT BRIZZEWAY WALLS
  - FOLLOW ILL #U358 AT EXTERIOR WALLS
  - FOLLOW GA DESIGN #W9314 AT INTERIOR BEARING
  - DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

**A4.2.1**

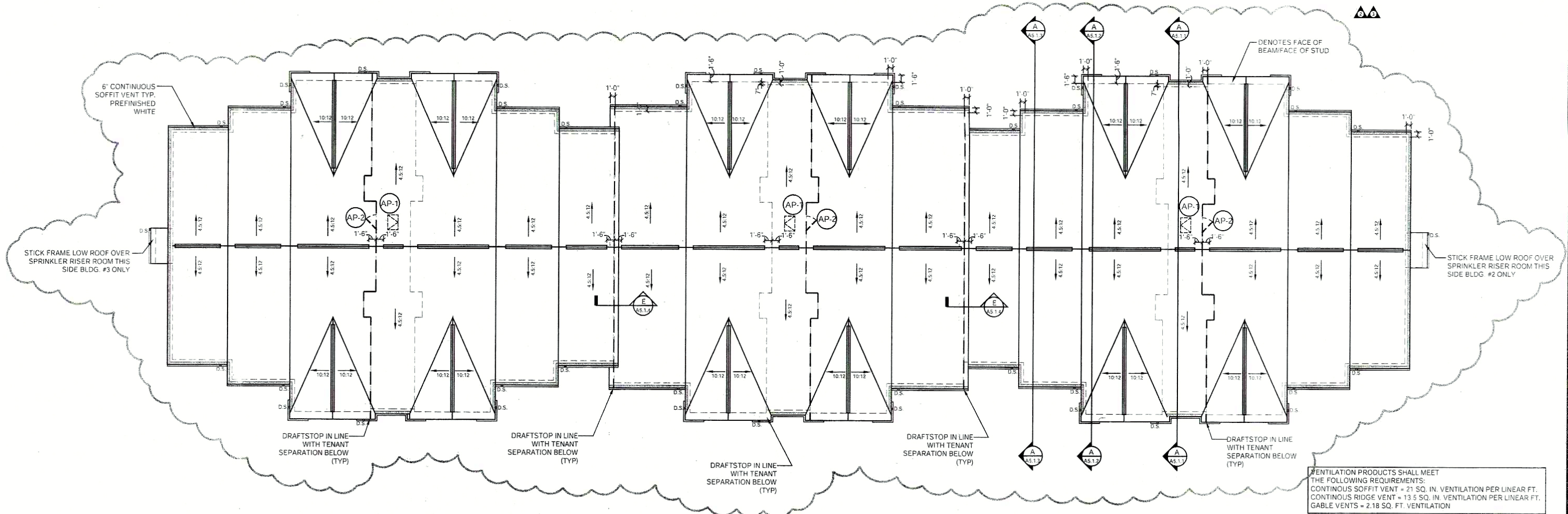
BUILDING TYPE 'B'  
 FLOOR PLAN



DATE: 10-10-04  
 REVISION: 11-17-04  
 12-02-05  
 01-11-06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

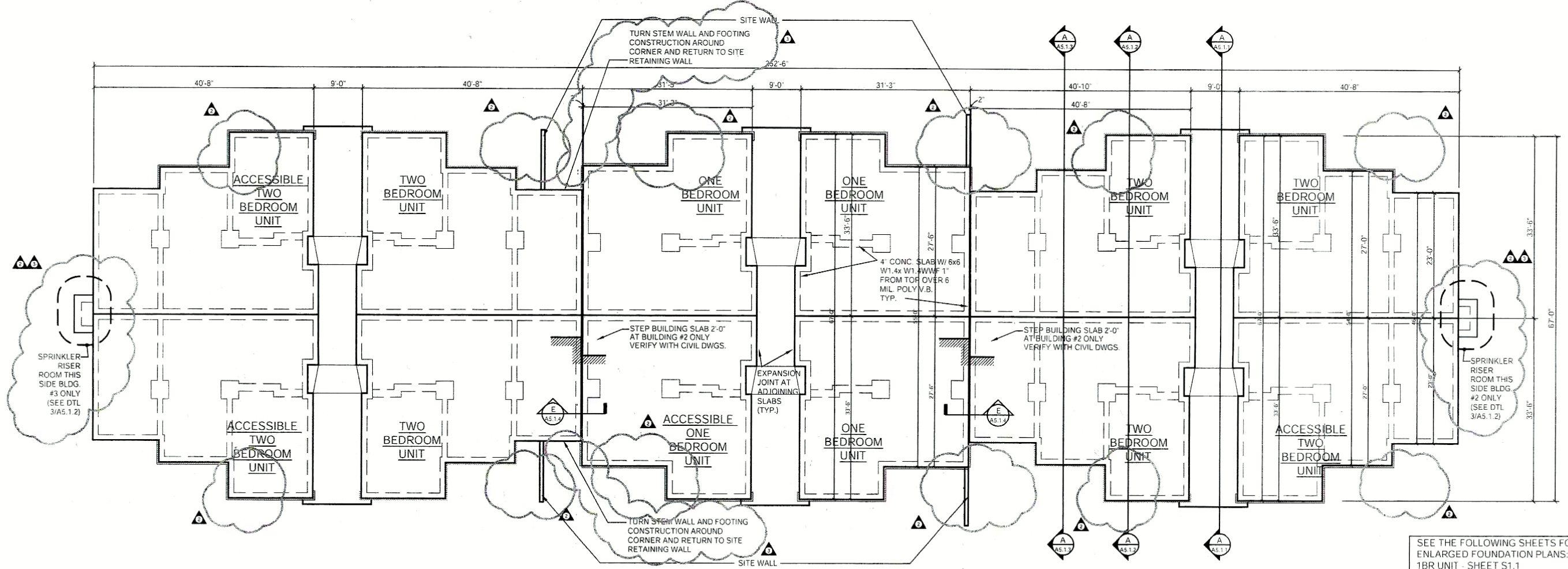
MORTON M. GRUBER, AIA, ARCHITECT  
 246 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL: 404/864-1880 FAX: 404/594-1895



**BUILDING TYPE 'B' - ROOF PLAN**

3/32" = 1'-0"

VENTILATION PRODUCTS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 CONTINUOUS SOFFIT VENT = 21 SQ. IN. VENTILATION PER LINEAR FT.  
 CONTINUOUS RIDGE VENT = 13.5 SQ. IN. VENTILATION PER LINEAR FT.  
 GABLE VENTS = 2.18 SQ. FT. VENTILATION



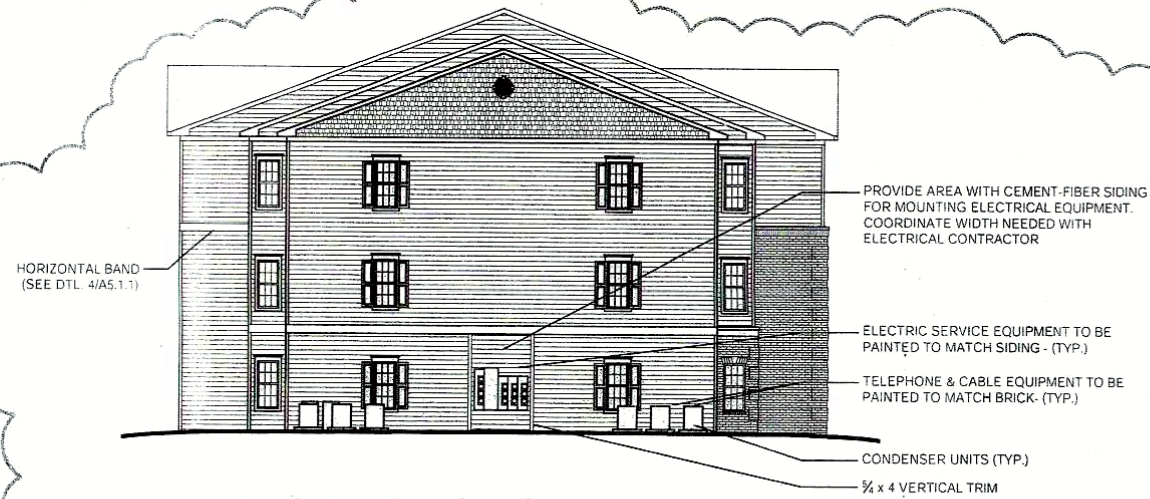
**BUILDING TYPE 'B' - FOUNDATION PLAN**

3/32" = 1'-0"

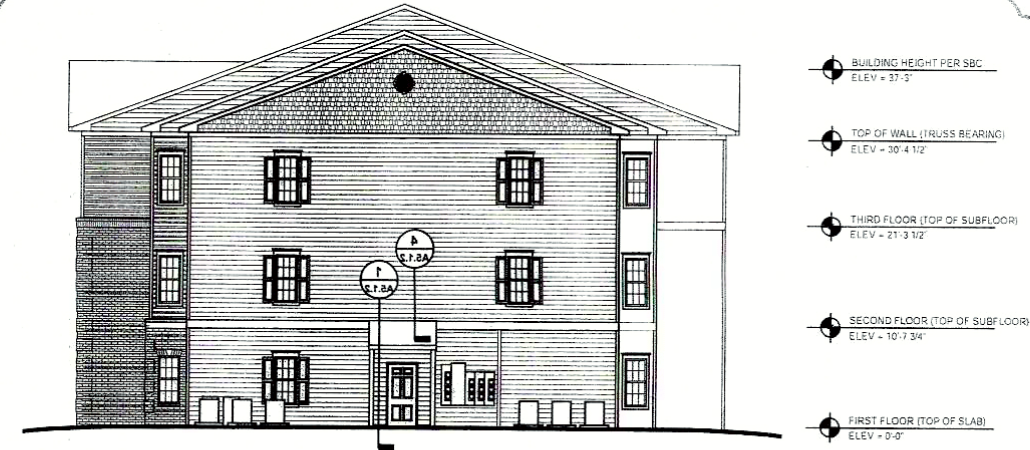
SEE THE FOLLOWING SHEETS FOR ENLARGED FOUNDATION PLANS:  
 1BR UNIT - SHEET S1.1  
 2BR UNIT - SHEET S1.2  
 3BR UNIT - SHEET S1.3  
 BREEZEWAY - SHEET A2.1

BUILDING TYPE 'B'  
 ROOF PLAN  
 FOUNDATION PLAN

**A4.2.2**



**LEFT ELEVATION** 3/32"=1'-0"



**RIGHT ELEVATION** 3/32"=1'-0"



**FRONT ELEVATION** 3/32"=1'-0"



**REAR ELEVATION** 3/32"=1'-0"

**BUILDING TYPE 'B' - BUILDING #2**

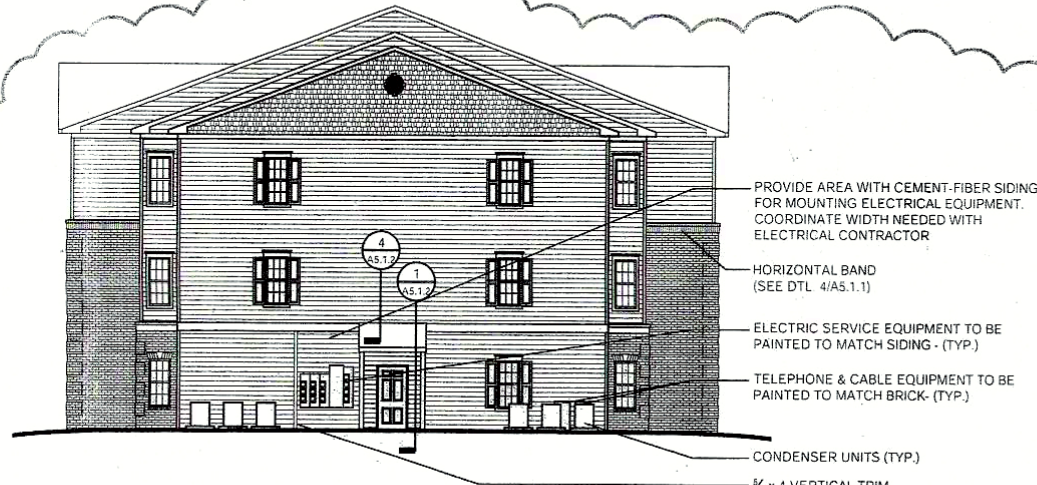


DATE: 10/19/04  
REVISION: 11/17/04, 12/02/05, 01/11/06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

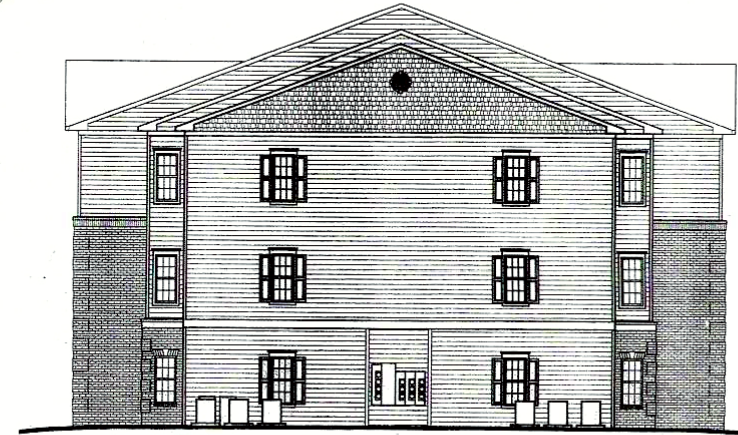
MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/584-1880 FAX 404/584-1895

BUILDING TYPE 'B'  
BUILDING #2  
ELEVATIONS



**LEFT ELEVATION** 3/32"=1'-0"

- PROVIDE AREA WITH CEMENT-FIBER SIDING FOR MOUNTING ELECTRICAL EQUIPMENT. COORDINATE WIDTH NEEDED WITH ELECTRICAL CONTRACTOR
- HORIZONTAL BAND (SEE DTL 4/AS.1.1)
- ELECTRIC SERVICE EQUIPMENT TO BE PAINTED TO MATCH SIDING - (TYP.)
- TELEPHONE & CABLE EQUIPMENT TO BE PAINTED TO MATCH BRICK - (TYP.)
- CONDENSER UNITS (TYP.)
- 1/2" x 4" VERTICAL TRIM



**RIGHT ELEVATION** 3/32"=1'-0"

- BUILDING HEIGHT PER SBC ELEV = 37'-3"
- TOP OF WALL (TRUSS BEARING) ELEV = 30'-4 1/2"
- THIRD FLOOR (TOP OF SUBFLOOR) ELEV = 27'-3 1/2"
- SECOND FLOOR (TOP OF SUBFLOOR) ELEV = 10'-7 3/4"
- FIRST FLOOR (TOP OF SLAB) ELEV = 0'-0"



**FRONT ELEVATION** 3/32"=1'-0"

- 22" Ø ROUND GABLE VENT TYP
- SHINGLE STYLE VINYL SIDING
- SOLDIER COURSE AND ROWLOCK SILL
- SHINGLES
- VINYL OR ALUM SOFFIT AND FASCIA (WHITE)
- BUILDING HEIGHT PER SBC ELEV = 37'-3"
- 1 1/2" VINYL LINEAL FREEZE (WHITE)
- TOP OF WALL (TRUSS BEARING) ELEV = 30'-4 1/2"
- BREEZEWAY LIGHT
- 3 1/2" VINYL HEAD WITH 2 1/4" CROWN (WHITE) TYP
- THIRD FLOOR (TOP OF SUBFLOOR) ELEV = 27'-3 1/2"
- VINYL SHUTTERS
- 1 1/2" VINYL TRIM AROUND WINDOW TYP (WHITE)
- HORIZONTAL BAND ALIGN TOP WITH SOLDIER COURSE (SEE DTL 4/AS.1.1)
- SECOND FLOOR (TOP OF SUBFLOOR) ELEV = 10'-7 3/4"
- ADDRESS SIGN AND LIGHT (VERIFY LOCATION W/ BLDG. ELECT. DRAWING)
- 5" VINYL SIDING (COLORS TO BE SELECTED)
- 1 1/2" VINYL CORNERS TYP. (WHITE)
- FIRST FLOOR (TOP OF SLAB) ELEV = 0'-0"



**REAR ELEVATION** 3/32"=1'-0"

- BRICK QUIONS
- ROWLOCK SILL
- SOLDIER COURSE HEADER TYP
- WALLPACK LIGHT (VERIFY LOCATION W/ BLDG. ELECT. DRAWING)

**BUILDING TYPE 'B' - BUILDING #3**



DATE: 10-10-04  
REVISION: 01-11-06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445, ATLANTA, GA 30303 TEL: 404/584-1880 FAX: 404/584-1885

BUILDING TYPE 'B'  
BUILDING #3  
ELEVATIONS

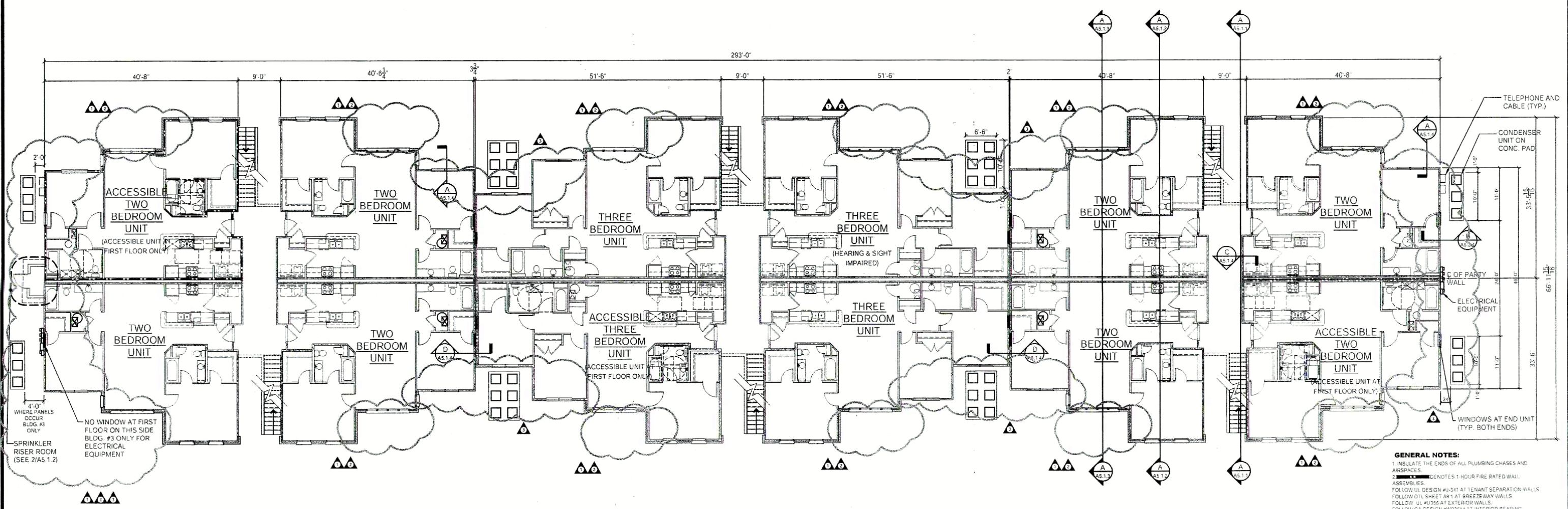


DATE  
10/10/04

REVISION  
11/17/04  
12/02/05  
01/11/06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/594-1860 FAX 404/594-1865



**BUILDING TYPE 'C' - FLOOR PLAN**

(UPPER FLOORS SIMILAR)

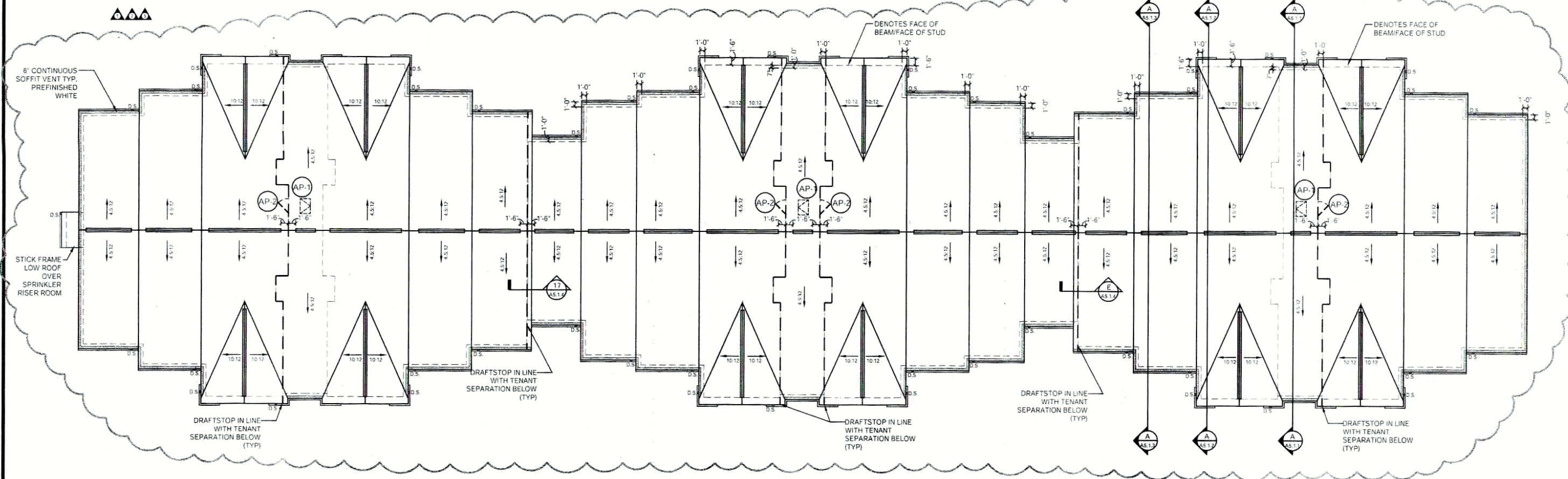
3/32" = 1'-0"

TWO BEDROOM UNIT - SEE SHEET A1.3  
THREE BEDROOM UNIT - SEE SHEET A1.5

**GENERAL NOTES:**  
1. INSULATE THE ENDS OF ALL PLUMBING CHASES AND AIRSPACES.  
2. [Symbol] DENOTES 1 HOUR FIRE RATED WALL ASSEMBLY.  
FOLLOW ILL. DESIGN #10-341 AT TENANT SEPARATION WALLS  
FOLLOW DTL SHEET A8.1 AT BREEZEWAY WALLS  
FOLLOW ILL. #1356 AT EXTERIOR WALLS  
FOLLOW GA. DESIGN #093214 AT INTERIOR BEARING  
3. DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

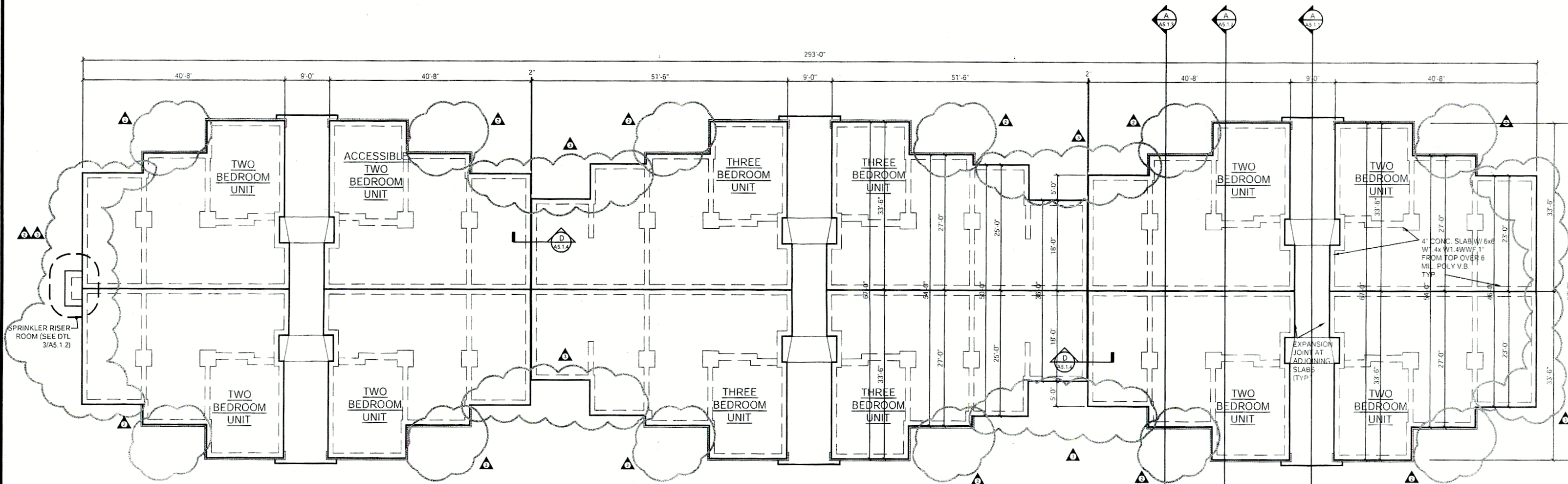
**A4.3.1**

BUILDING TYPE 'C'  
FLOOR PLAN



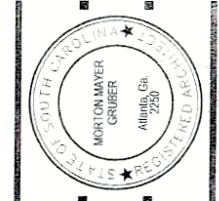
**BUILDING TYPE 'C' - ROOF PLAN** 3/32"=1'-0"

VENTILATION PRODUCTS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 CONTINUOUS SOFFIT VENT = 21 SQ. IN. VENTILATION PER LINEAR FT.  
 CONTINUOUS RIDGE VENT = 13.5 SQ. IN. VENTILATION PER LINEAR FT.  
 GABLE VENTS = 2.18 SQ. FT. VENTILATION



**BUILDING TYPE 'C' - FOUNDATION PLAN** 3/32"=1'-0"

SEE THE FOLLOWING SHEETS FOR ENLARGED FOUNDATION PLANS:  
 1BR UNIT - SHEET S1.1  
 2BR UNIT - SHEET S1.2  
 3BR UNIT - SHEET S1.3  
 BREEZEWAY - SHEET A2.1

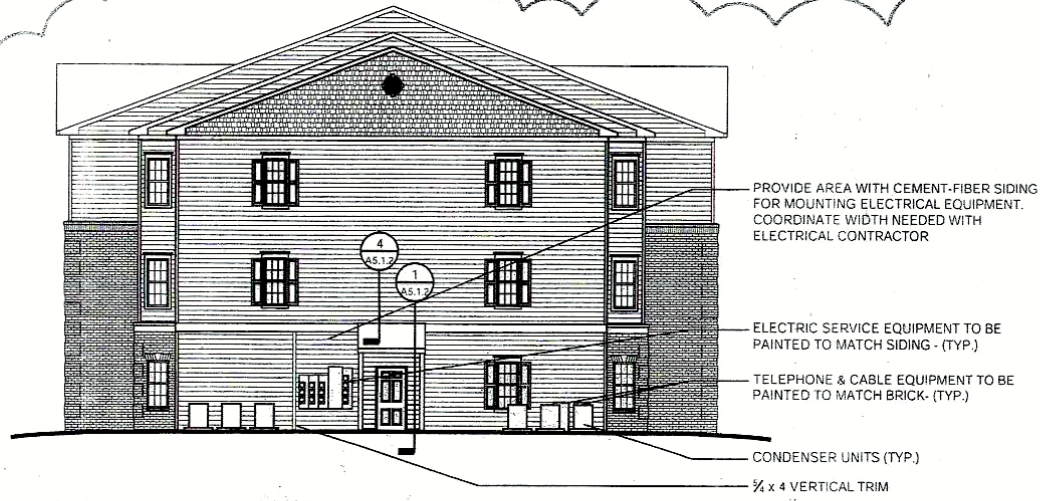


DATE	REVISION
10/19/04	11/17/04
	12/02/05
	01/11/06

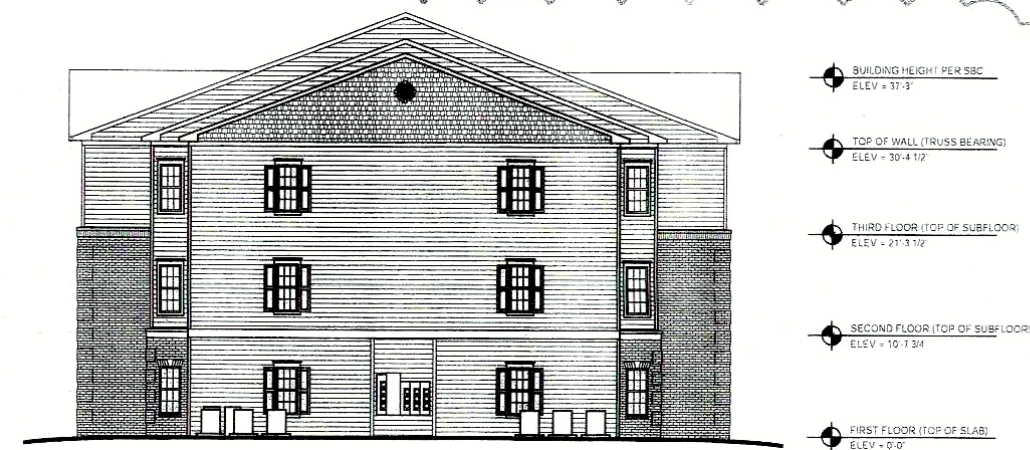
*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PINE TREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL. 404.964.1680 FAX 404.964.1655





**LEFT ELEVATION** 3/32"=1'-0"



**RIGHT ELEVATION** 3/32"=1'-0"

- BUILDING HEIGHT PER SBC ELEV = 31'-3"
- TOP OF WALL (TRUSS BEARING) ELEV = 30'-4 1/2"
- THIRD FLOOR (TOP OF SUBFLOOR) ELEV = 27'-3 1/2"
- SECOND FLOOR (TOP OF SUBFLOOR) ELEV = 19'-3 3/4"
- FIRST FLOOR (TOP OF SLAB) ELEV = 0'-0"



**FRONT ELEVATION** 3/32"=1'-0"



**REAR ELEVATION** 3/32"=1'-0"

**BUILDING TYPE 'C'**



DATE: 10/19/04

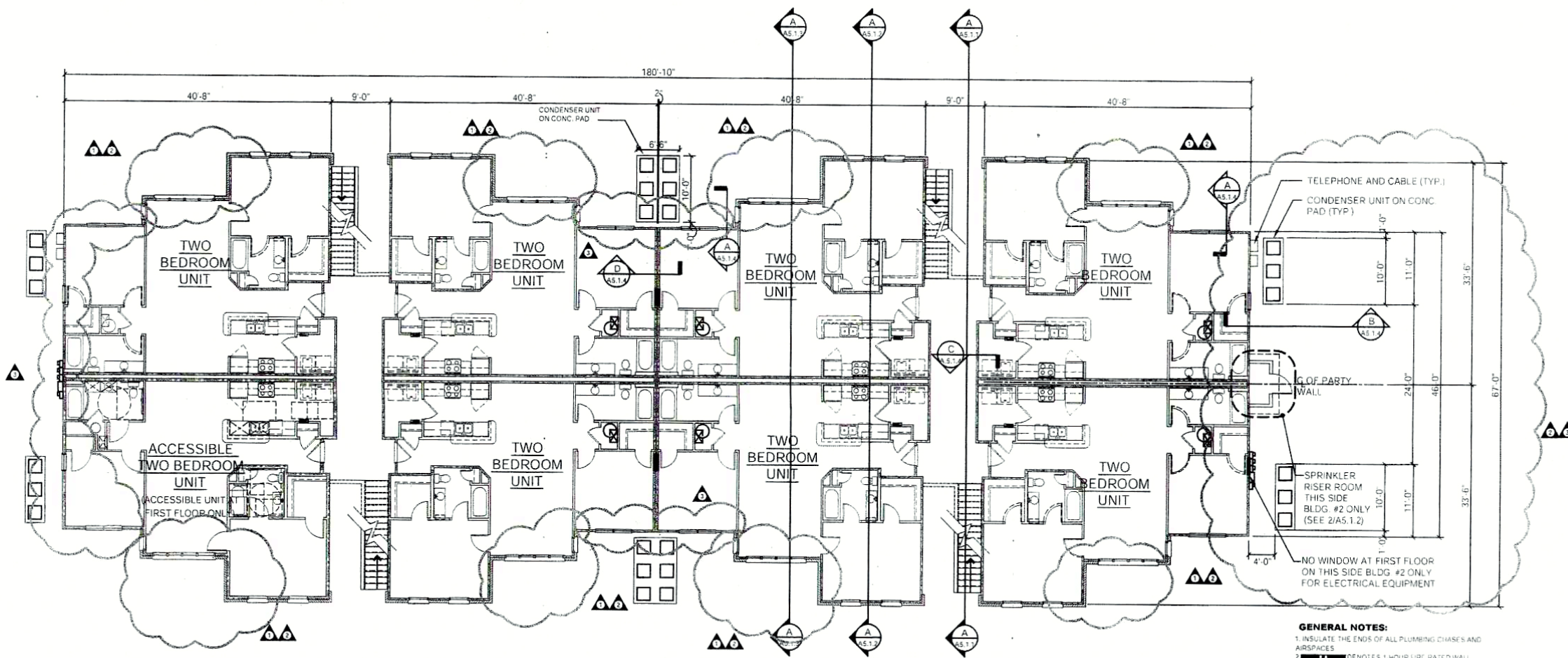
REVISION:

1	11/17/04
2	12/02/05
3	01/11/06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2450 ATLANTA, GA 30303 TEL. 404/884-1800 FAX 404/884-1065

BUILDING TYPE 'C'  
 ELEVATIONS



**BUILDING TYPE 'D' - GROUND FLOOR PLAN**

(UPPER FLOORS SIMILAR)

3/32"=1'-0"

TWO BEDROOM UNIT - SEE SHEET A1.3

- GENERAL NOTES:**
- 1. INSULATE THE ENDS OF ALL PLUMBING CHASES AND AIRSPACES
  - 2. **WALL TYPE 2** DENOTES 1-HOUR FIRE RATED WALL ASSEMBLIES
  - FOLLOW UL DESIGN #131 AT TENANT SEPARATION WALLS
  - FOLLOW DTI, SUELLI AND 1-1/2 BREEZEWAY WALLS
  - FOLLOW UL #1036 AT EXTERIOR WALLS
  - FOLLOW GA DE SIGN #103514 AT INTERIOR BEARING
  - 3. DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

DATE  
10/19/04

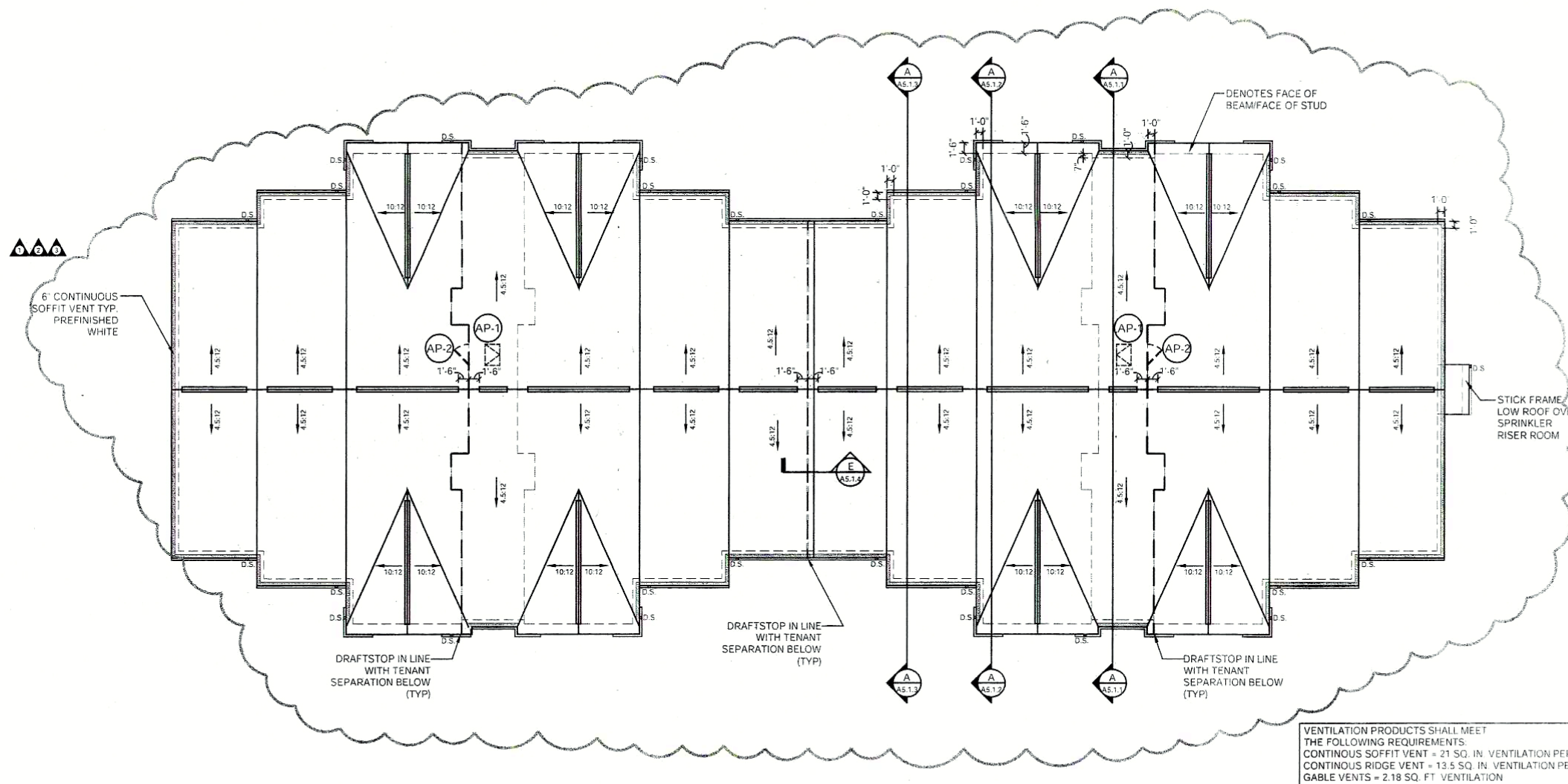
REVISION  
11-17-04  
12-02-05  
01-11-06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
285 PEACHTREE CENTER AVE. SUITE 2405, ATLANTA, GA 30303 TEL. 404.884.1888 FAX. 404.884.1885

BUILDING TYPE 'D'  
FLOOR PLAN

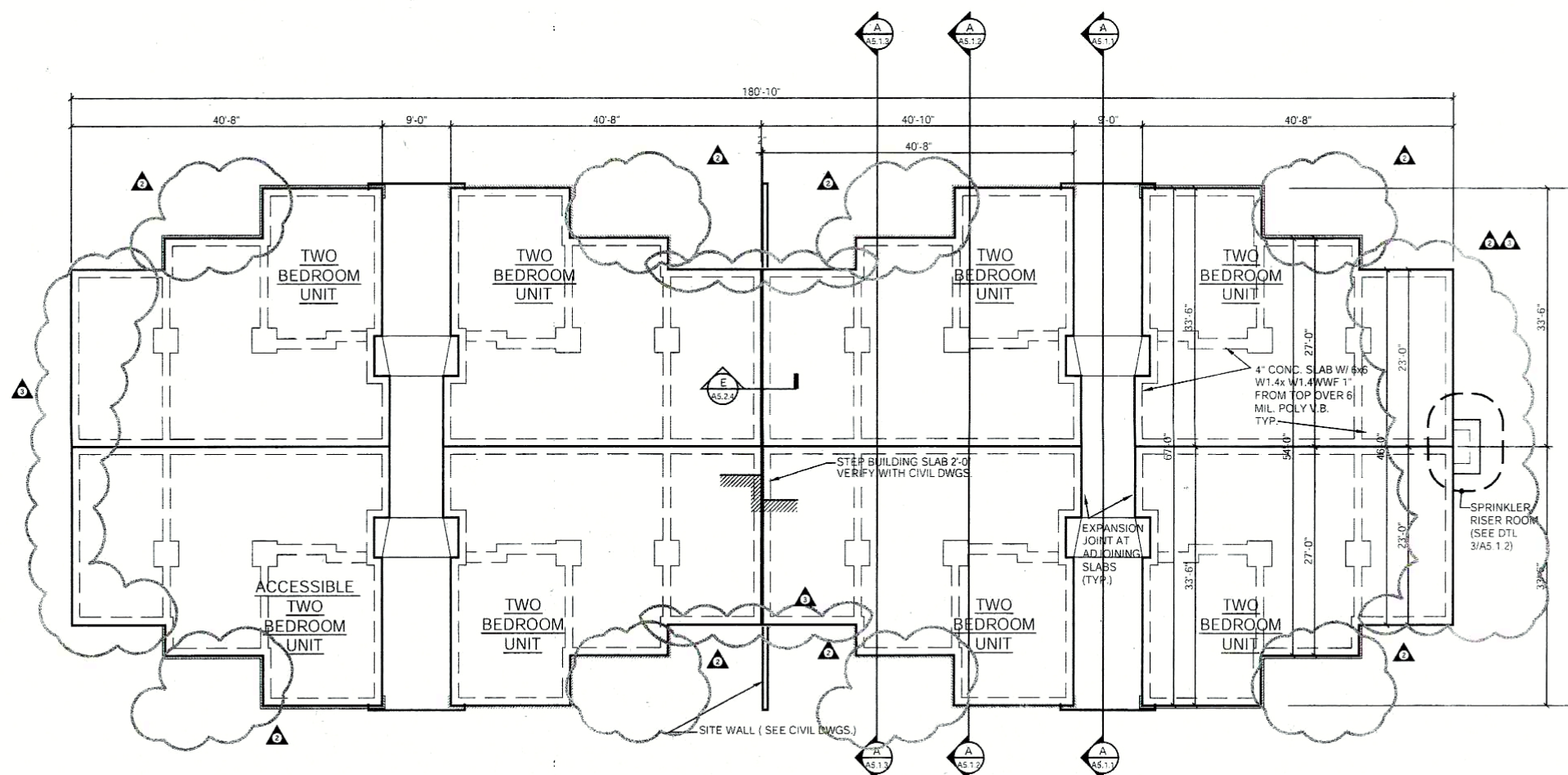
**A4.4.1**



VENTILATION PRODUCTS SHALL MEET THE FOLLOWING REQUIREMENTS:  
 CONTINUOUS SOFFIT VENT = 21 SQ. IN. VENTILATION PER LINEAR FT.  
 CONTINUOUS RIDGE VENT = 13.5 SQ. IN. VENTILATION PER LINEAR FT.  
 GABLE VENTS = 2.18 SQ. FT. VENTILATION

**BUILDING TYPE 'D' - ROOF PLAN**

3/32"=1'-0"



SEE THE FOLLOWING SHEETS FOR ENLARGED FOUNDATION PLANS:  
 1BR UNIT - SHEET S1.1  
 2BR UNIT - SHEET S1.2  
 3BR UNIT - SHEET S1.3  
 BREEZEWAY - SHEET A2.1

**BUILDING TYPE 'D' - FOUNDATION PLAN**

3/32"=1'-0"



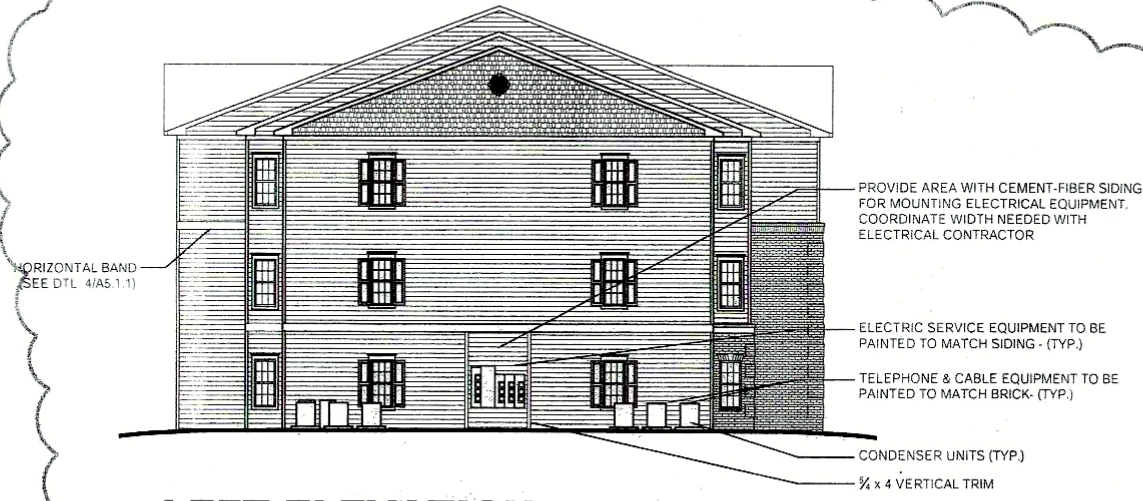
DATE	REVISION
10/19/04	11/17/04
	12/02/05
	01/11/06

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

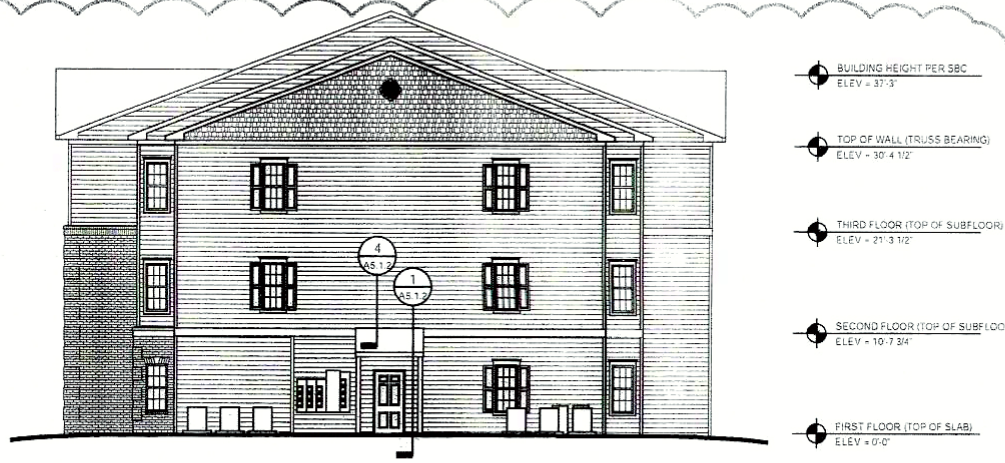
**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/594-1880 FAX: 404/594-1885

BUILDING TYPE 'D'  
 ROOF PLAN  
 FOUNDATION PLAN

**A4.4.2**



**LEFT ELEVATION** 3/32"=1'-0"



**RIGHT ELEVATION** 3/32"=1'-0"



**FRONT ELEVATION** 3/32"=1'-0"



**REAR ELEVATION** 3/32"=1'-0"

**BUILDING TYPE 'D'**

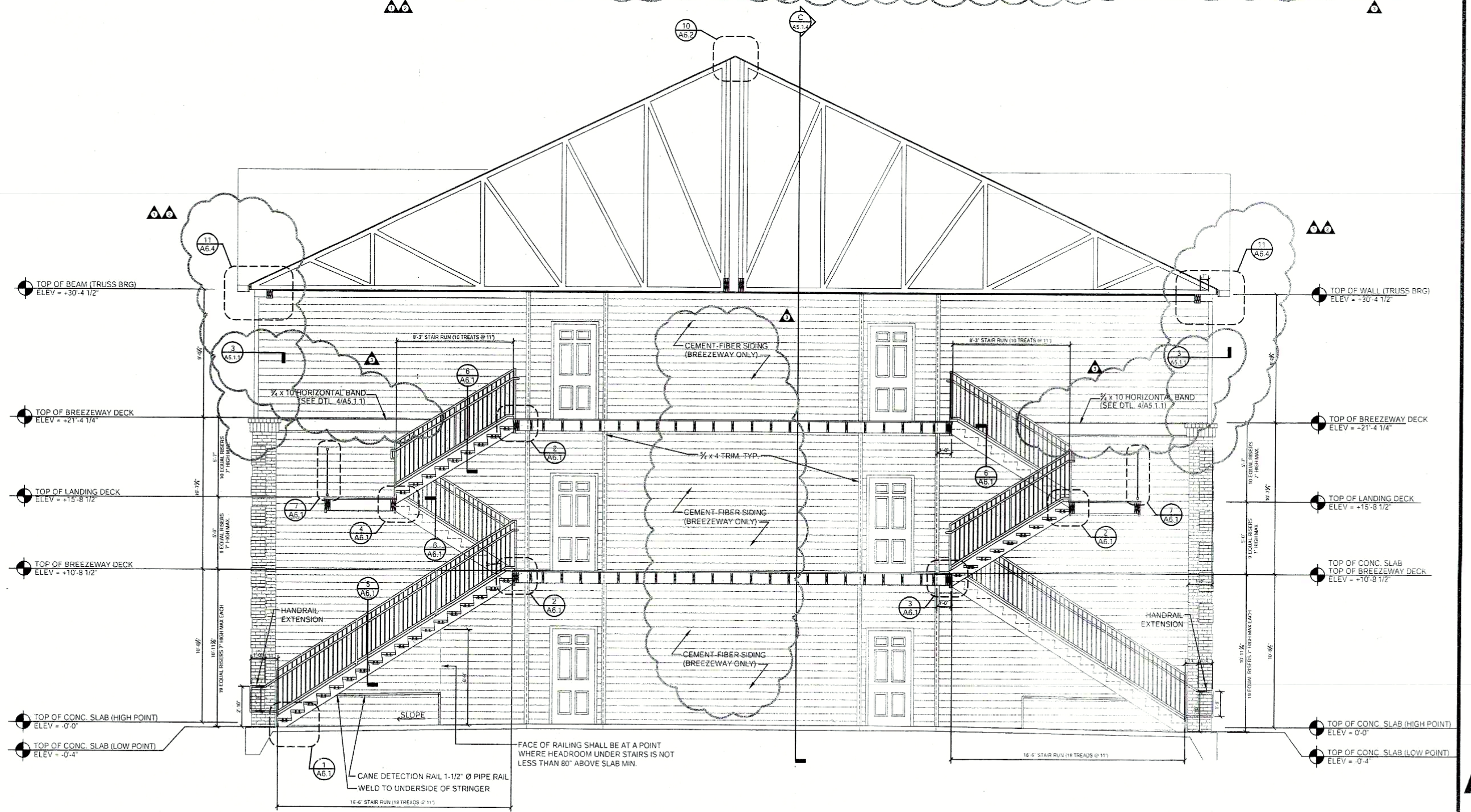
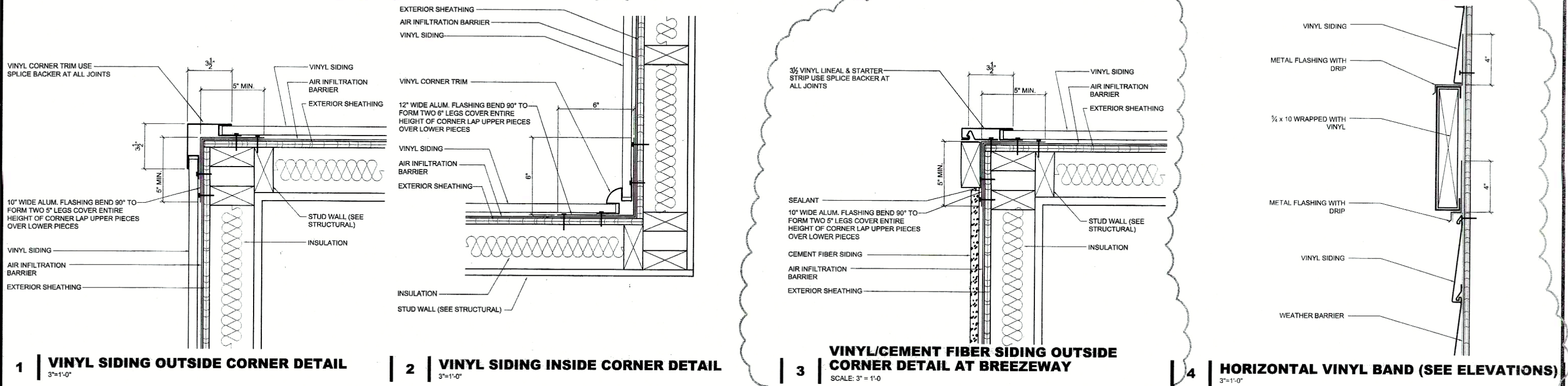


DATE	REVISION
10/19/04	
	11/17/04
	12/02/05
	01/11/06

*Wyndham Pointe*  
**Apartment Homes**  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1895 FAX: 404/584-1895

BUILDING TYPE 'D'  
 ELEVATIONS

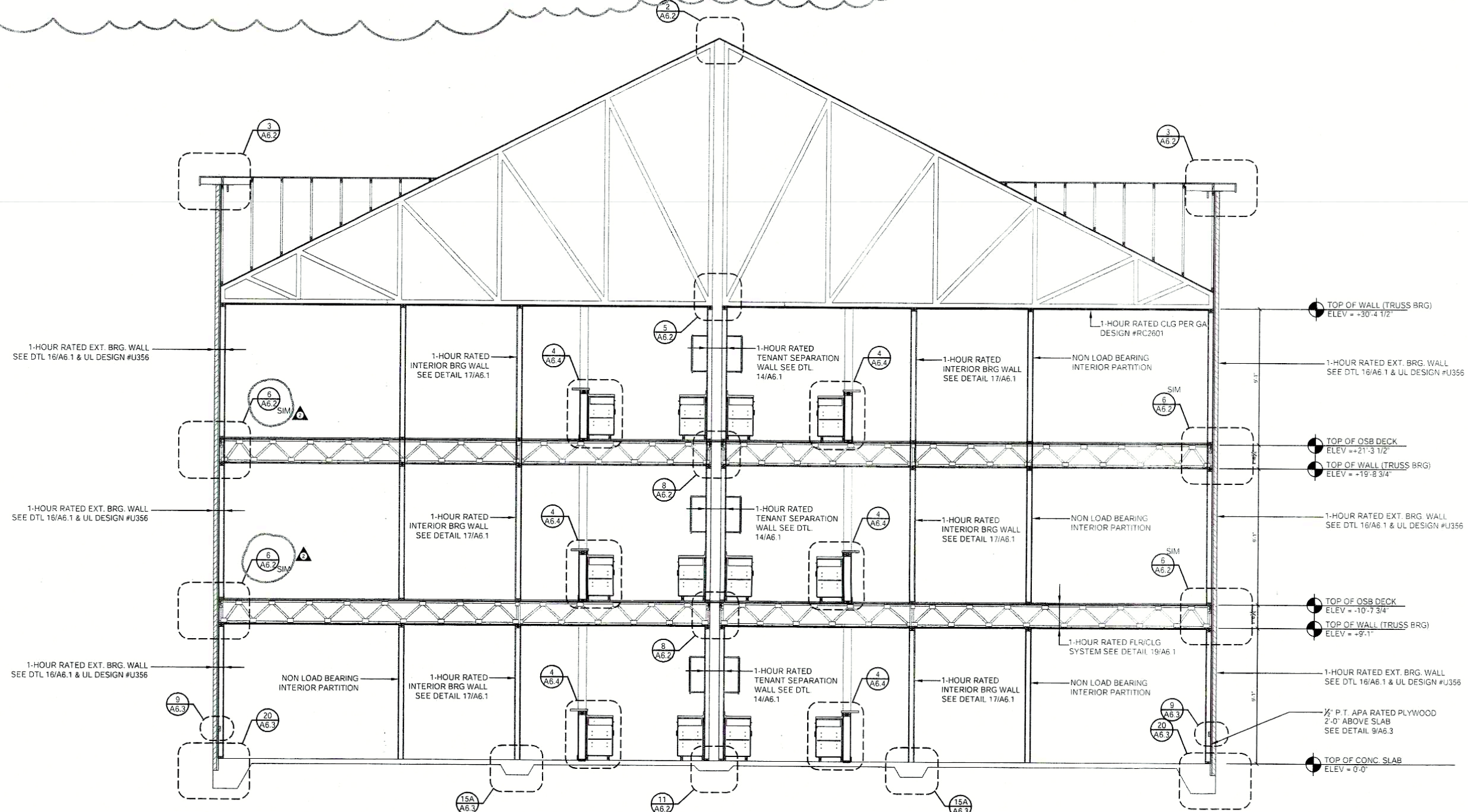
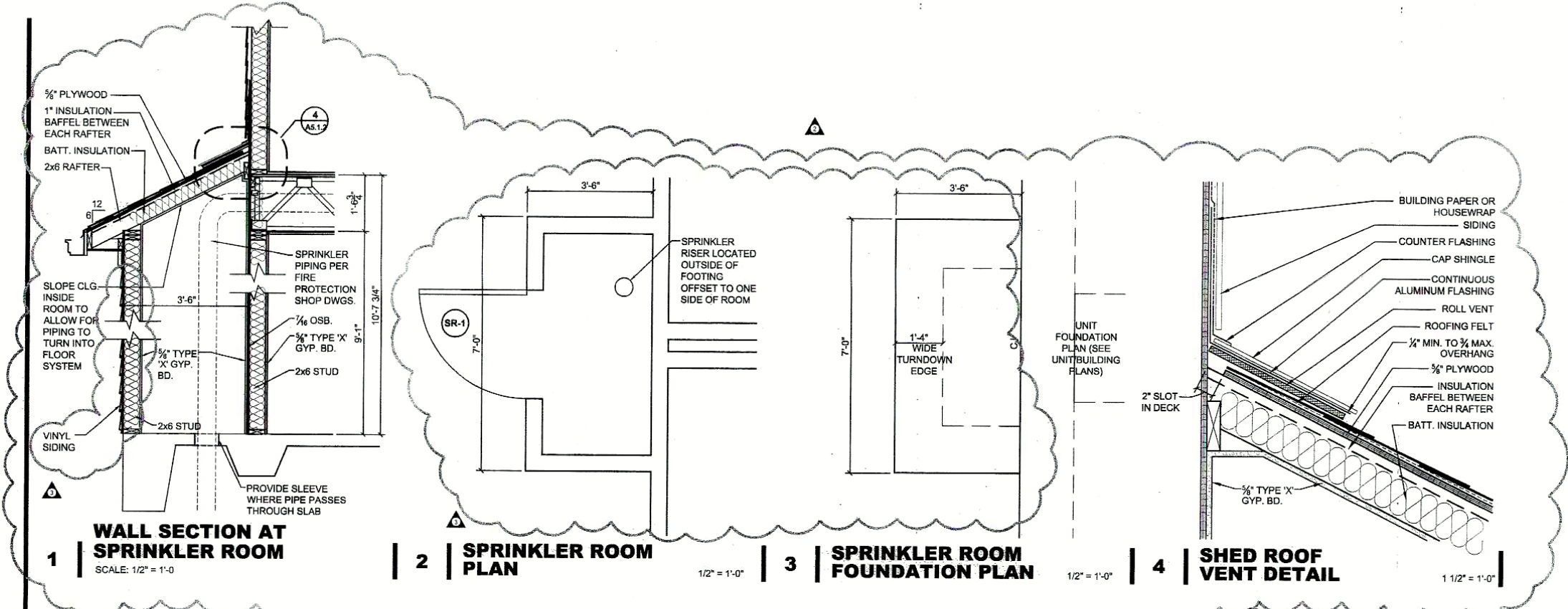


DATE: 10/18/04  
REVISION: 11/17/04, 12/02/05, 01/11/05

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
246 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/884-1600 FAX 404/884-1605

**A5.1.1**



**A BLDG SECTION - 3 STORY**

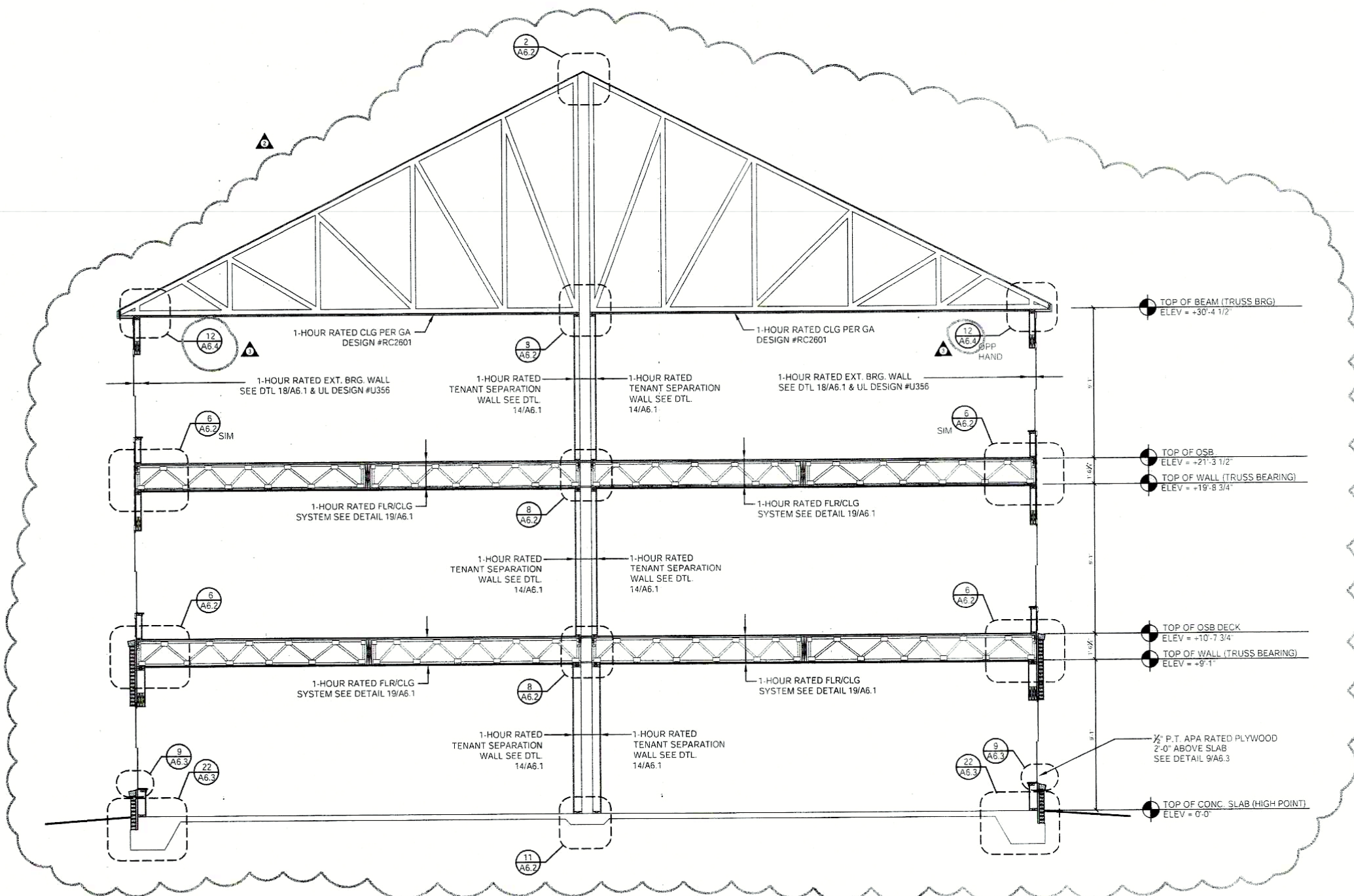


DATE: 10-19-04  
REVISION: 12-02-05  
01-11-06

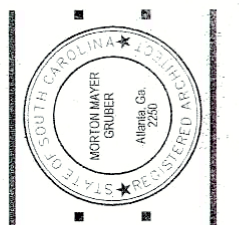
*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL. 404.594.1680 FAX. 404.594.4886

**A5.1.2**



A | BLDG SECTION - 3 STORY



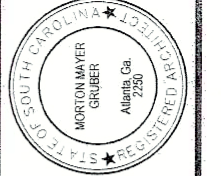
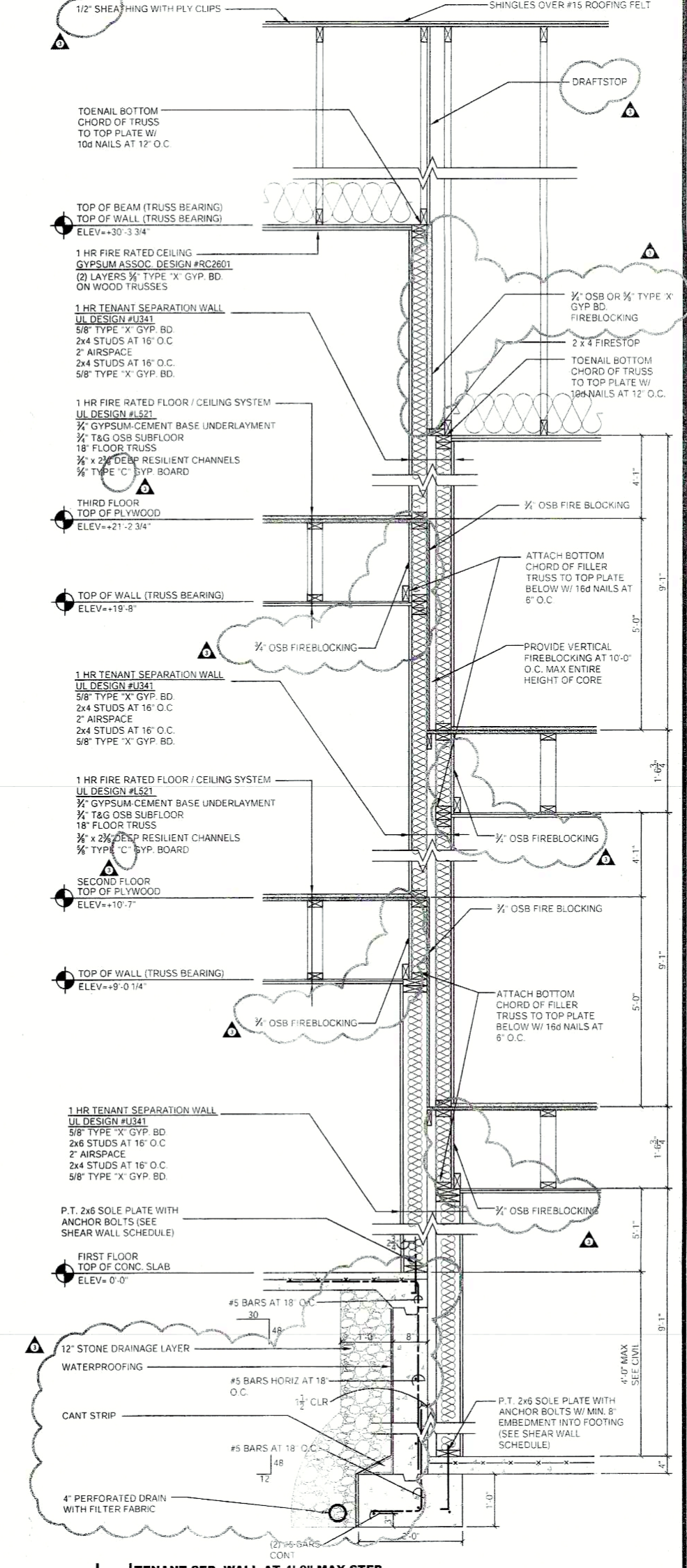
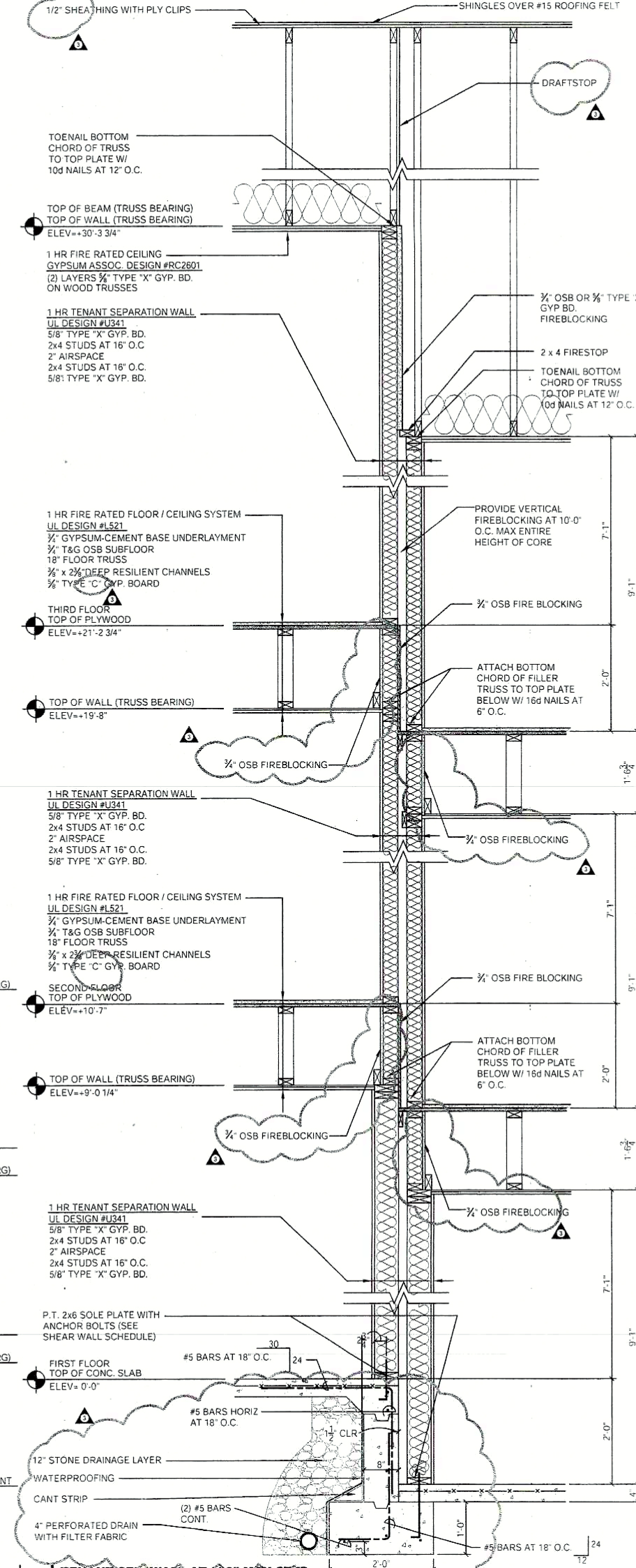
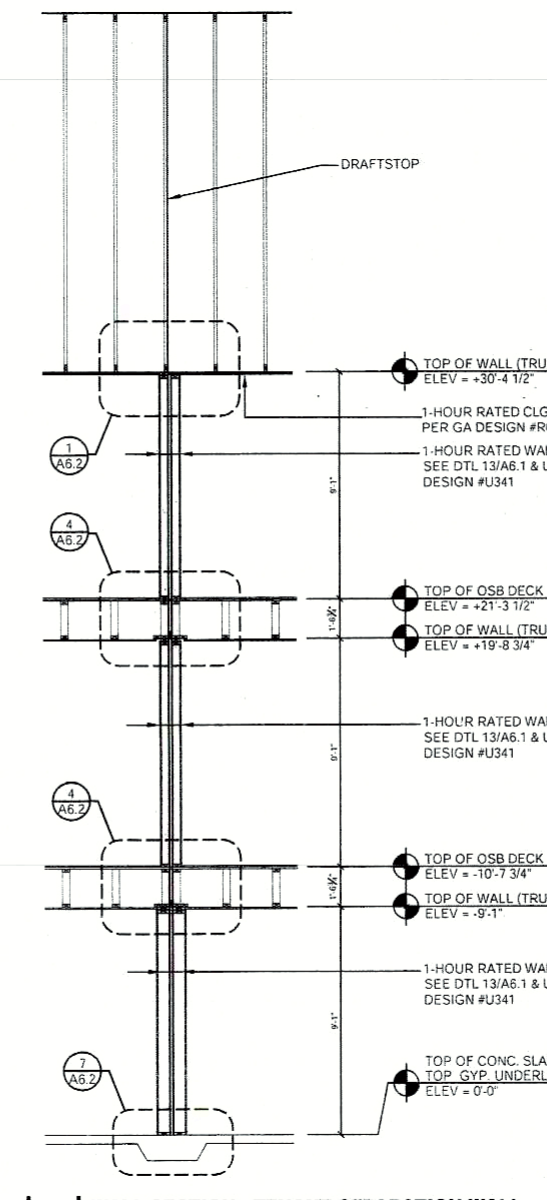
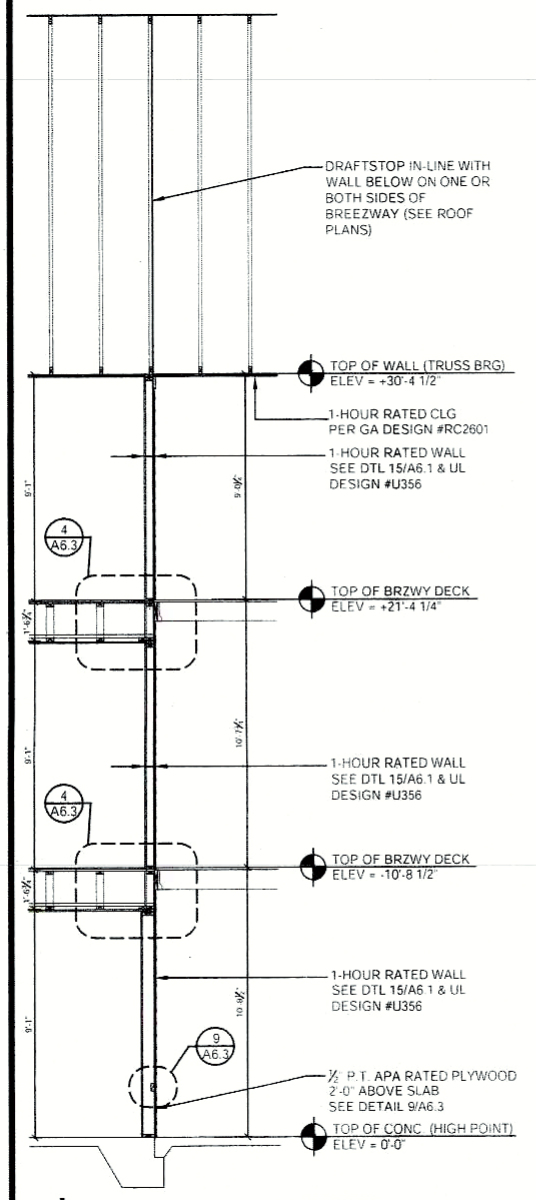
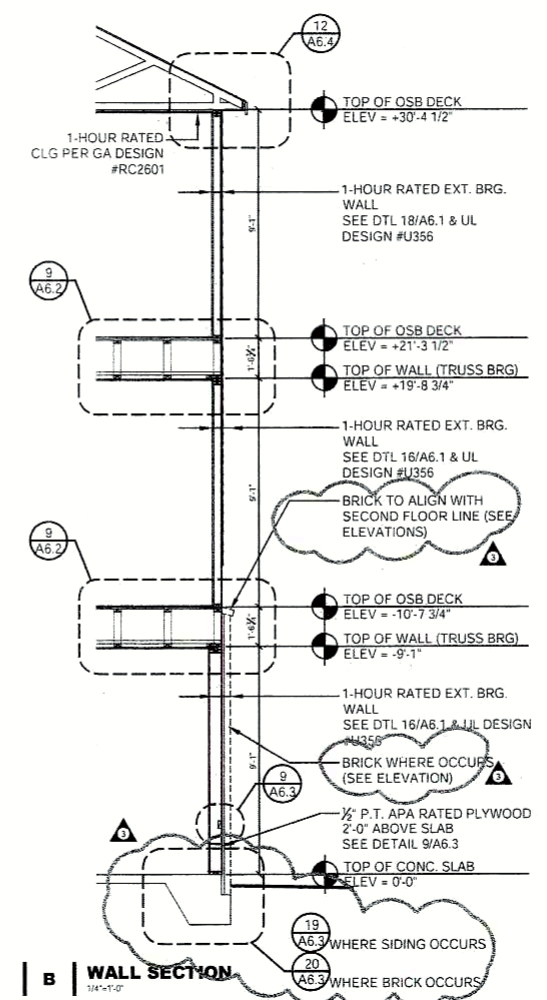
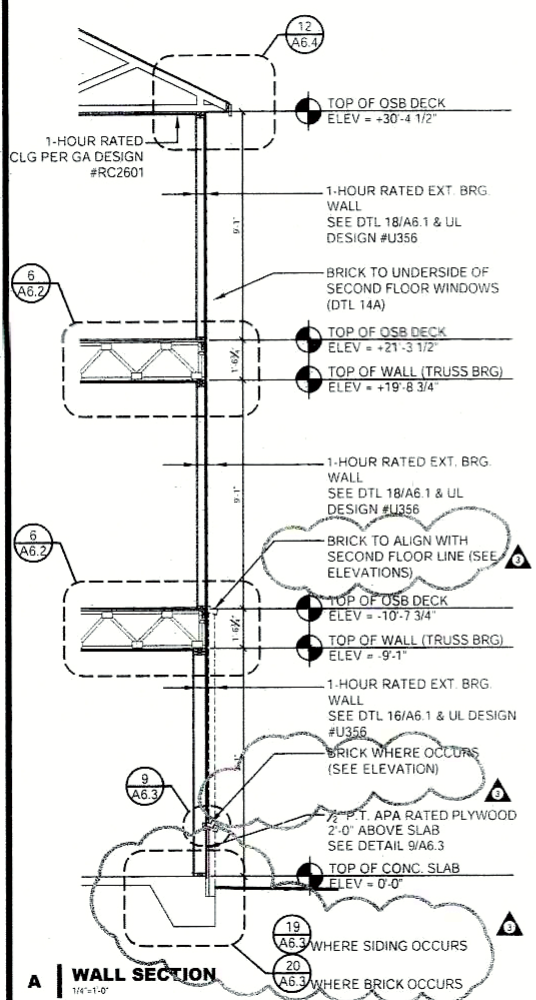
DATE	REVISION
10-10-04	
12-02-05	
01-11-06	

*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

3-STORY BUILDING  
 BUILDING SECTION

**A5.1.3**

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/584-1886 FAX 404/584-1885



DATE: 10-19-04  
REVISION: 01-11-06

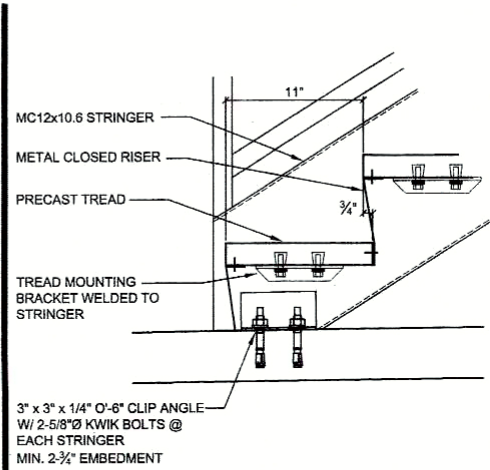
**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
246 PEACHTREE CENTER AVE. SUITE 2405 ATLANTA, GA. 30303 TEL. 404/984-1890 FAX 404/984-1895

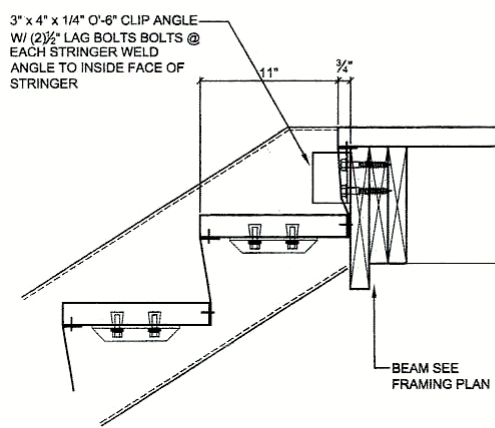
3 STORY BUILDING  
WALL SECTIONS

**A5.1.4**

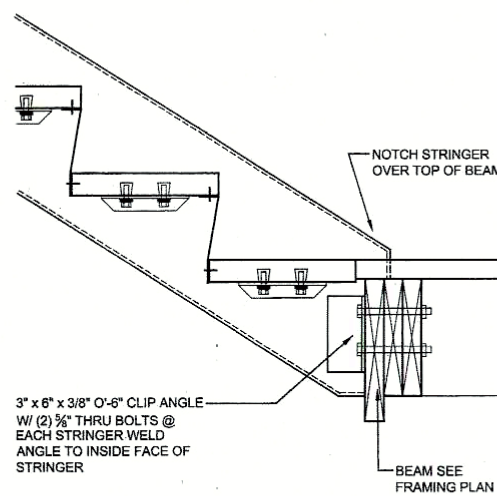




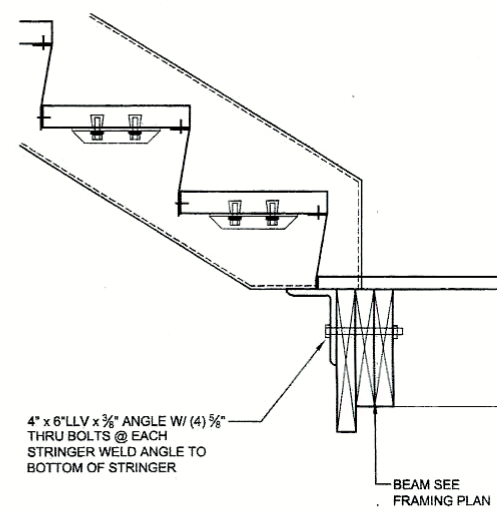
**1 | STAIR AT CONC. SLAB**  
1 1/2" = 1'-0"



**2 | STAIR CONNECTION**  
1 1/2" = 1'-0"

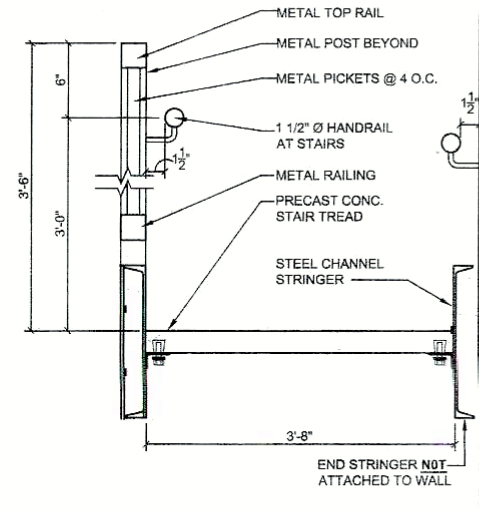


**3 | STAIR CONNECTION**  
1 1/2" = 1'-0"

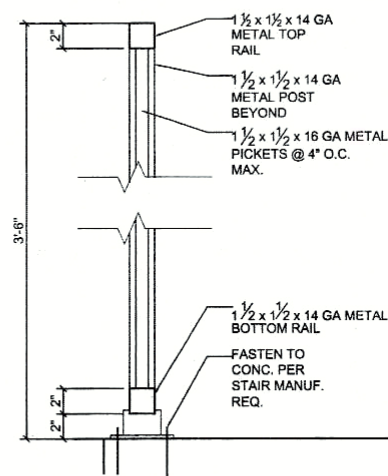


**4 | STAIR CONNECTION**  
1 1/2" = 1'-0"

**5 | NOT USED**



**6 | STAIR RAILING SECTION** SCALE: 1 1/2" = 1'-0"



**7 | BREEZEWAY GUARDRAIL**  
1 1/2" = 1'-0"

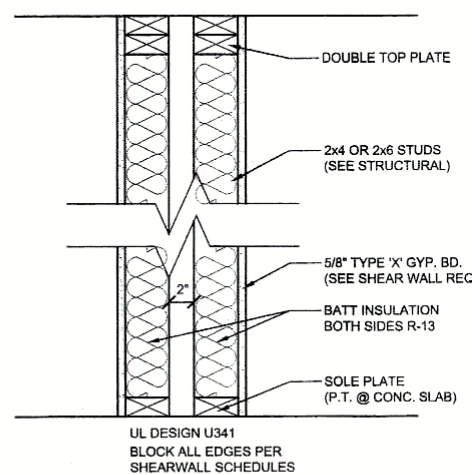
**8 | NOT USED**

**9 | NOT USED**

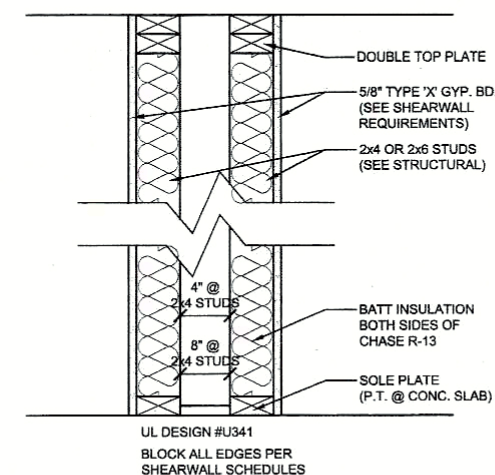
**10 | NOT USED**

**11 | NOT USED**

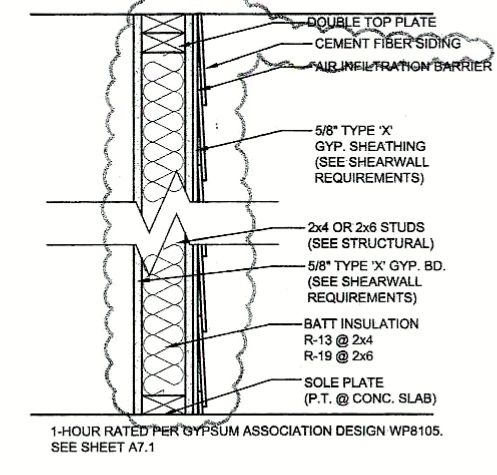
**12 | TYP. INT. NON-BEARING**  
1-1/2" = 1'-0"



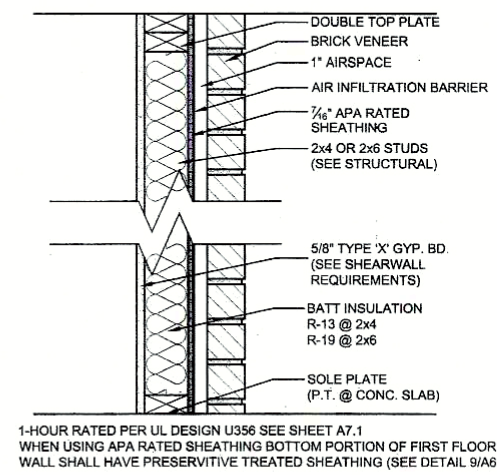
**13 | TENANT SEPARATION WALL**  
1-1/2" = 1'-0"



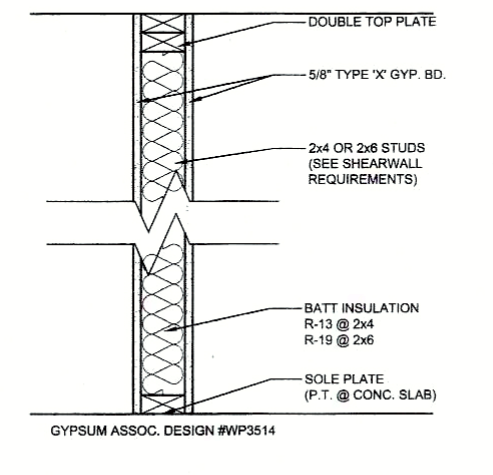
**14 | TENANT SEP/CHASE WALL**  
1-1/2" = 1'-0"



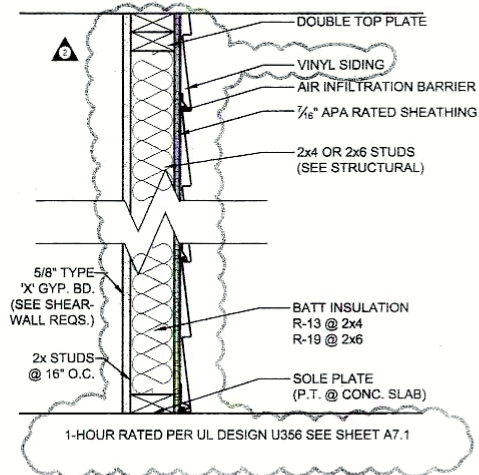
**15 | RATED BREEZEWAY WALL**  
1-1/2" = 1'-0"



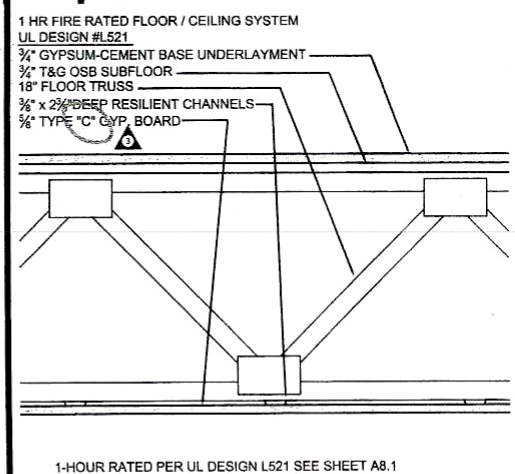
**16 | RATED WALL WITH BRICK**  
1-1/2" = 1'-0"



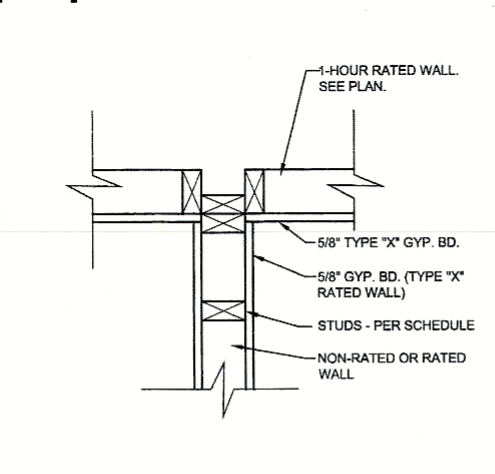
**17 | TYP. INT. BEARING WALL**  
1-1/2" = 1'-0"



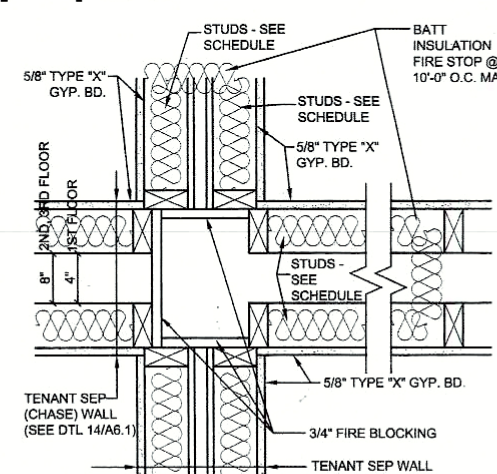
**18 | RATED WALL WITH SIDING**  
1-1/2" = 1'-0"



**19 | TYP RATED FLOOR/CLG**  
1-1/2" = 1'-0"

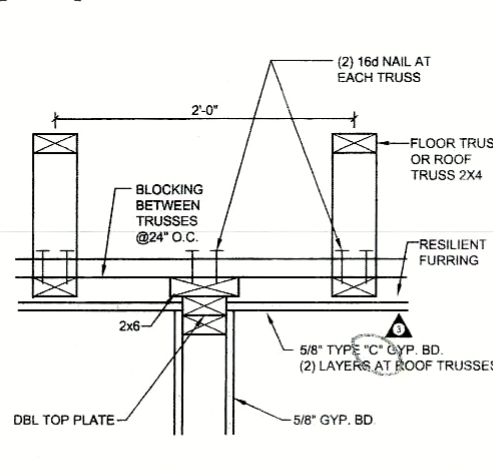


**20 | TYP. INTERIOR WALL INTERSECTION PLAN**  
1 1/2" = 1'-0"

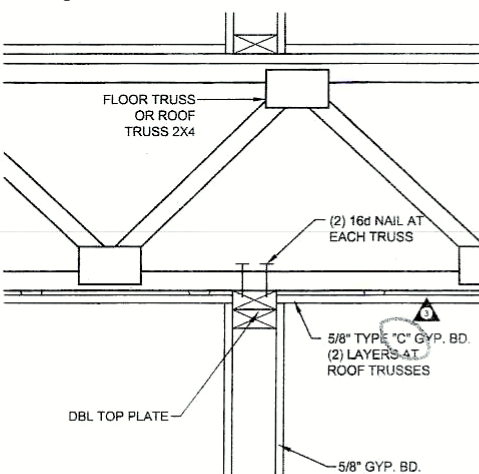


**21 | INTERSECTION OF TENANT SEPARATION WALLS**  
1 1/2" = 1'-0"

**22 | NOT USED**



**23 | TYP. INTERIOR WALL/CLG INTERSECTION (NLB)**  
1 1/2" = 1'-0"



**24 | TYP. INTERIOR WALL/CLG INTERSECTION (NLB)**  
1 1/2" = 1'-0"



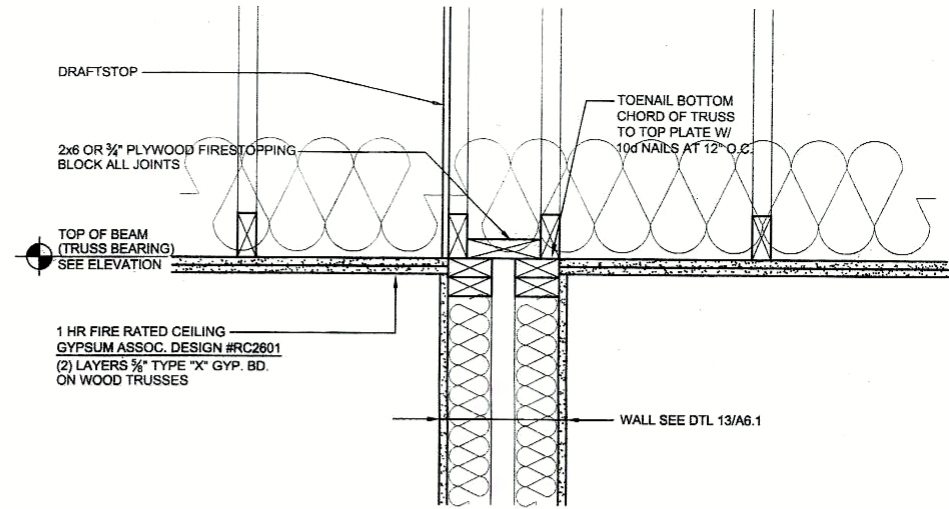
DATE: 10-19-04  
REVISION: 12-02-05  
01-11-06

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

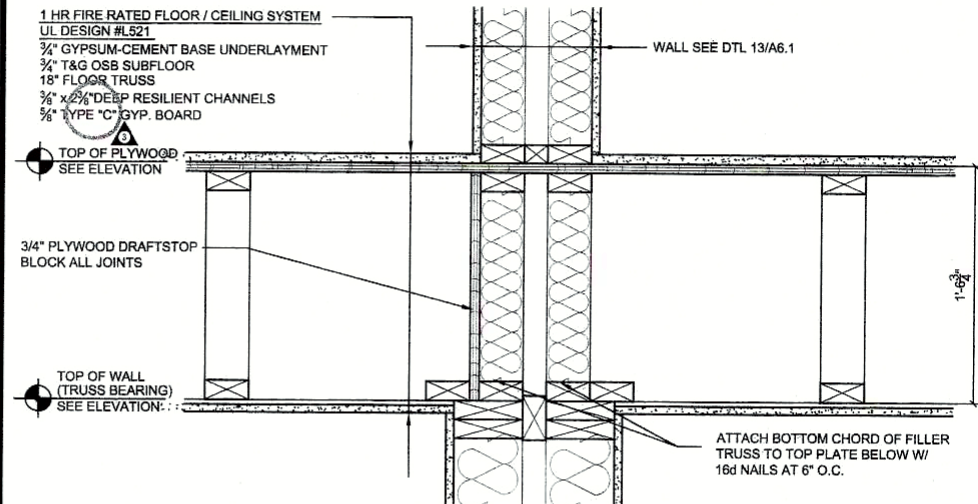
MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTERVALE SUITE 2405 ATLANTA, GA 30305 TEL 404/884-1680 FAX 404/884-1695

DETAILS

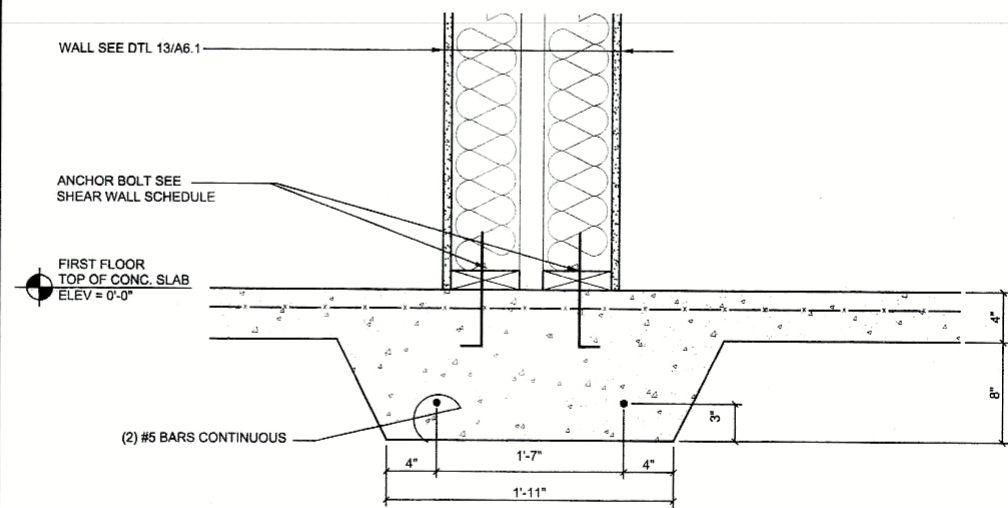
**A6.1**



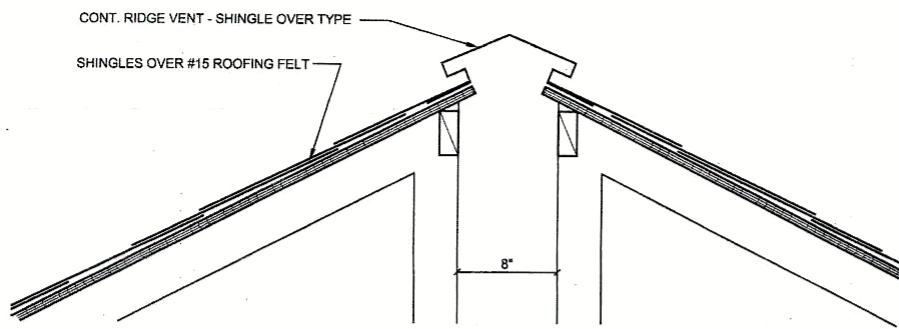
**1 | TENANT SEPARATION WALL AT CEILING**  
1-1/2" = 1'-0"



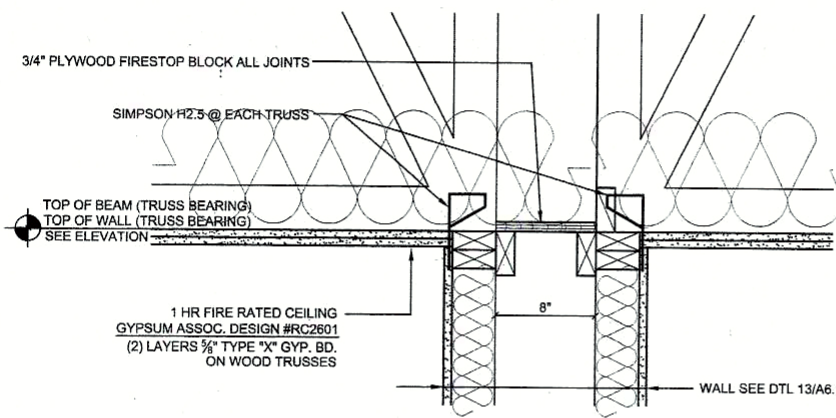
**4 | TENANT SEPARATION WALL AT FLOOR**  
1-1/2" = 1'-0"



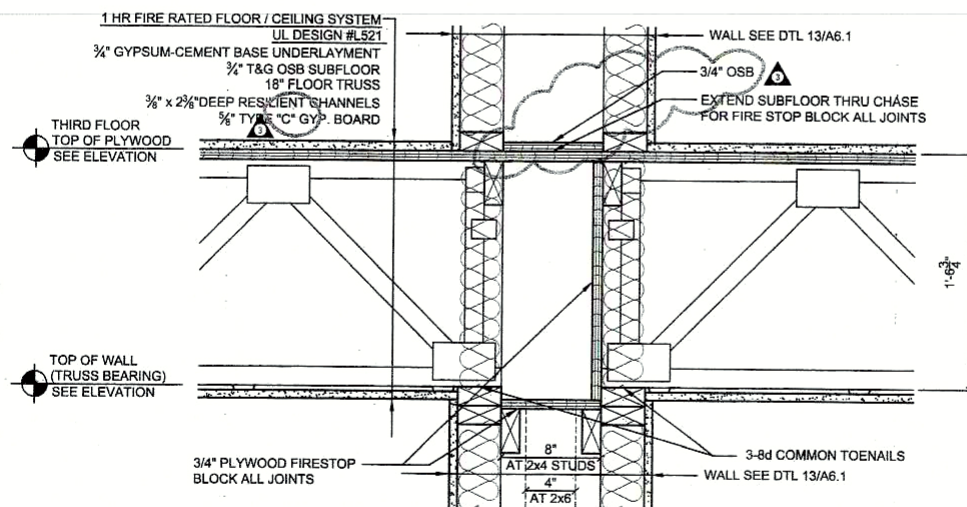
**7 | TENANT SEPARATION WALL AT FOUNDATION**  
1-1/2" = 1'-0"



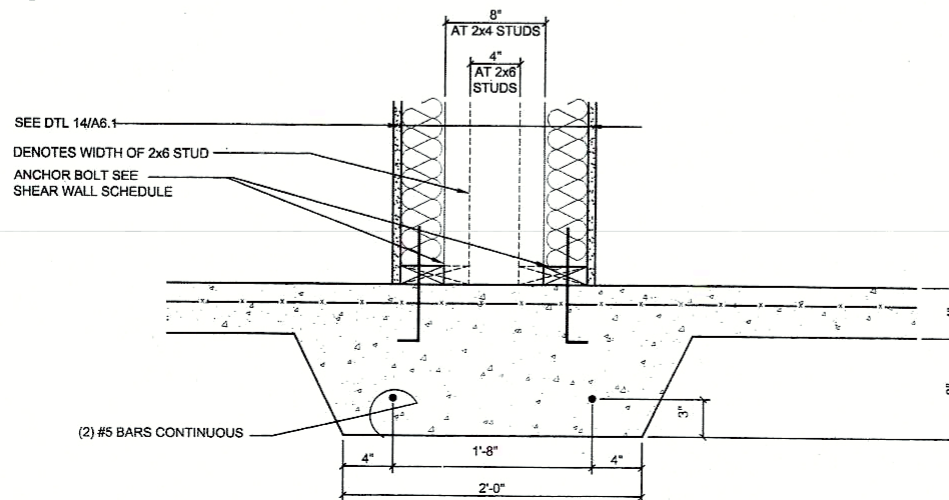
**2 | RIDGE VENT DETAIL**  
1-1/2" = 1'-0"



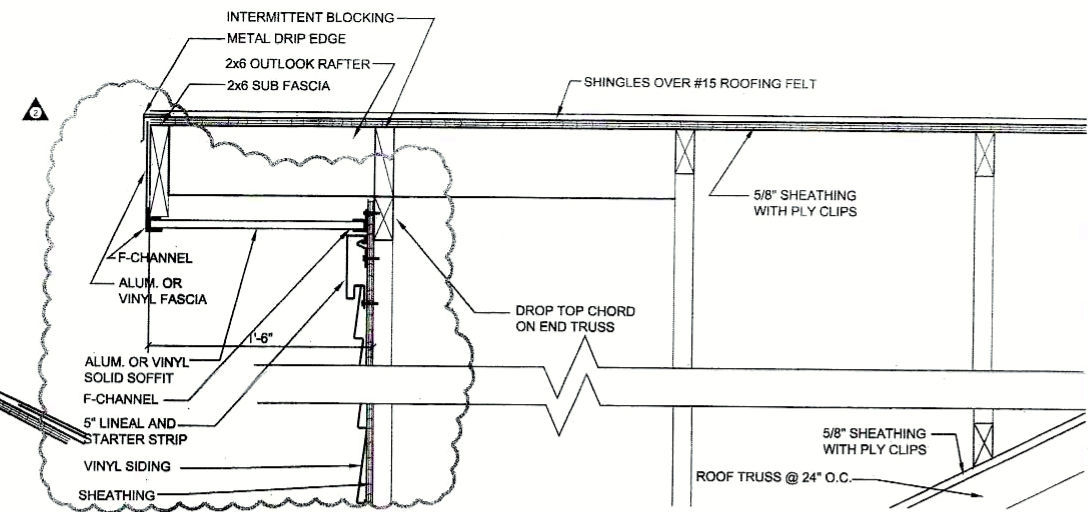
**5 | TENANT SEPARATION/CHASE WALL @ CEILING**  
1-1/2" = 1'-0"



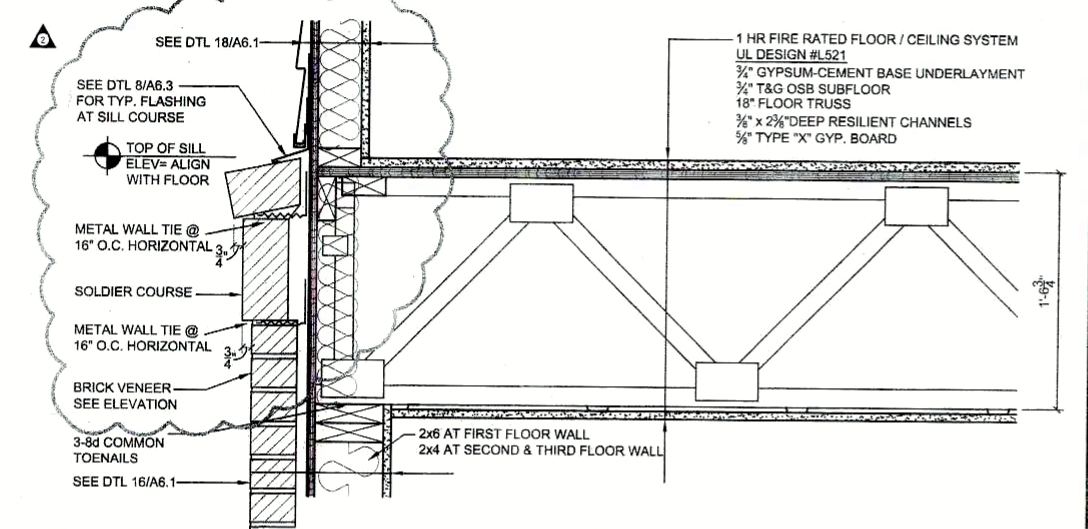
**8 | TENANT SEPARATION/CHASE WALL @ UPPER FLOOR**  
1-1/2" = 1'-0"



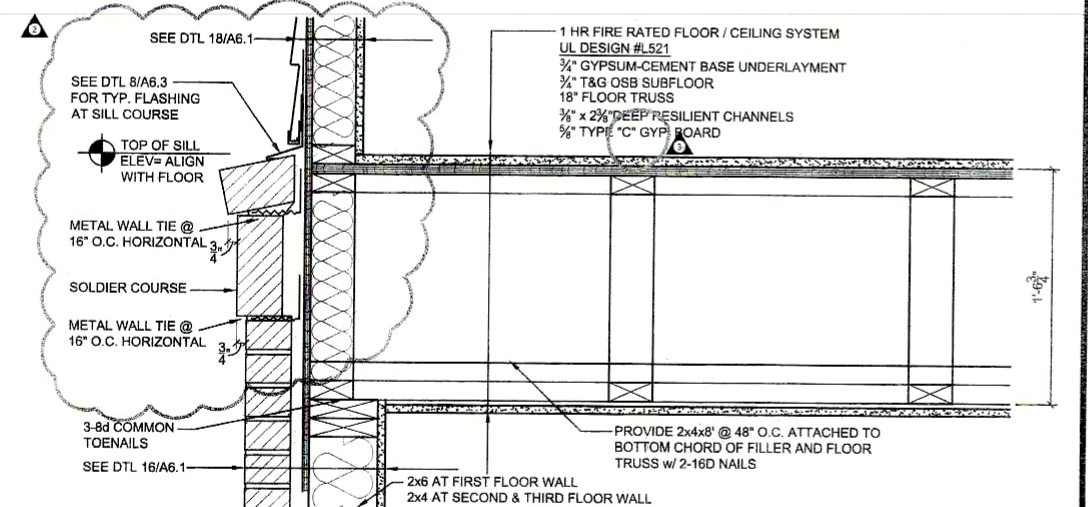
**11 | TENANT SEPARATION / CHASE WALL AT FOUNDATION**  
1-1/2" = 1'-0"



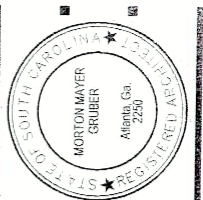
**3 | ROOF RAFTER DETAIL**  
1-1/2" = 1'-0"



**6 | EXTERIOR WALL (PERPENDICULAR TO TRUSSES)**  
SCALE: 1-1/2" = 1'-0"



**9 | EXTERIOR WALL (PARALLEL WITH TRUSSES)**  
1-1/2" = 1'-0"



DATE: 10/19/04  
REVISION: 12/02/05

*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445, ATLANTA, GA 30303 TEL: 404.884.1888 FAX: 404.884.1885

DETAILS

**A6.2**

1 | NOT USED

2 | NOT USED

3 | NOT USED

4 | BREEZEWAY LEDGER FLSH'G SCALE 1 1/2" = 1'-0"

5 | NOT USED

6 | NOT USED

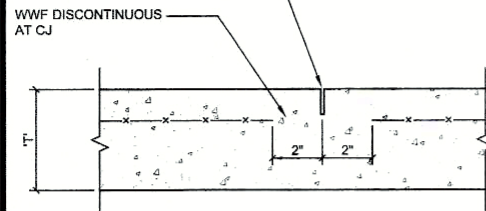
7 | NOT USED

8 | ROWLOCK SILL SCALE 3" = 1'-0"

9 | SHEATHING JOINT SCALE 1 1/2" = 1'-0"

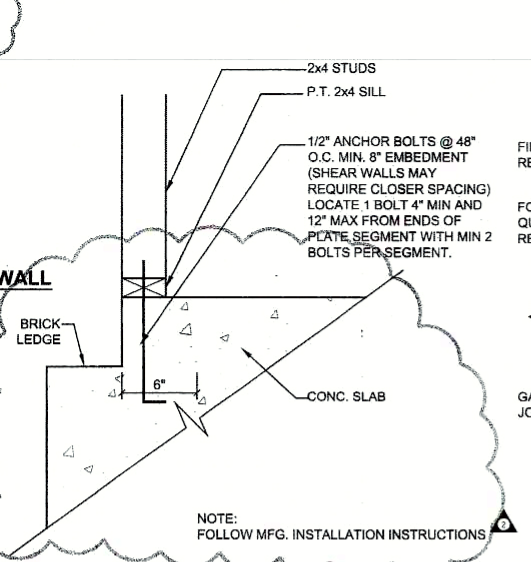
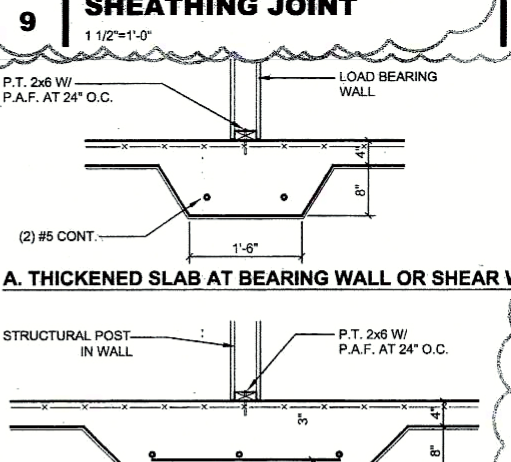
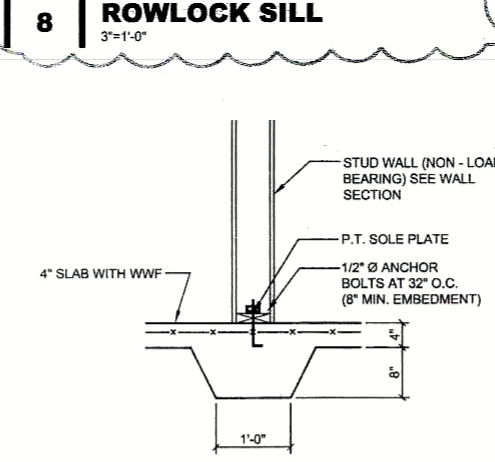
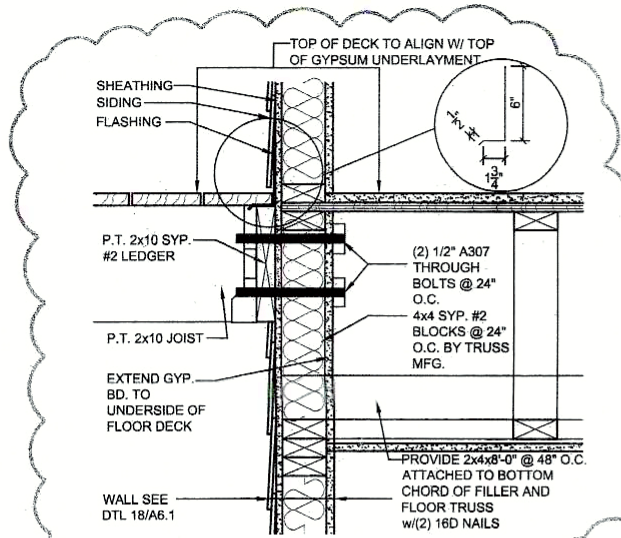
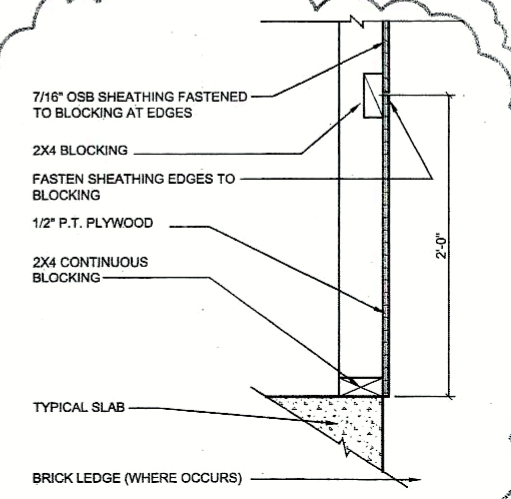
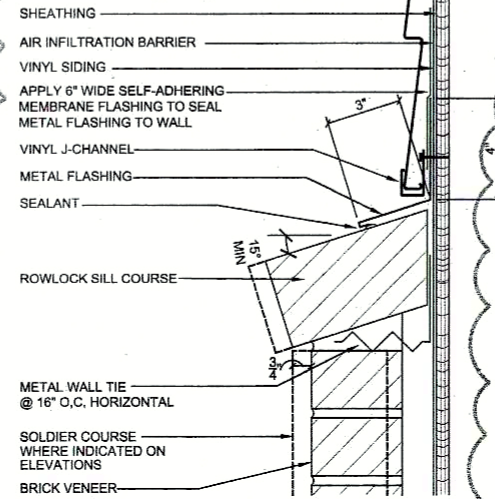
12 | NOT USED

T/4x1/8" SAWCUT JOINT. SAW AS SOON AS POSSIBLE; WITHIN 24 HOURS AFTER POUR. A "KEYED-KOLD" JOINT MAY BE SUBSTITUTED FOR SAWING



PLACEMENT NOTES:

- 1. MAX. AREA BOUNDED BY JOINTS = 400 S.F.
2. MAX. UNEQUAL SIDE DIMENSION = 1-1/2 : 1
3. PROVIDE (2) #4x4'-0", 4" O.C. IMMEDIATELY BELOW WWF, 2" CLR. FROM RE-ENTRANT CORNERS, CENTERED.



13 | CONTROL JOINT (CJ) SCALE 1 1/2" = 1'-0"

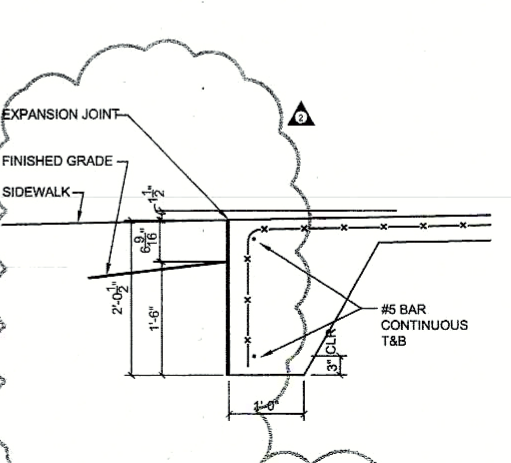
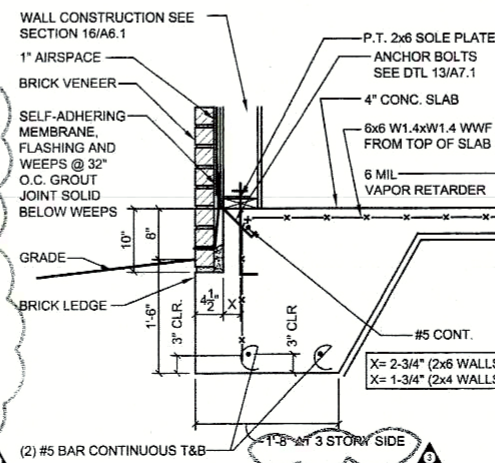
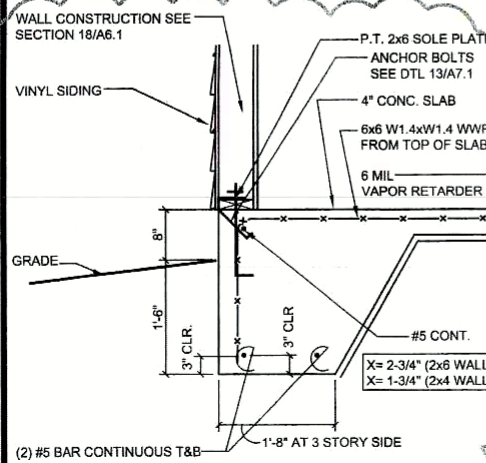
14 | THICKENED SLAB AT NON-BEARING SHEARWALL SCALE 3/4" = 1'-0"

15 | INTERIOR FOOTINGS SCALE 3/4" = 1'-0"

16 | TYP. SILL ANCHOR SCALE 1-1/2" = 1'-0"

17 | KEYED JOINT (KJ) SCALE 3" = 1'-0"

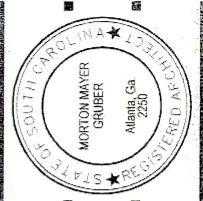
18 | NOT USED



19 | TURN DOWN SLAB & TYPICAL SILL BOLT SCALE: 3/4" = 1'-0"

20 | TURN DOWN AT BRICK & TYPICAL SILL BOLT SCALE: 3/4" = 1'-0"

21 | TURN DOWN AT BZWy SCALE: 3/4" = 1'-0"



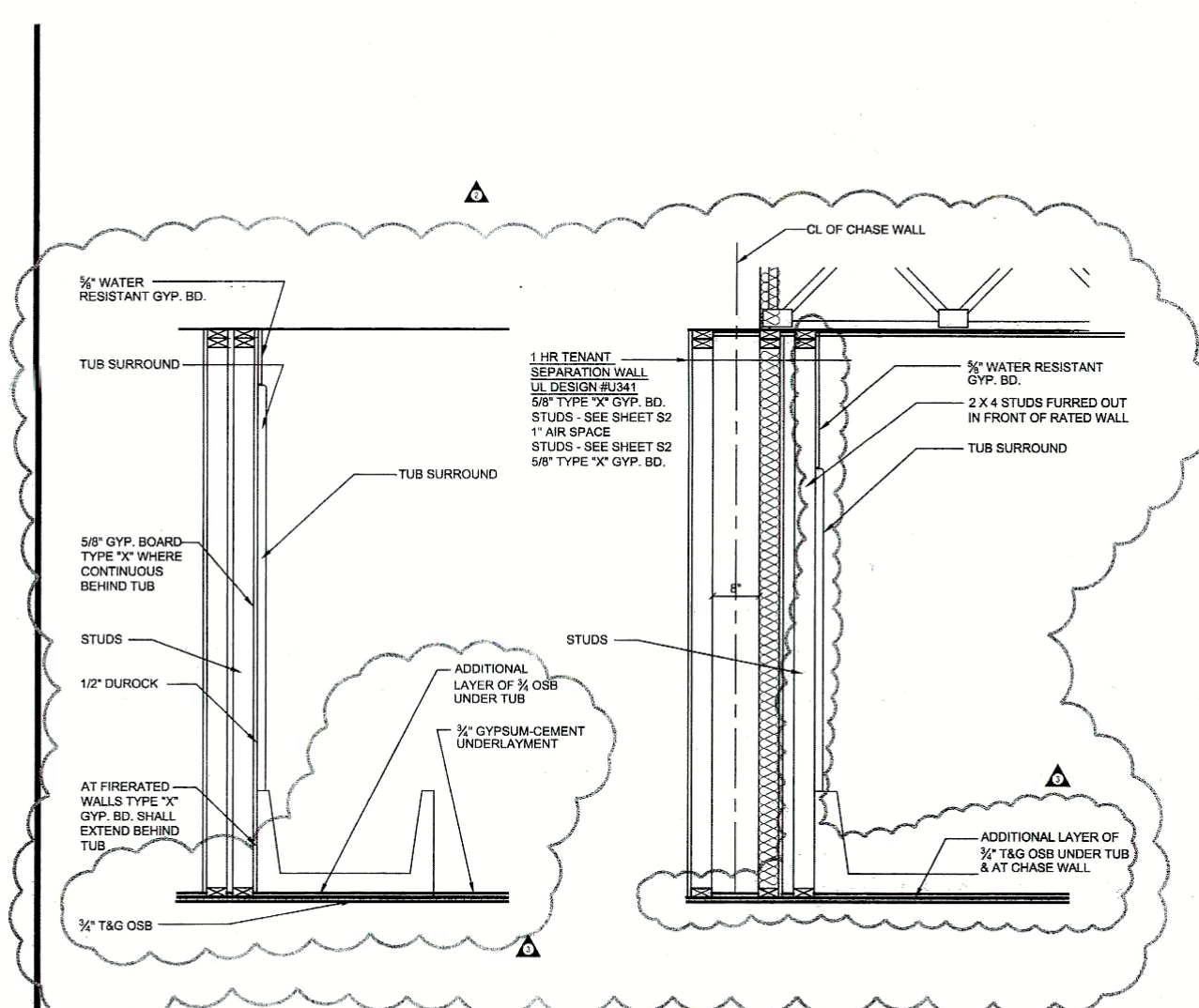
DATE 10/19/04
REVISION 11/17/04
12/02/05
01/11/06

Wyndham Pointe
Apartment Homes
80 Brighton Hill Road
Richland County, South Carolina

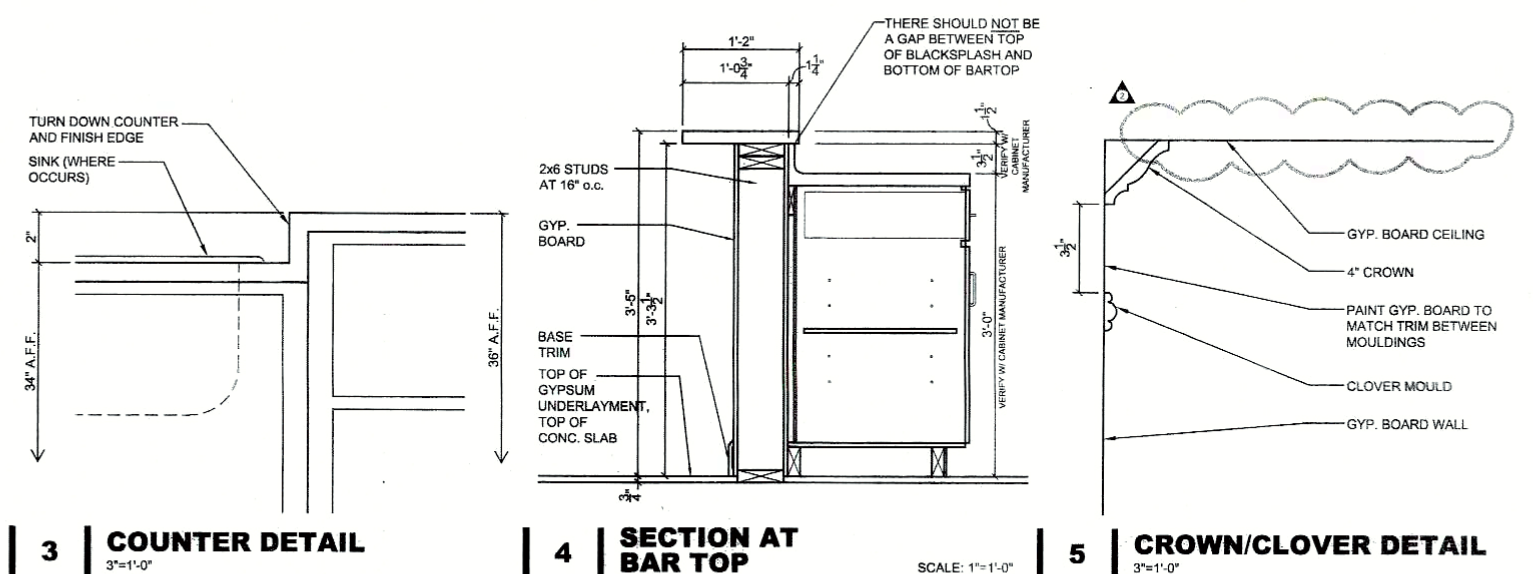
MORTON M. GRUBER, AIA, ARCHITECT
245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/594-1800 FAX: 404/594-1895

DETAILS

A6.3

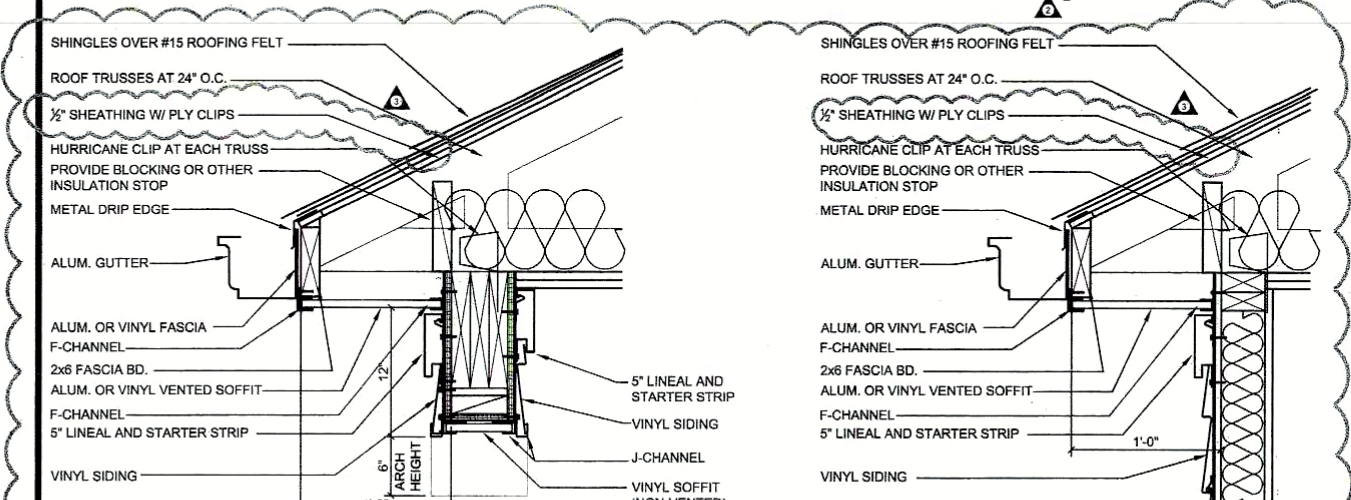


**1 | BATHTUB @ RATED WALL** SCALE: 3/4"=1'-0"  
**2 | BATHTUB AT RATED WALL** SCALE: 3/4"=1'-0"

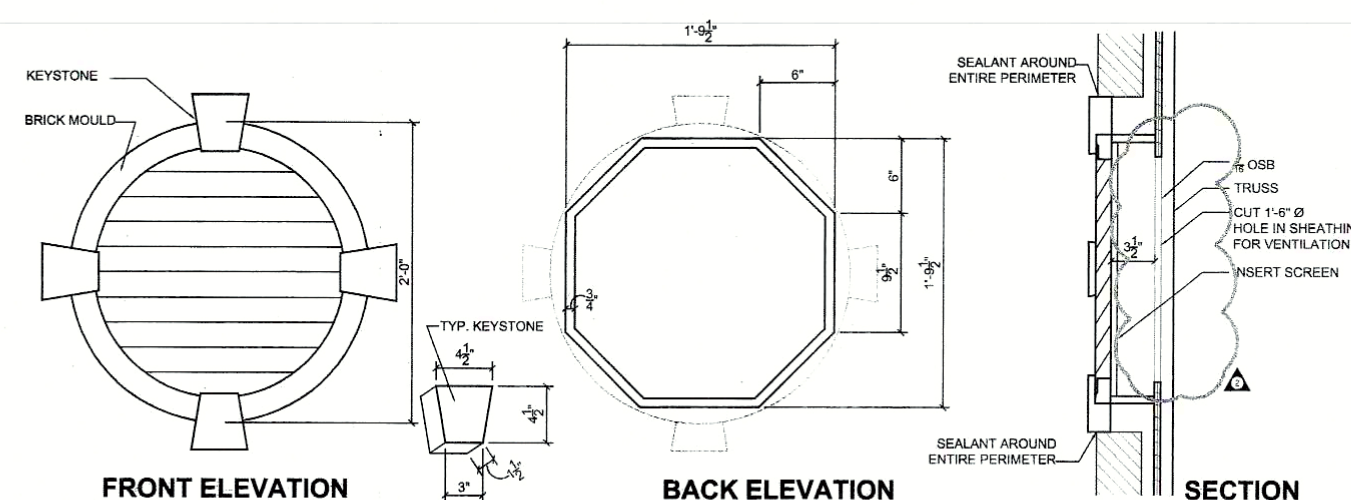


**3 | COUNTER DETAIL** SCALE: 3/4"=1'-0"  
**4 | SECTION AT BAR TOP** SCALE: 1"=1'-0"  
**5 | CROWN/CLOVER DETAIL** SCALE: 3/4"=1'-0"

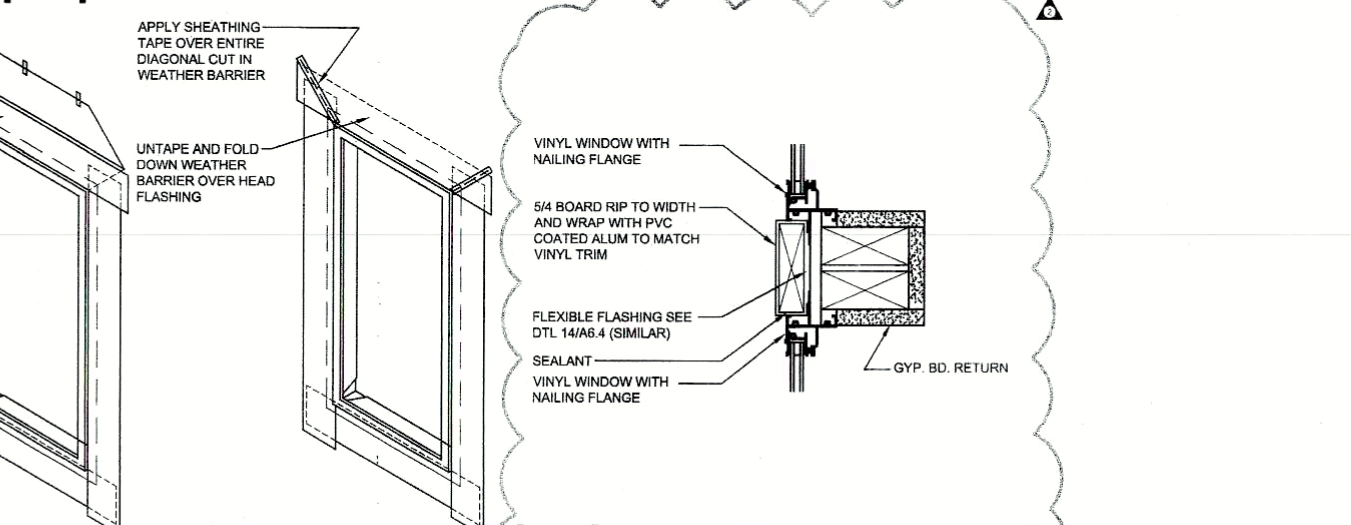
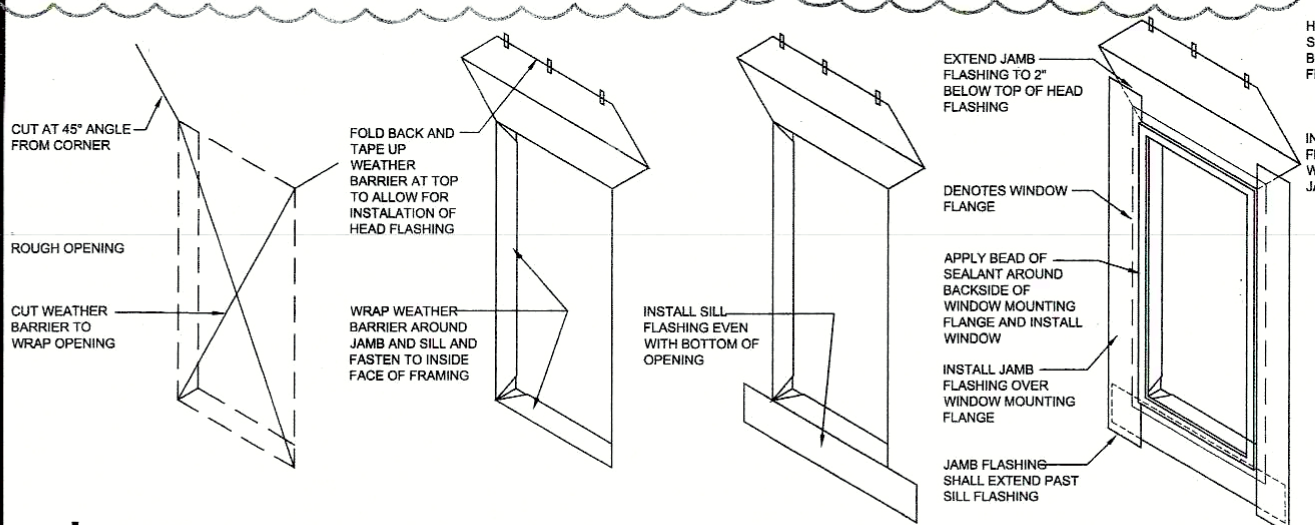
DETAILS 6-10 NOT USED



**11 | SOFFIT AT BREEZEWAY** SCALE: 1 1/2"=1'-0"  
**12 | SOFFIT** SCALE: 3/4"=1'-0"



**13 | LOUVERED GABLE VENT** SCALE: 1-1/2"=1'-0"  
**14 | WINDOW AND FLEXIBLE FLASHING INSTALLATION** SCALE: 1/2"=1'-0"



**15 | HEAD DETAIL @ SIDING** SCALE: 3/4"=1'-0"

**Wyndham Pointe**  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

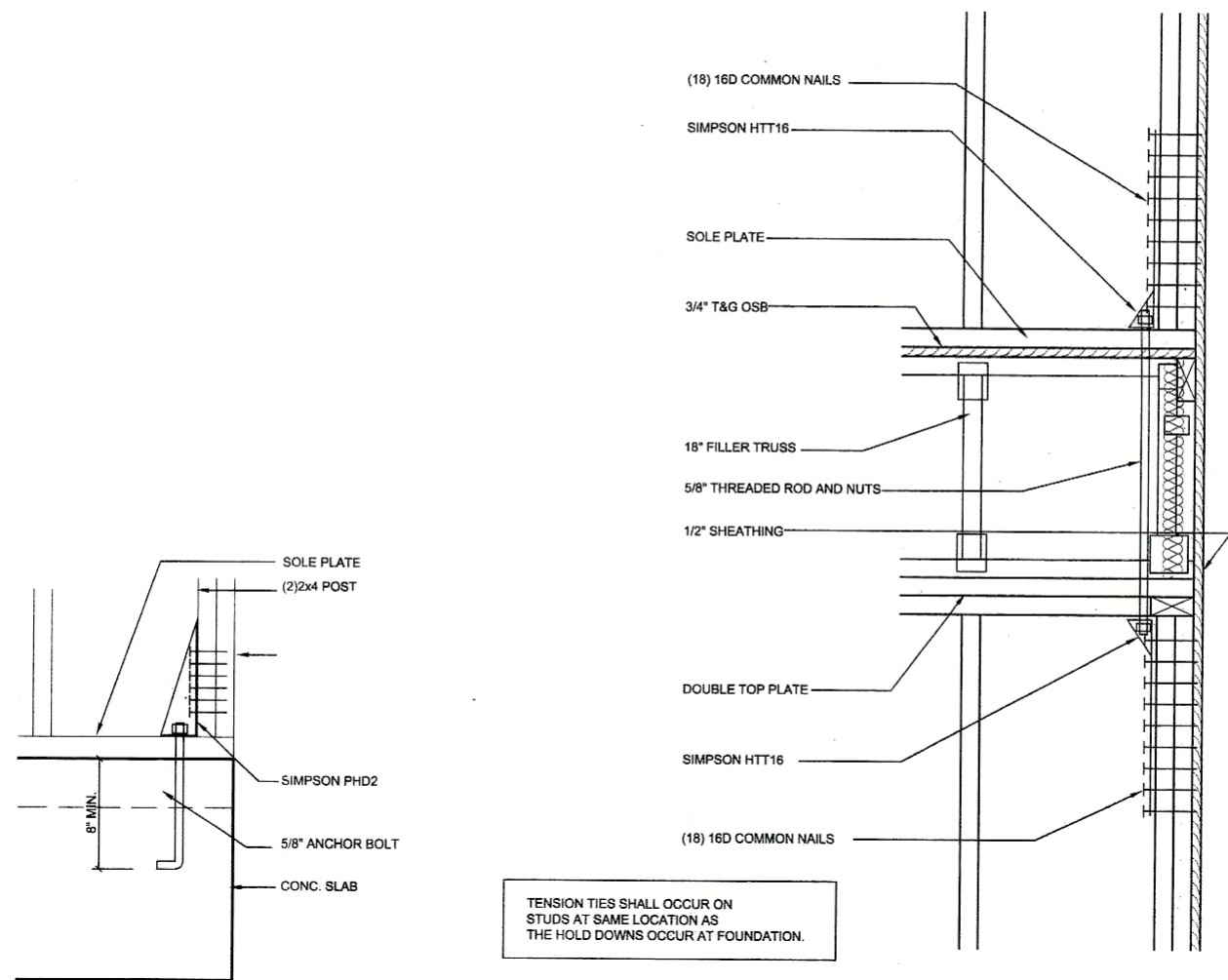
**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL. 404.964.1690 FAX 404.964.1696

DATE: 10/19/04  
 REVISION: 12/02/05  
 01/11/06

**A6.4**







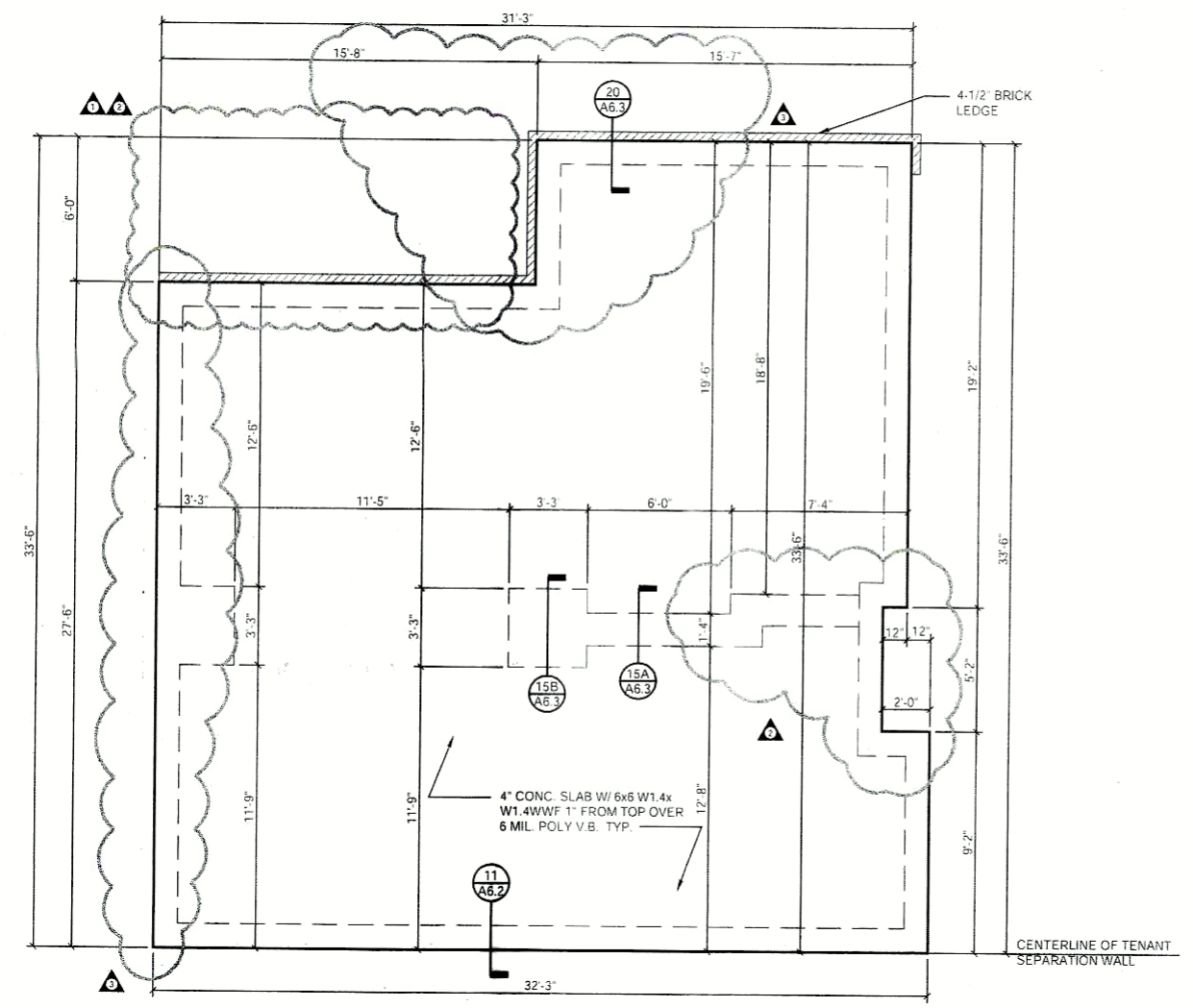
**1 | SHEAR WALL ANCHOR**

SCALE: 1 1/2"=1'-0"

**2 | TENSION TIES BETWEEN FLOORS**

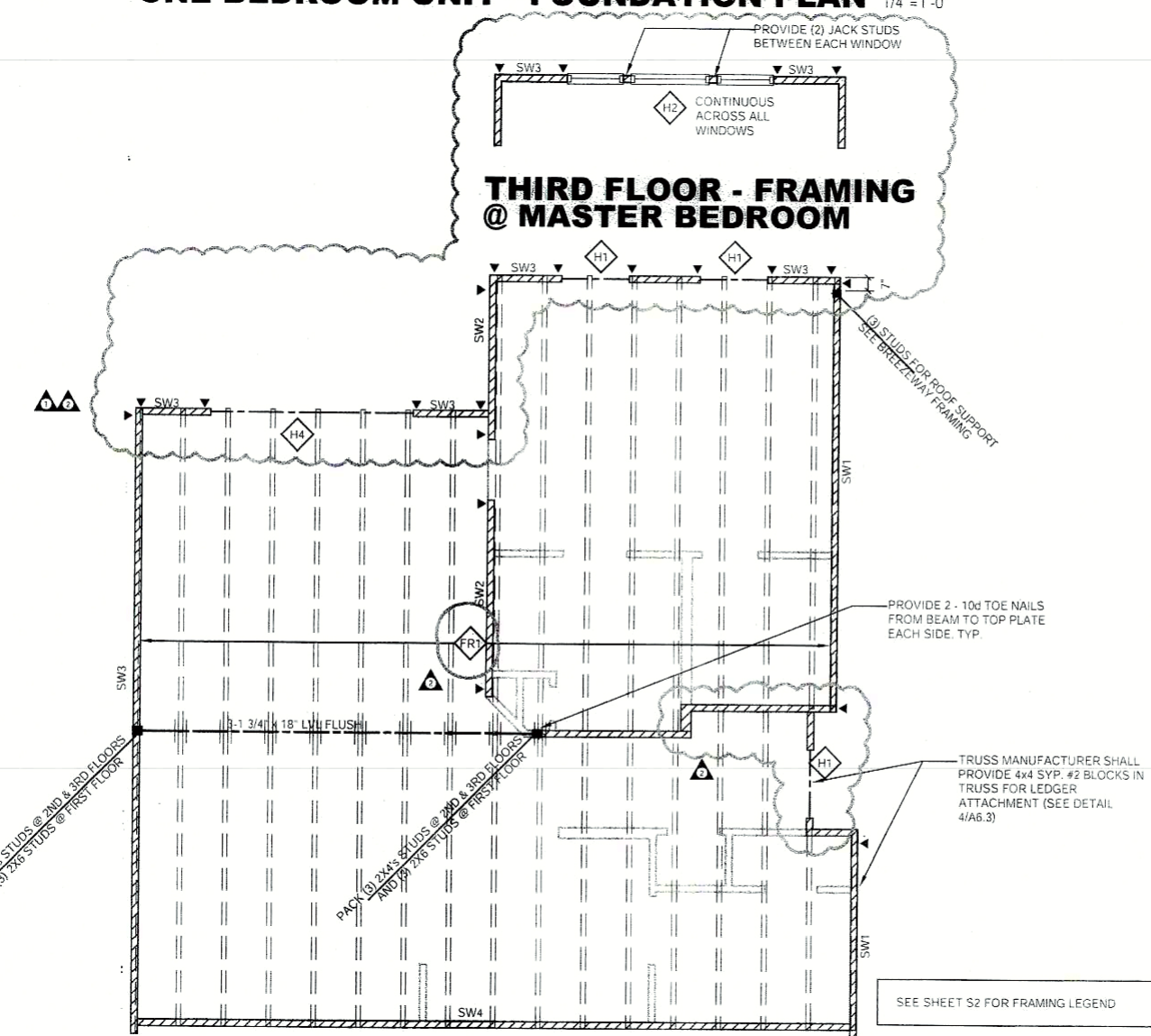
1 1/2"=1'-0"

TENSION TIES SHALL OCCUR ON STUDS AT SAME LOCATION AS THE HOLD DOWNS OCCUR AT FOUNDATION.



**ONE BEDROOM UNIT - FOUNDATION PLAN**

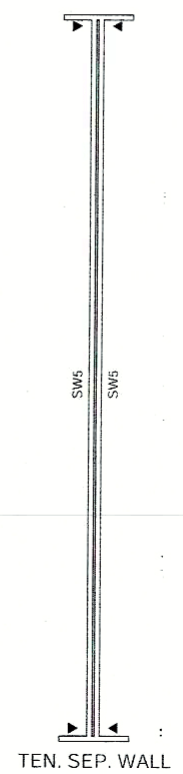
1/4"=1'-0"



**THIRD FLOOR - FRAMING @ MASTER BEDROOM**

**ONE BEDROOM UNIT - FRAMING PLAN**

1/4"=1'-0"

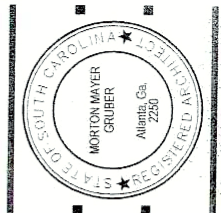


NOTE: SEE S-01 FOR SHEAR WALL NOTES

- ▼ SIMPSON PHD2 HOLD-DOWN LOCATIONS USE 5/8" Ø ANCHOR BOLTS w/ 8" MIN EMBEDMENT. (SEE DTL 1/151.1) STRAP BETWEEN FLOORS w/ SIMPSON HTT16 AT STUDS ABOVE AND BELOW FLOOR w/ 5/8" THREADED ROD (SEE DTL 2/151.1)

HURRI-BOLT HOLD DOWN SYSTEM MAY BE USED IN LIEU OF SIMPSON HOLD DOWNS (SUBMIT SHOP DRAWINGS FOR REVIEW)

NOTE: H1, H1, & H2 ARE TO BE USED FOR ALL LEVELS (INCLUDING UPPER LEVEL THAT SUPPORTS ROOF)



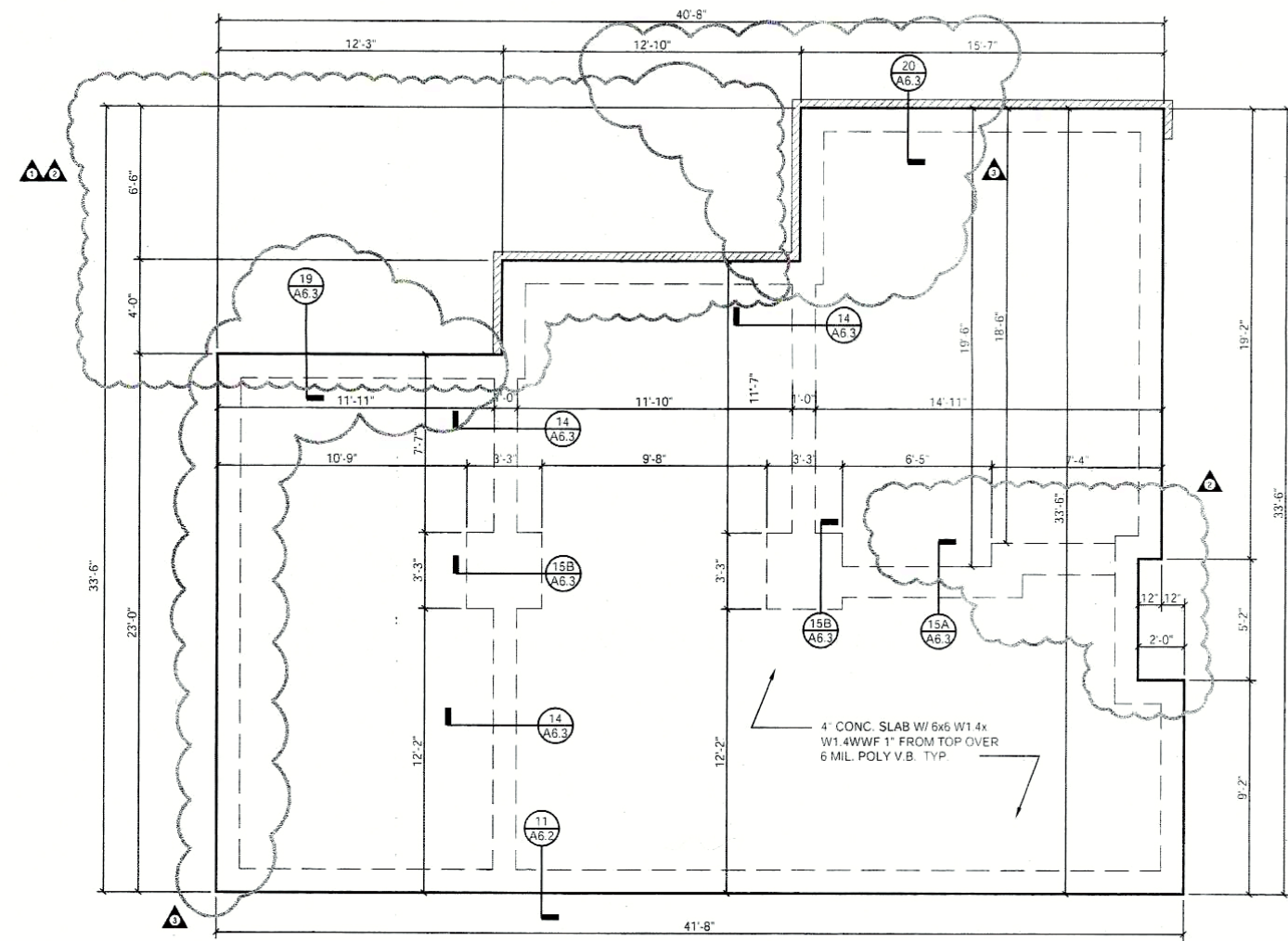
DATE	REVISION
10/19/04	11/17/04
	12/02/05
	01/11/06

**Wyndham Pointe**  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/884-1880 FAX: 404/884-1885

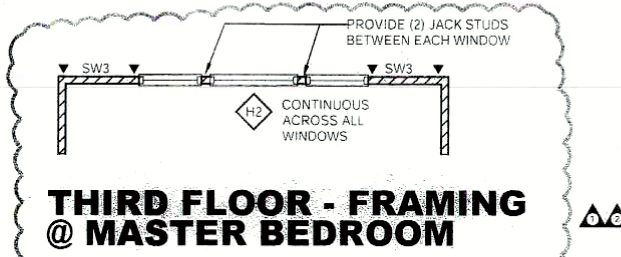
ONE BEDROOM UNIT  
 FOUNDATION PLAN  
 FRAMING PLAN

**S1.1**



**TWO BEDROOM FOUNDATION PLAN**

1/4" = 1'-0"



**THIRD FLOOR - FRAMING @ MASTER BEDROOM**

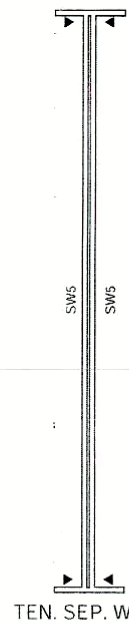
NOTE: SEE S-01 FOR SHEAR WALL NOTES

- SIMPSON PHD2 HOLD-DOWN LOCATIONS USE 5/8" Ø ANCHOR BOLTS w/ 8" MIN. EMBEDMENT. (SEE DTL 1/S1.1)
- STRAP BETWEEN FLOORS w/ SIMPSON HTT16 AT STUDS ABOVE AND BELOW FLOOR w/ 5/8" THREADED ROD (SEE DTL 2/S1.1)

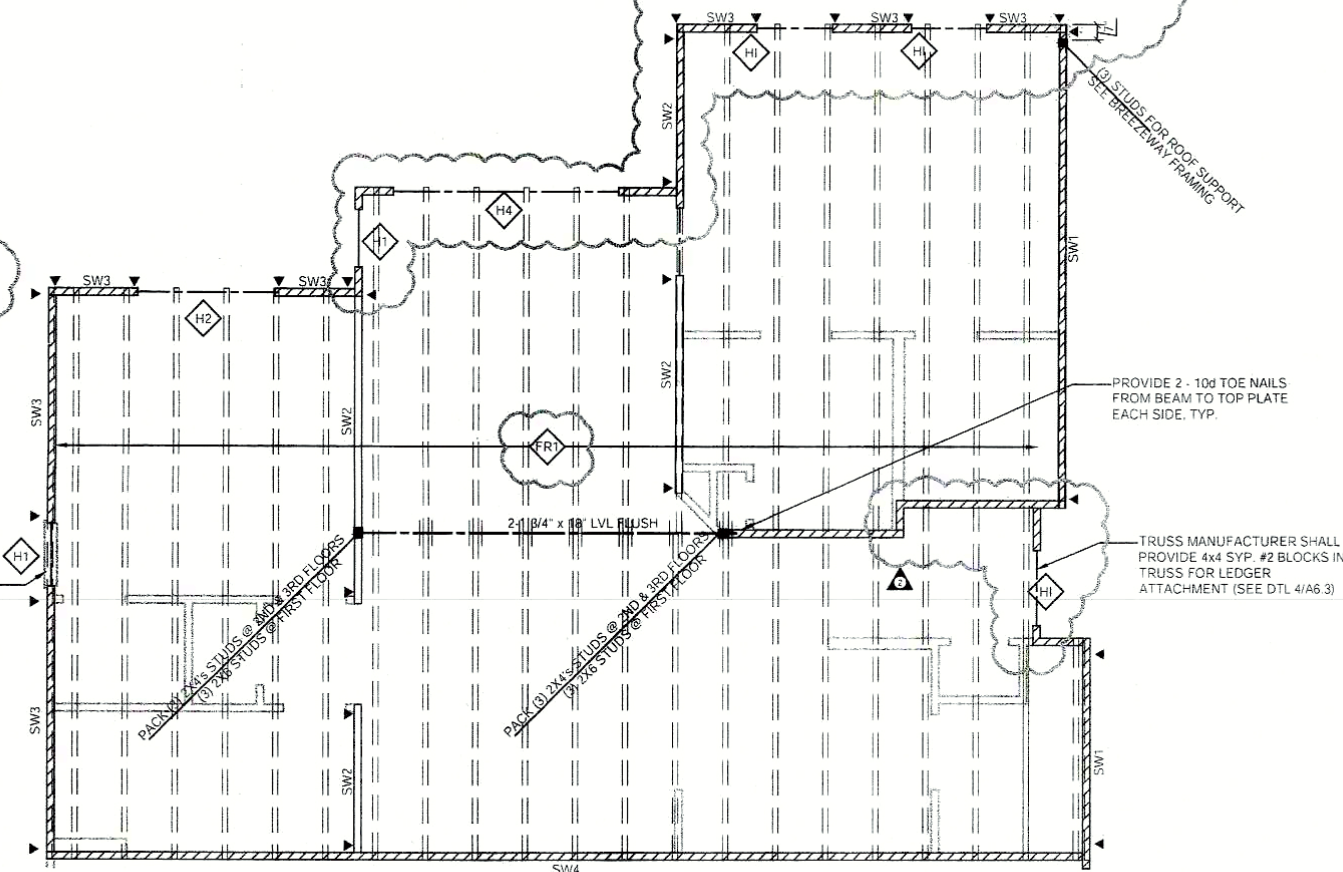
HURRI-BOLT HOLD DOWN SYSTEM MAY BE USED IN LIEU OF SIMPSON HOLD DOWNS (SUBMIT SHOP DRAWINGS FOR REVIEW)

NOTE: H1, H1, & H2 ARE TO BE USED FOR ALL LEVELS (INCLUDING UPPER LEVEL THAT SUPPORTS ROOF)

SEE BUILDING ELEVATION FOR WHERE WINDOW OCCURS



TEN. SEP. WALL



**TWO BEDROOM UNIT - FRAMING PLAN**

1/4" = 1'-0"

SEE SHEET S2 FOR FRAMING LEGEND



DATE	REVISION
10-19-04	11-17-04
	12-02-05
	01-11-05

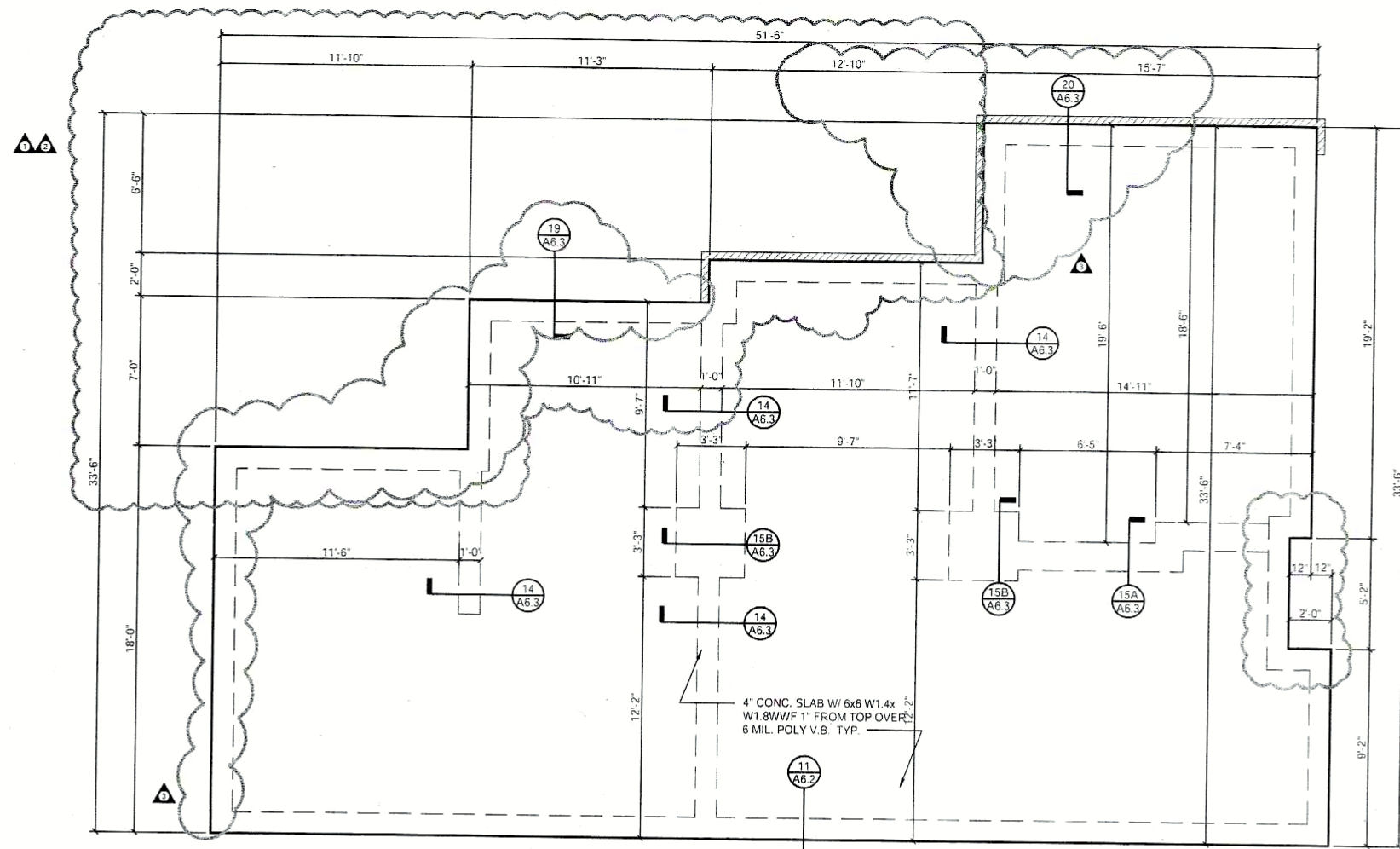
*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 245 ATLANTA, GA 30303 TEL: 404.584.1880 FAX: 404.584.1885

TWO BEDROOM UNIT  
 FOUNDATION PLAN  
 FRAMING PLAN

**S1.2**

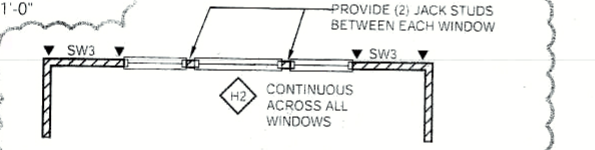




**THREE BEDROOM FOUNDATION PLAN**

1/4"=1'-0"

**THIRD FLOOR - FRAMING @ MASTER BEDROOM**



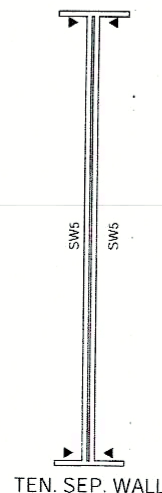
NOTE: SEE S-01 FOR SHEAR WALL NOTES

▼ SIMPSON PHD2 HOLD-DOWN LOCATIONS USE 5/8" Ø ANCHOR BOLTS w/ 8" MIN. EMBEDMENT. (SEE DTL 1/S1.1)  
 STRAP BETWEEN FLOORS w/ SIMPSON HTT16 AT STUDS ABOVE AND BELOW FLOOR w/ 5/8" THREADED ROD (SEE DTL 2/S1.1)

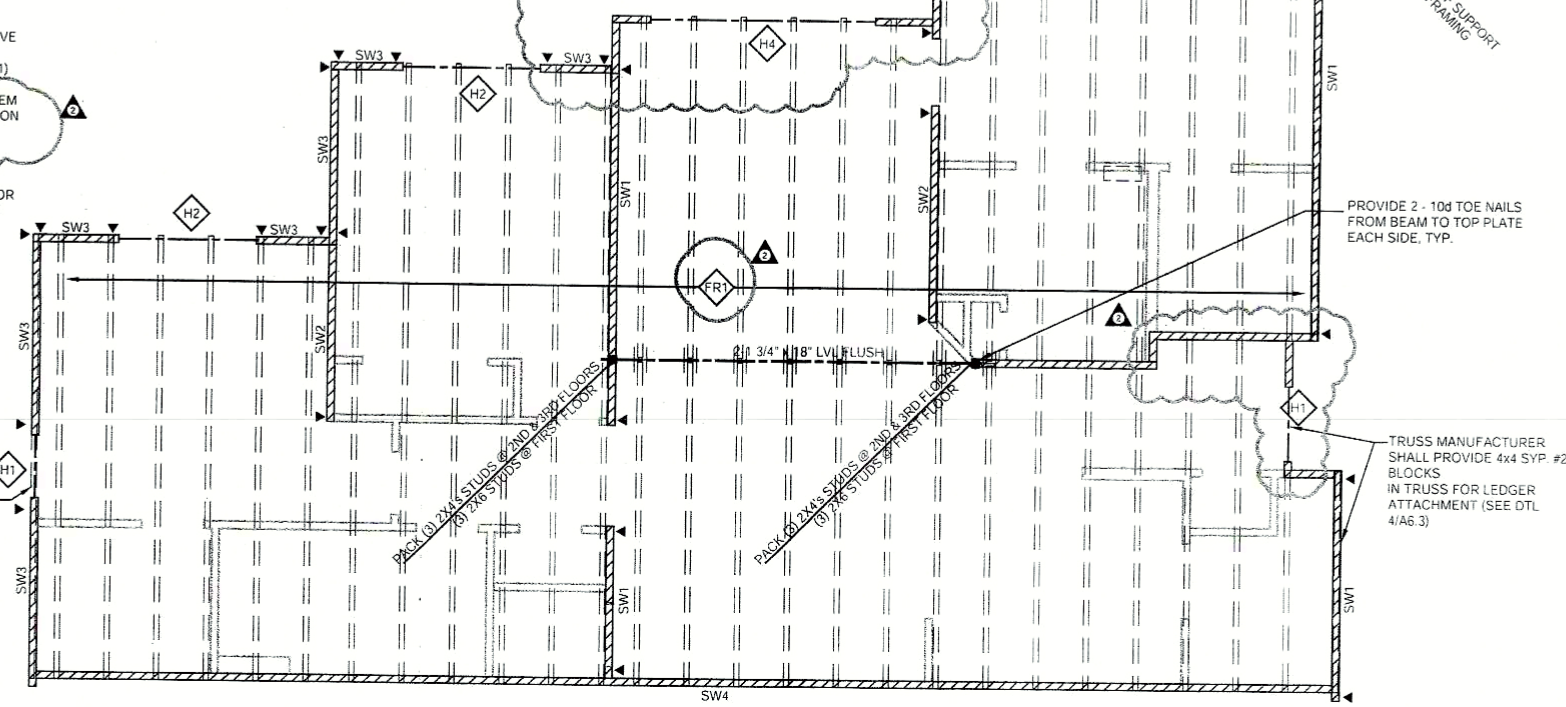
HURRI-BOLT HOLD DOWN SYSTEM MAY BE USED IN LIEU OF SIMPSON HOLD DOWNS (SUBMIT SHOP DRAWINGS FOR REVIEW)

NOTE: H1, H2 & H3 ARE TO BE USED FOR ALL LEVELS (INCLUDING UPPER LEVEL THAT SUPPORTS ROOF)

SEE BUILDING ELEVATION FOR WHERE WINDOW OCCURS



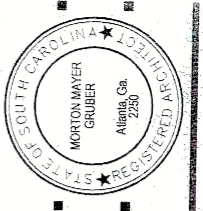
TEN. SEP. WALL



**THREE BEDROOM UNIT - FRAMING PLAN**

1/4"=1'-0"

SEE SHEET S2 FOR FRAMING LEGEND



DATE  
10-19-04

REVISION  
A 11-17-04  
B 12-02-05  
C 01-11-06

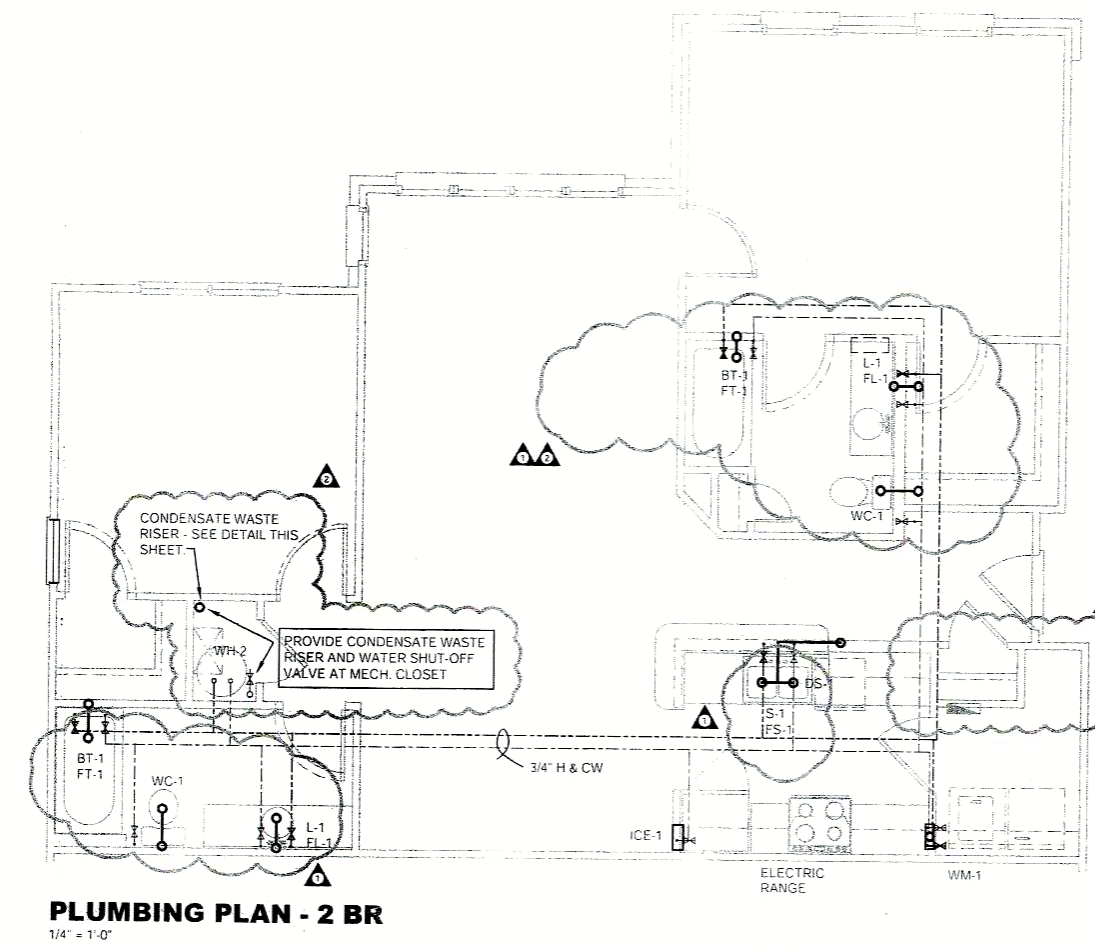
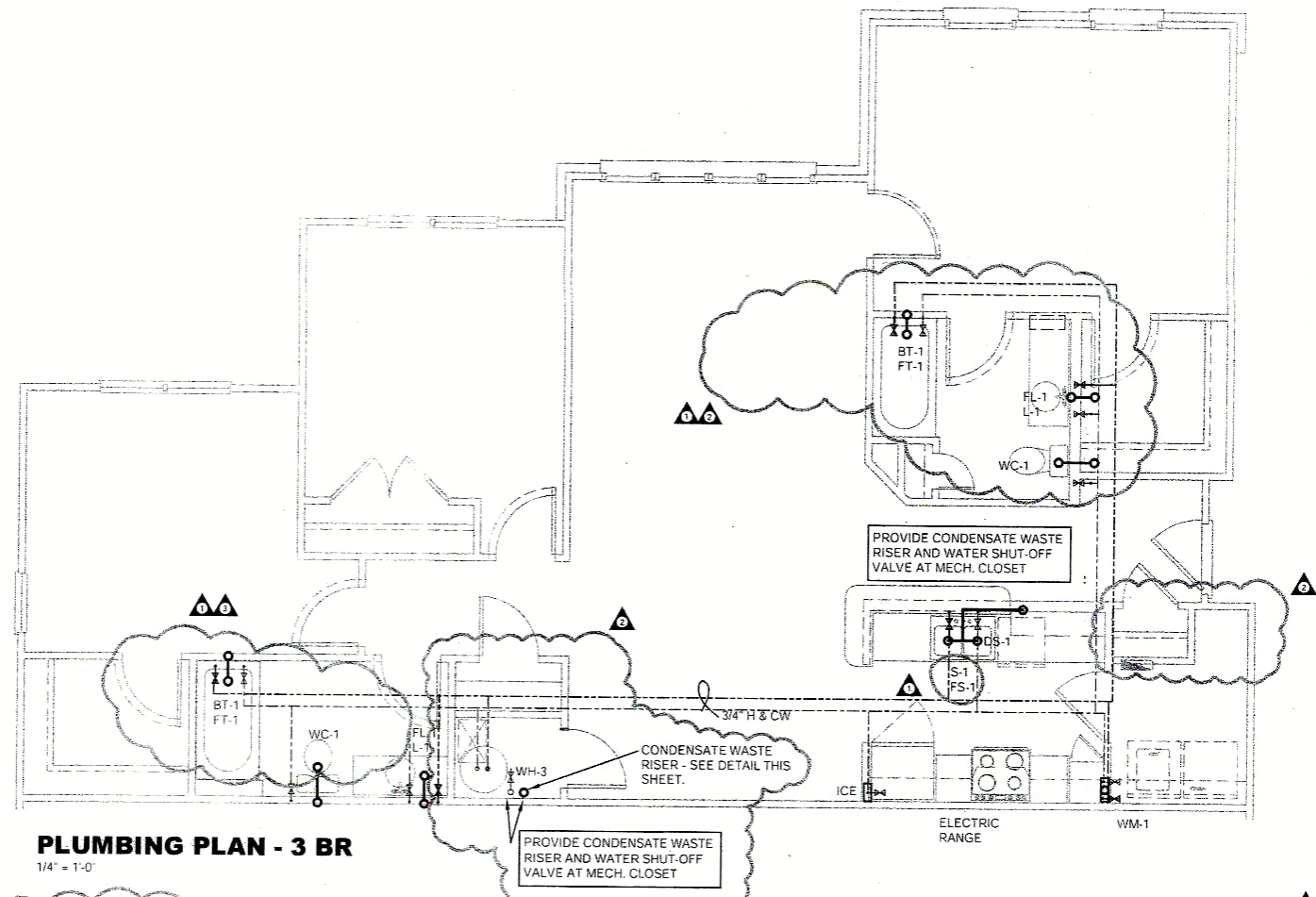
*Wyndham Pointe*  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL. 404/584-1800 FAX 404/584-1895

THREE BEDROOM UNIT  
 FOUNDATION PLAN  
 FRAMING PLAN

**S1.3**





**PLUMBING SCHEDULE**

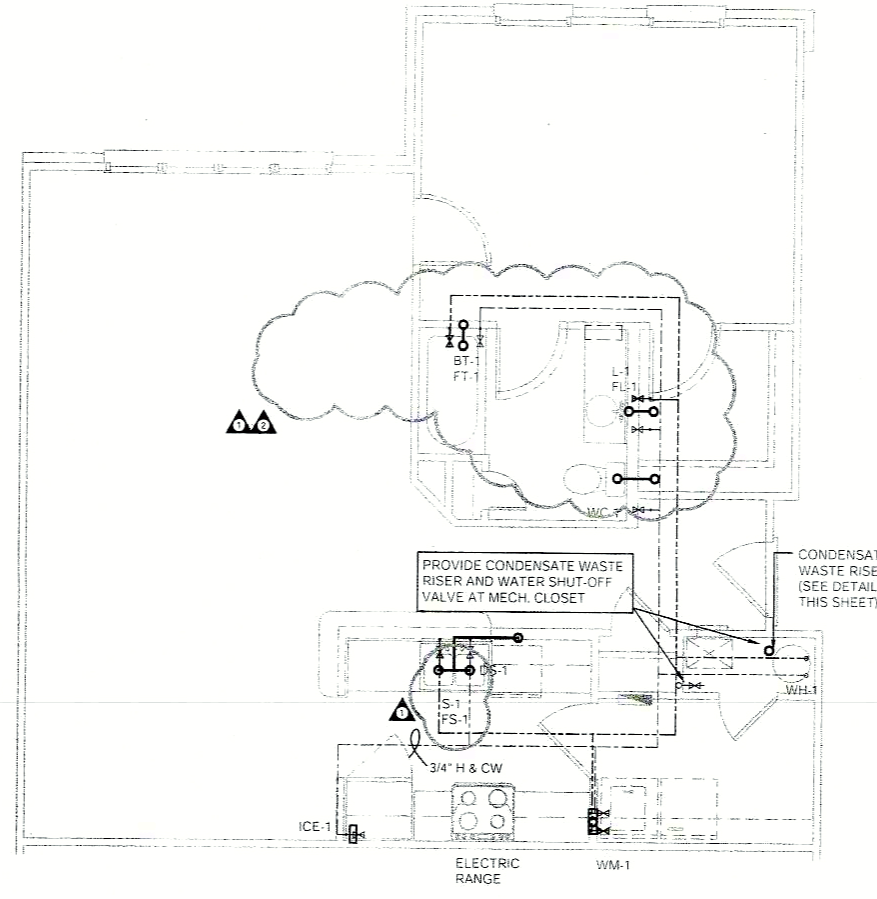
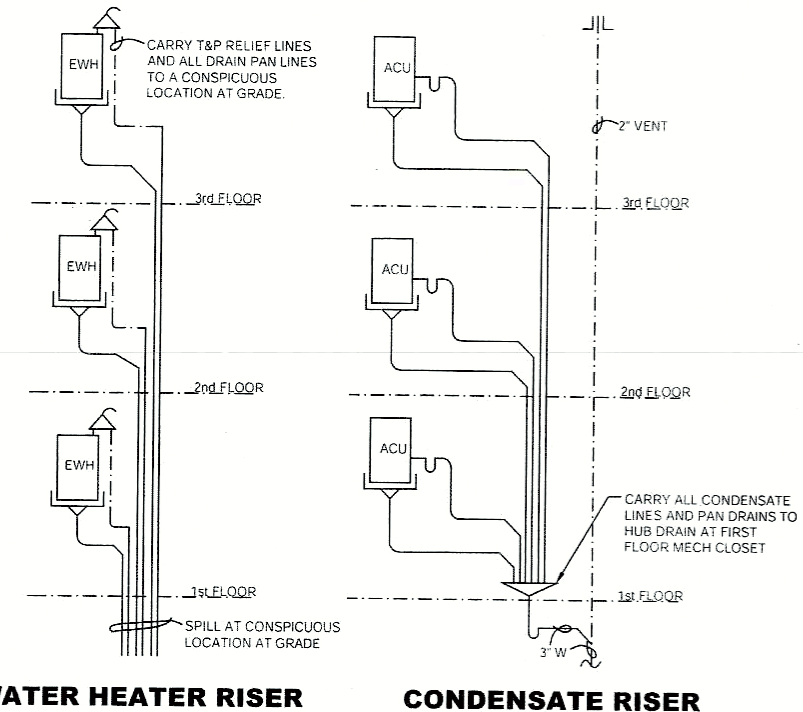
MARK	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	FINISH/COLOR	WASTE CONNECTION	HOT WATER SUPPLY	COLD WATER SUPPLY	REMARKS
BT-1	BATHTUB	CRANE	2176X	WHITE	1-1/2"			SEE NOTE 2
NOT USED								
DS-1	DISPOSAL	GE	GFCS20P	N/A	1-1/2"			
FL-1	BATHROOM FAUCET	DELTA	2520	CHROME		1/2"	1/2"	
FS-1	KITCHEN FAUCET	DELTA	150-WF	CHROME		1/2"	1/2"	
BT-1	BATHTUB FAUCET	DELTA	1448-LHP H74 A74	CHROME		1/2"	1/2"	
ICE-1	ICEMAKER BOX	IPS WATERTITE	WC9701	CHROME			1/2"	
L-1	LAVATORY	CRANE	1315V	WHITE	1-1/4"			
S-1	KITCHEN SINK	STERLING	PRO33226-3S	STAINLESS	1-1/2"			
WC-1	TOILET	MANSFIELD	135-180	WHITE	4"		1/2"	
WH-1	WATER HEATER 40 GALLON	STATE	ES6 40 DORT			3/4"	3/4"	
WH-2	WATER HEATER 40 GALLON - LOWBOY	STATE	ES6 40 DORS			3/4"	3/4"	PROVIDE TALL MODEL AT ACCESSIBLE UNIT
WH-3	WATER HEATER 50 GALLON	STATE	ES6 50 DORS			3/4"	3/4"	PROVIDE TALL MODEL AT ACCESSIBLE UNIT
WM-1	WASHING MACHINE PGV.	IPS WATERTITE	W2701	WHITE	2"	1/2"	1/2"	

NOTES:  
 1. ALTERNATE FIXTURES EQUIVALENT TO THOSE SPECIFIED MAY BE USED. PROVIDE SUBMITTAL TO ARCHITECT FOR APPROVAL.  
 2. PROVIDE SINGLE PIECE FIBERGLASS TUB SURROUND. ALL TUB SURROUNDS AT ACCESSIBLE AND GROUND FLOOR UNITS SHALL BE FACTORY REINFORCED FOR GRAB BARS.

**PLUMBING NOTES**

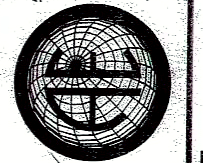
- COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND CAST OR WROUGHT FITTINGS. JOINTS SHALL BE MADE W/ LEAD FREE SOLDER. J.W. HARRIS "BRIDGIT" OR EQUAL. COLD WATER PIPING BELOW GRADE SHALL BE TYPE K COPPER TUBING WITH CAST OR WROUGHT FITTINGS AND JOINTS SAME AS ABOVE GRADE. JOINTS SHALL NOT BE PERMITTED UNDER FLOOR SLABS. WATER PIPING BELOW GRADE THROUGH CONCRETE SHALL BE PROTECTED WITH PLASTIC SLEEVES.
- SANITARY WASTE AND VENT, PIPING ABOVE GROUND SHALL BE NO-HUB CAST-IRON WITH STAINLESS STEEL COUPLINGS, OR SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS IF APPROVED BY LOCAL CODE OFFICIAL. PVC PIPING SHALL NOT BE LOCATED IN RETURN AIR FLENUM SPACES.
- SANITARY WASTE PIPING BELOW GROUND SHALL BE CAST-IRON WITH PUSH-ON JOINTS, OR SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS.
- NOT USED.
- ALL COLD WATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH SELF-SEAL ARMAFLEX 2000 OR EQUAL 1/2" WALL THICKNESS. INSULATION SHALL BE WHITE IN COLOR AND SHALL FIT SNUGGLY AROUND PIPING.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE STANDARD PLUMBING CODE AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- ALL PIPING PENETRATING CEILINGS & WALLS SHALL BE INSTALLED WITH CHROME-PLATED ESCUTCHEONS AT THE PENETRATION. ALL PIPING PENETRATING EXTERIOR WALLS AND ROOFS SHALL BE FLASHED IN AN APPROVED MANNER & SHALL BE PROTECTED AS REQUIRED BY LOCAL CODE AUTHORITY.
- TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR.
- ROUTE RELIEF VALVE DISCHARGE FROM WATER HEATER TO NEAREST FLOOR DRAIN.
- ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED BY THE BUILDING STRUCTURE & SHALL NOT REST ON CEILING TILES OR STRUCTURE.
- SHOP DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY MECHANICAL EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE: ALL EQUIPMENT SCHEDULED ON THE DRAWINGS; PLUMBING FIXTURES & TRIM; WATER HEATERS & ACCESSORIES.

- CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN.
- WATER PIPING ROUTED ABOVE CEILINGS AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UNDERSIDE) OF CEILING INSULATION AND HEATED SIDE (INSIDE) OF WALL INSULATION. DO NOT ROUTE PIPE LARGER THAN 3/4" Ø HORIZONTALLY IN INTERIOR LOAD BEARING OR ANY EXTERIOR WALLS. PIPE MUST BE CENTERED. ROUTE LARGER PIPES THROUGH CEILING/FLOOR SPACES AND AND DOWN OR UP TO REQUIRED LOCATION.
- ALL PLUMBING EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER START-UP.
- ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE OWNER TO SUIT HIS OPERATING CONDITIONS.
- ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC FLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE & COMBUSTIBILITY.
- ALL PLUMBING EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR NON-FUSED) W/ ELECTRICAL DRAWINGS.
- ALL SHOWER HEAD ARMS SHALL BE SECURED TO ADJACENT STRUCTURE.
- PENETRATIONS THRU RATED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPS ASTM E-814.
- PROVIDE INSTALLATION OF WATER SUBMETER AT EACH MECH. CLOSET.
- PROVIDE HUB DRAIN(S) TO RECEIVE CONDENSATE FROM A/C UNITS. COORDINATE LOCATION(S) W/ HVAC SUBCONTRACTOR.
- OFFSET TUB CONTROLS AT ALL FIRST FLOOR UNITS.



**PLUMBING PLAN - 1 BR**  
1/4" = 1'-0"

**A & E DESIGNERS, INC.**  
 615 Deaton Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (606) 223-1000  
 FAX: (606) 223-1657  
 EMAIL: derrick@aedeigners.net  
 WEBSITE: www.aedeigners.net



**Wyndham Pointe**  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 246 PEACHTREE CENTER AVE. SUITE 2405 ATLANTA, GA. 30303 TEL: 404.854.1680 FAX: 404.854.1686

UNIT PLUMBING PLANS

**P1**

**1 | NOT USED**  
NO SCALE

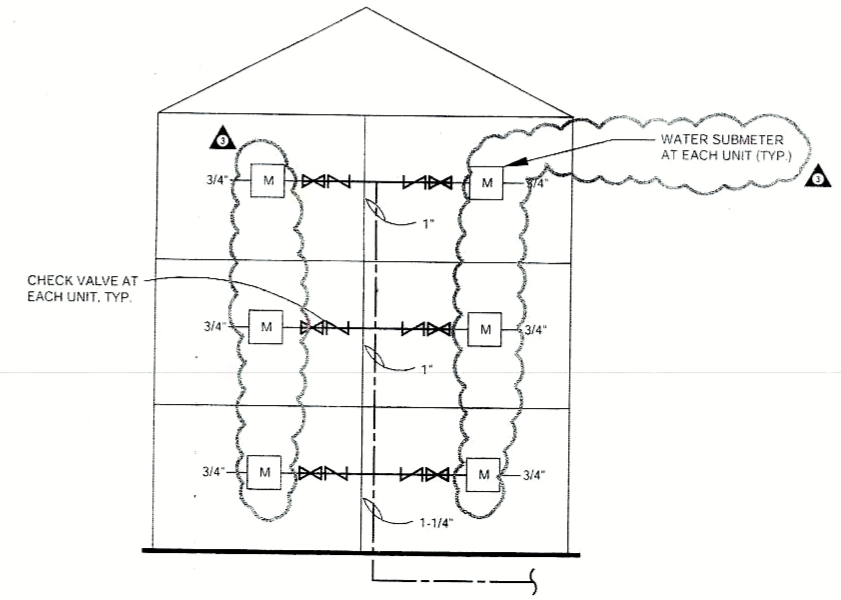
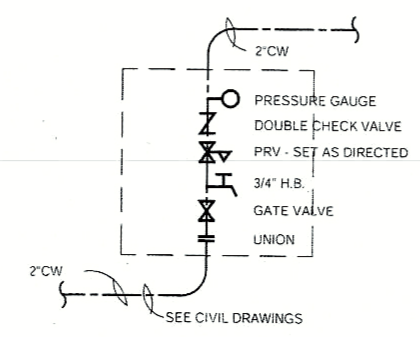
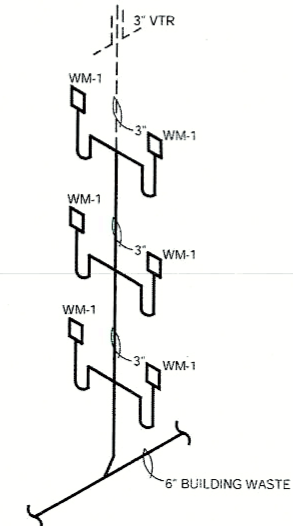
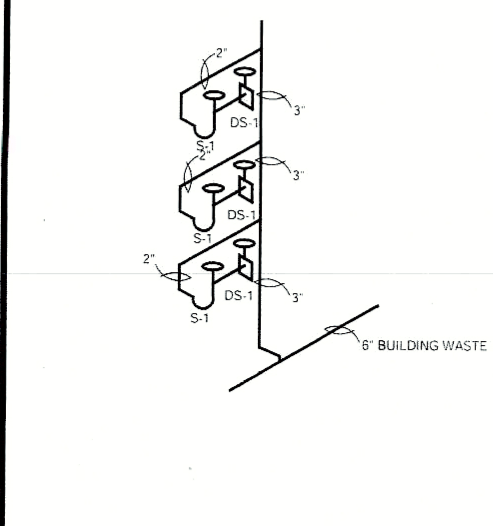
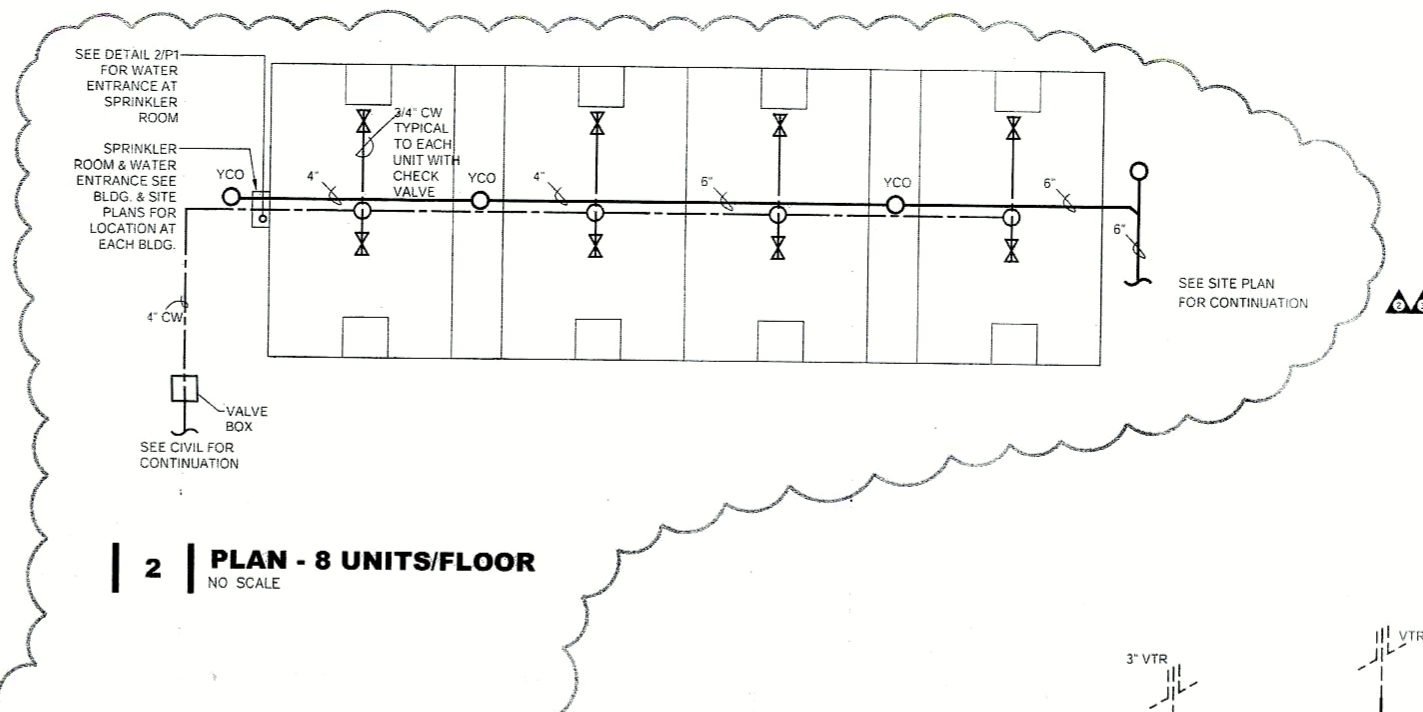
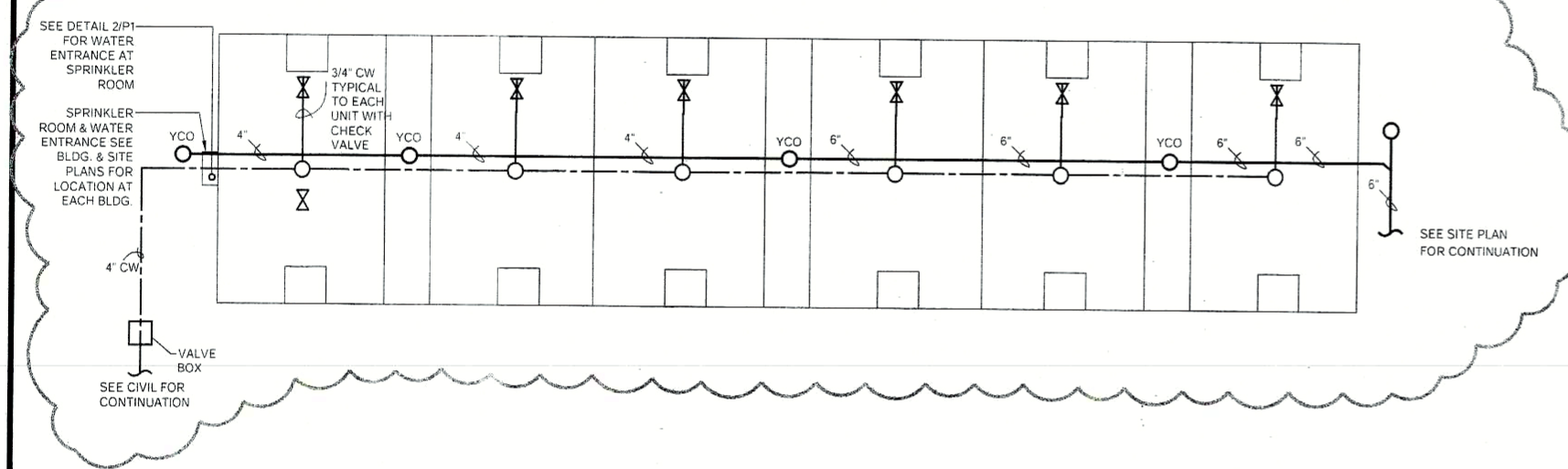
**2 | PLAN - 8 UNITS/FLOOR**  
NO SCALE

**3 | PLAN - 12 UNITS/FLOOR**  
NO SCALE

**4 | HALL BATH RISER**  
NO SCALE

**5 | MASTER BATH RISER**  
NO SCALE

WATER SERVICE SCHEDULE	
NUMBER OF UNITS	SERVED BY WATER LINE SIZE
OVER 24	2-1/2"
UP TO 24	2"
UP TO 12	1-1/2"
UP TO 8	1-1/4"
UP TO 4	1"



**6 | KITCHEN SINK RISER**  
NOT TO SCALE

**7 | LAUNDRY RISER**  
NO SCALE

**8 | WATER ENTRANCE DETAIL**  
NOT TO SCALE

**9 | WATER SERVICE - 3 STORY**  
NO SCALE

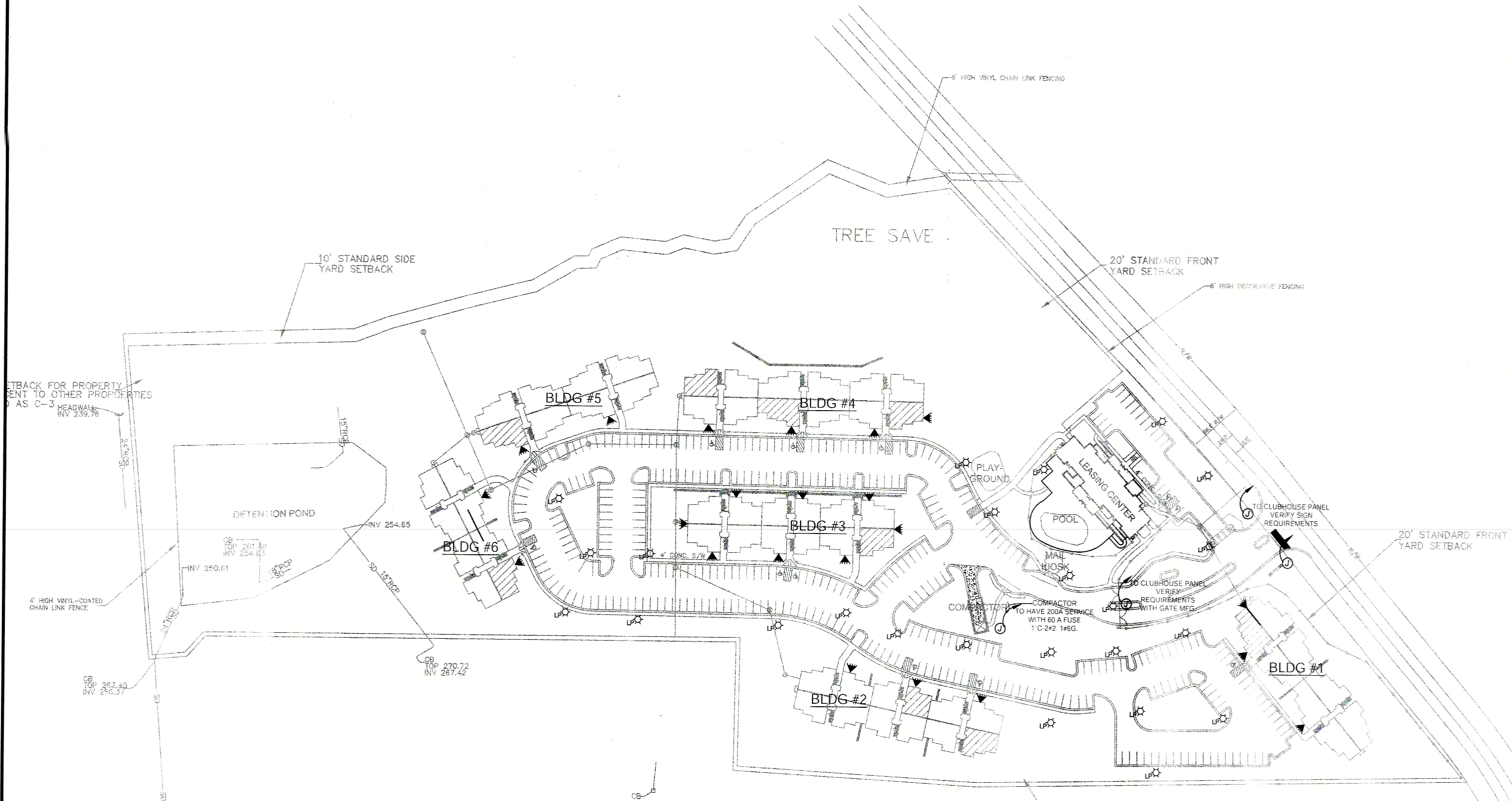
**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE SUITE 2045 ATLANTA, GA 30303 TEL: 404.886.1850 FAX: 404.886.1856

**A&E DESIGNERS, INC.**  
615 DeLeon Place Suite #100  
Clemmons, NC 27009  
PHONE: (866) 235-1000  
FAX: (866) 235-1007  
EMAIL: aede@aedesigners.net  
WEBSITE: www.aedesigners.net

DATE: 10/19/04  
REVISION: 12/02/05  
12/01/05

PLUMBING RISERS & DIAGRAMS



**LIGHTING LEGEND**

- WP ◀ WALL PACK LIGHTING  
SEE BUILDING ELECTRICAL PLANS  
WIRE TO HOUSE PANELS (HP) VIA PHOTO CELLS.
- LP ☼ 20' HIGH BLACK FIBERGLASS POLE LIGHT  
150 WATT HIGH PRESSURE SODIUM LIGHT  
PROVIDED BY GENERAL CONTRACTOR

NOTE FOR IRRIGATION WELL:  
PROVIDE ELECTRIC TO IRRIGATION WELL  
FROM HOUSE PANEL ON NEAREST  
BUILDING. VERIFY LOCATION IN FIELD.

**A & E DESIGNERS, INC.**  
615 Dixon Place, Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: [darrick@aedesigners.net](mailto:darrick@aedesigners.net)  
WEBSITE: [www.aedesigners.net](http://www.aedesigners.net)



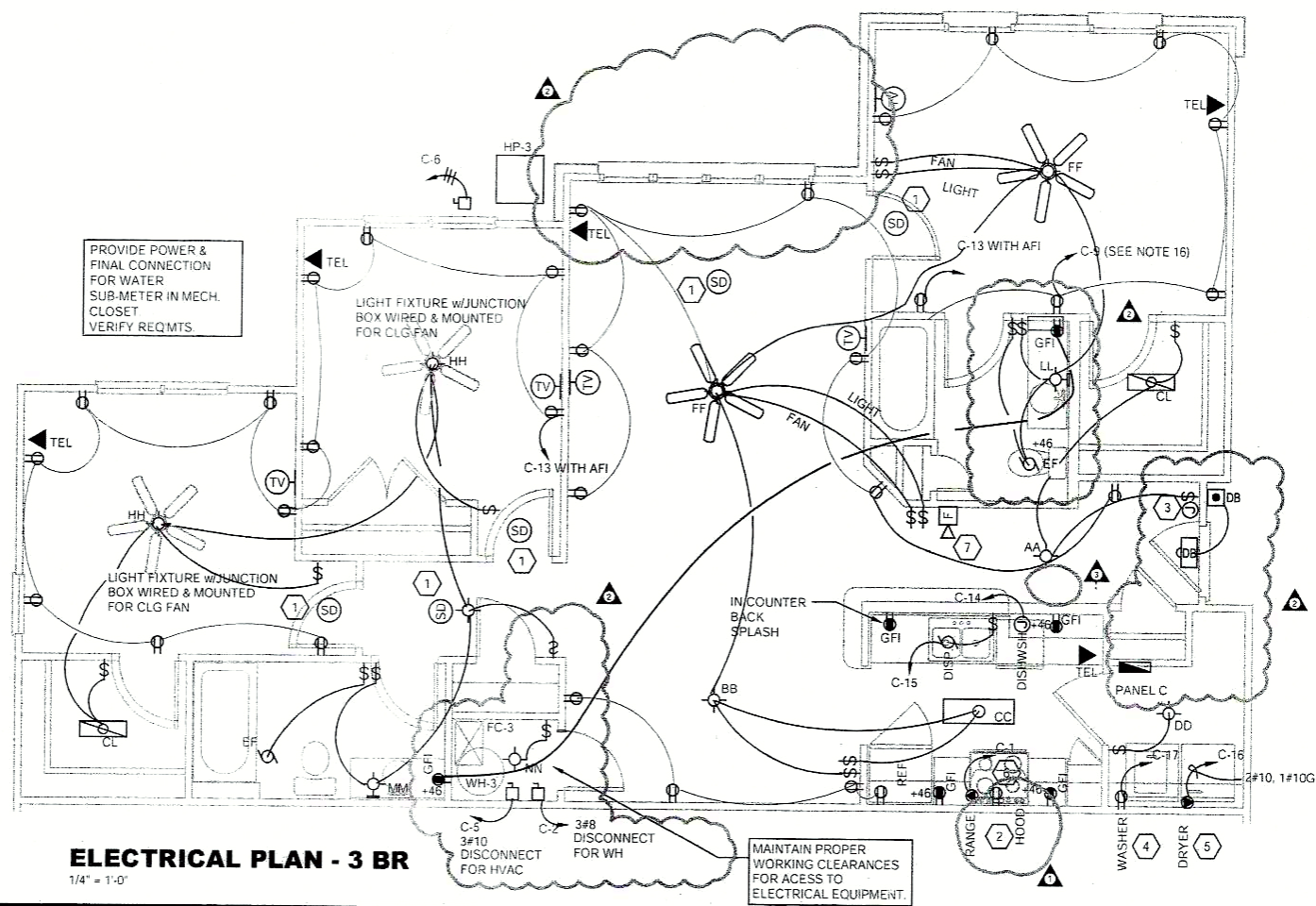
**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
246 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/594-1885 FAX: 404/594-1886

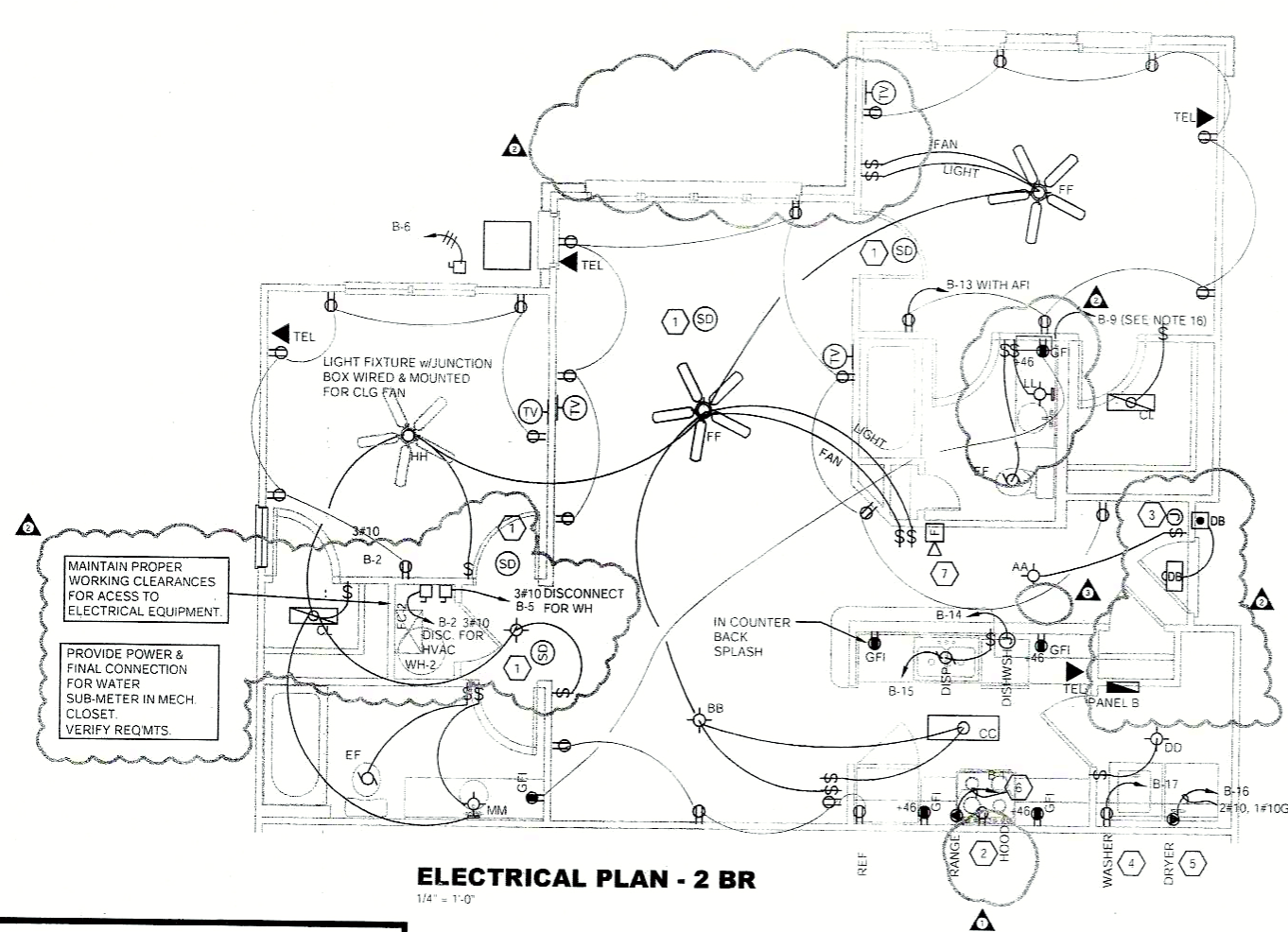
SITE ELECTRICAL PLAN

**EO**

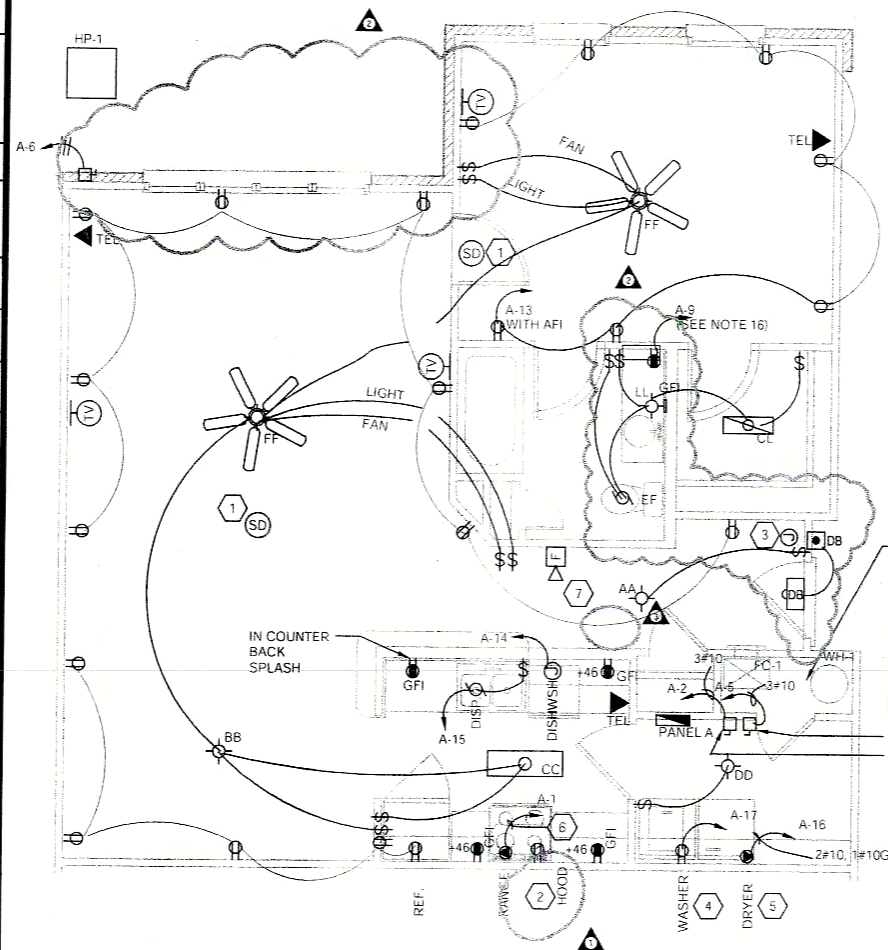
DATE	REVISION
10-10-04	
	12/01/05
	01/11/06



**ELECTRICAL PLAN - 3 BR**  
1/4" = 1'-0"



**ELECTRICAL PLAN - 2 BR**  
1/4" = 1'-0"



**ELECTRICAL PLAN - 1 BR**  
1/4" = 1'-0"

**LEGEND**

- WEATHERPROOF DUPLEX RECEPTACLE OUTLET MOUNTING HEIGHT AT 16" A.F.F.
- G.F.C.I. DUPLEX RECEPTACLE OUTLET WALL MTD AT 16" A.F.F./ABV CTR AT 48" A.F.F. TO TOP OF BOX.
- SPLIT WIRED DUPLEX RECEPTACLE. ONE RECEPTACLE SHALL BE SWITCHED PER PLANS.
- DOUBLE DUPLEX RECEPTACLE OUTLET WALL MTD AT 16" A.F.F./ABV CTR AT 48" A.F.F. TO TOP OF BOX.
- SINGLE POLE SINGLE THROW TOGGLE SWITCH MOUNTING HEIGHT AT 48" A.F.F. TO TOP OF BOX.
- SPECIAL PURPOSE RECEPTACLE OUTLET NEMA CONFIGURATION TO MATCH PLUG MOUNTING HEIGHT AT 16" A.F.F.
- ISOLATED GROUND RECEPTACLE MOUNTING HEIGHT AT 16" A.F.F.
- DUPLEX RECEPTACLE OUTLET WALL MTD AT 16" A.F.F./ABV CTR AT 48" A.F.F. TO TOP OF BOX.
- RACEWAY INSTALLED CONCEALED IN WALL AND/OR ABOVE CEILING.
- CONDUIT UP \ CONDUIT DOWN
- JUNCTION BOX: CEILING \ WALL \ FLOOR MTD
- INCANDESCENT LIGHT FIXTURE OVERHEAD \ WALL MOUNTED
- WRAPAROUND FLUORESCENT FIXTURE OVERHEAD
- OUTLET AND EGRESS AND/OR EMERGENCY LIGHT
- OUTLET AND EXIT LIGHT FIXTURE CEILING \ WALL MOUNTED. PROVIDE ARROWS AS INDICATED ON DRAWINGS
- EQUIPMENT AS INDICATED
- RECESSED MOUNTED PANEL BOARD
- MOTOR RATED SWITCH
- EXHAUST FAN
- 60A/3R NONFUSIBLE DISCONNECT SWITCH. RATING/POLES/NEMA ENCLOSURE
- 60A/3R/40A FUSIBLE DISCONNECT SWITCH. RATING/POLES/NEMA ENCLOSURE/FUSE RATING
- TELEPHONE OUTLET. WALL MTD @ 16" AFF \ ABOVE COUNTER AT 6" AFF. 5-PAIR CABLE. MIN.
- FIRE ALARM MANUAL STATION WALL MOUNTING AT 48" AFF
- FIRE ALARM HORN/VISUAL DEVICE
- SMOKE DETECTOR-HARD WIRED
- DOOR BELL PUSH BUTTON
- DOOR BELL

**ELECTRICAL NOTES**

1. PROVIDE AND INSTALL ONE FIRE ALARM PULL STATIONS AND AUDIOVISUAL DEVICES IN BUILDING BREEZEWAY SYSTEM AND EQUIPMENT TO CONFORM TO NFPA 72.
- ALARM DESIGNER SHALL VERIFY ALL REQUIREMENTS AND IS RESPONSIBLE FOR FINAL DESIGN. INFORMATION ON THESE DRAWINGS IS FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE CONNECTED TO FIRE ALARM PER CODE REQUIREMENTS.
2. AUDIBLE ALARMS SHALL PRODUCE A MINIMUM OF 80 dB THROUGHOUT THE BUILDING AND THE SOUND SHALL NOT EXCEED THE AMBIENT AND ROOM NOISE BY 15 dB WITH ALL DOORS CLOSED AND ALL EQUIPMENT IN SERVICE. ALL SYSTEMS SHALL BE A MINIMUM DESIGN OF STYLE (TABLE 3-9.1, NFPA 72D).
3. PROVIDE APPROVED HARD WIRE SMOKE DETECTORS IN THE CORRIDORS AND THE BEDROOMS OF EACH LIVING UNIT. TO SOUND AN AUDIBLE ALARM IN EVENT OF FIRE. MUST MEET NFPA 72E CHAPTER 4. AUDIBLE ALARM SHALL PRODUCE A MINIMUM OF 80 dB THROUGHOUT THE BUILDING AND THE SOUND SHALL EXCEED THE AMBIENT AND ROOM NOISE BY 15 dB AT FELLOW LEVEL WITH DOOR CLOSED.
4. PROVIDE PHOTOCELL AND CONTROL RELAYS TO CONTROL BREEZEWAY LIGHTING IN EACH BUILDING AS SHOWN ON ARCH. DWGS. LOCATE CONTRACTORS ADJACENT TO PANEL HP.
5. PROVIDE ELECTRICAL DEVICES IN ALL APARTMENT UNITS AS SHOWN ON ELECTRICAL FLOOR PLANS. CIRCUIT THESE DEVICES PER THE PANEL SCHEDULE AND THE N.E.C. REFER TO ARCH. DRAWINGS FOR DEVICE LAYOUT.
6. VERIFY ALL MECHANICAL REQUIREMENTS WITH MECHANICAL CONTRACTOR AND MAKE ADJUSTMENTS TO PANEL BOARDS AND SERVICES IF EQUIPMENT IS NOT AS NOTED.
7. ALL SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER IN CONFORMANCE WITH PROJECT SPECIFICATIONS, UNLESS OTHERWISE NOTED.
8. PROVIDE AND INSTALL A DUPLEX RECEPTACLE ADJACENT TO WATER HEATER FOR CONNECTION OF ELECTRIC HEAT TRACE. COORDINATE LOCATION WITH DIVISION 15.
9. COORDINATE LOCATION OF TELEPHONE JUNCTION BOXES AND CATV SPLITTER BOXES WITH THE RESPECTIVE UTILITIES PRIOR TO BID/ROUGH-IN.
10. LOCATION OF DISCONNECTS TO BE REACHABLE/ACCESSIBLE.
11. PROVIDE A LETTER FROM POWER COMPANY STATING THE SHORT CIRCUIT FAULT CURRENT AVAILABLE AT THE SECONDARY OF THE UTILITY COMPANY TRANSFORMER. THIS INFORMATION SHALL BE USED TO DETERMINE THE FINAL A.I.C. RATINGS OF THE PANEL BOARDS AND ALL EQUIPMENT.
12. ALL JUNCTION BOXES, RECEPTACLE BOXES, OR OTHER ELECTRICAL PENETRATIONS IN FIRE RATED ASSEMBLIES SHALL BEAR A UL RATING GREATER OR EQUAL TO SAID ASSEMBLY.
13. PREWIRES ALL UNITS FOR SECURITY SYSTEM
14. FIRE ALARM SYSTEM SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE FIRE MARSHAL
15. ALL BRANCH CIRCUITS THAT SUPPLY BEDROOM RECEPTACLES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
16. IN EACH UNIT, ONE BRANCH CIRCUIT SHALL BE DEDICATED TO SERVE ONLY THE BATHROOM RECEPTACLE OUTLETS. THIS CIRCUIT SHALL SERVE NO OTHER OUTLETS.
17. ELECTRICAL PANEL AT ACCESSIBLE UNITS SHALL BE MOUNTED AT 48" MAX A.F.F. TO TOP OF HIGHEST OPERABLE PART.

**KEY NOTES**

1. SMOKE DETECTOR (120V) W/BATTERY BACK-UP AND SOUND IN UNITS MULTIPLE STATIONS. PROVIDE AUXILIARY CONTACTS REQUIRED FOR SYNCHRONOUS OPERATION WHEN ANY DETECTOR IS ACTIVATED.
2. SMOKE DETECTORS IN HC ACCESSIBLE UNITS SHALL INCLUDE STROBES/VISUAL ALARMS FOR THE HEARING IMPAIRED.
3. CONNECT TO RANGE EXHAUST HOOD. PROVIDE AND INSTALL NEMA 5-20R RECEPTACLE FOR HOOD. MOUNT @ 12" A.F.F.
4. PROVIDE J-BOX, COVER PLATE, & PULL WIRE FOR FUTURE TENANT SECURITY EQUIPMENT. MOUNT AT 54" A.F.F. (48" A.F.F. AT TOP OF BOX AT FPAHC UNITS)
5. CONNECT TO WASHER. PROVIDE AND INSTALL NEMA 5-20R RECEPTACLE FOR WASHER. MOUNT @ 36" A.F.F.
6. CONNECT TO DRYER. PROVIDE AND INSTALL NEMA 6-30R RECEPTACLE FOR DRYER. MOUNT AT 36" A.F.F. 2-#10 & 1-#10 GROUND
7. CONNECT TO ELECTRIC RANGE. PROVIDE AND INSTALL NEMA 6-50R RECEPTACLE FOR RANGE. MOUNT AT 30" A.F.F. 2-#12 & 1-#6 GROUND

NOTE:  
SMOKE DETECTORS PROVIDED SHALL PRODUCE AUDIBLE ALARM OF 70 dB AT FELLOW LEVEL IN ALL SLEEPING AREAS. IF DETECTOR CANNOT PRODUCE THIS LEVEL, ADDITIONAL DEVICES SHALL BE ADDED. FIRE ALARM CONTRACTOR SHALL PROVIDE SHOP DRAWING INDICATING COMPLIANCE.

**LIGHT FIXTURE SCHEDULE (APARTMENTS)**

TYPE	Description	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTS	MOUNTING
AA	8" 1-LAMP MUSHROOM	EPI	EPI 104431 BN	(1) 60W A19	120v	CEILING SURFACE MOUNTED
BB	CHANDELIER 3-LIGHT NICKEL FINISH	EPI	EPI 102100 BN	(3) 60w A19 CLEAR	120v	PENDANT
CC	9"x48" WRAP AROUND FLUORESCENT	TEXAS FLUORESCENTS	TEX MPUF 232	(2) F32T12	120v	CEILING SURFACE MOUNTED
CL	24" FLUORESCENT WITH LENSE			(1) F20T12	120v	CEILING SURFACE MOUNTED
DD	MUSHROOM LIGHT	NATIONS CHOICE (LIGHTING PRODUCTS)	NCH 3620 BN	(2) 60w A19	120v	CEILING SURFACE MOUNTED
FF	52" 5 BLADE FAN WITH LIGHT	FAN - ROYAL	ROY 1059 BP	(2) 60W	120v	PENDANT
HH	10" 2 LIGHT MUSHROOM		EPI 104431 BN	(2) 60w A19	120v	CEILING SURFACE MOUNTED
JJ	EXTERIOR WALL LANTERN		TRA 44935 BK	60w A19 CL	120v	WALL MOUNTED
LL	3 LIGHT BATH VANITY		EPI 106046 BN	(3) 60w A19	120v	WALL SURFACE MTD
MM	5 LIGHT BATH VANITY		EPI 106051 BN	(6) 60w A19	120v	WALL SURFACE MTD
NN	KEYLESS WITH PULL CHAIN	AMP LH 2P		(1) 60W A19	120v	CEILING SURFACE MOUNTED
SD	SMOKE DETECTOR WITH BATTERY BACKUP	LIGHTING PRODUCTS	TEX US1 1204		120v	CEILING SURFACE MOUNTED

LIGHTING AVAILABLE FROM:  
ALLEN CARLQUIST  
VALUE LIGHTING  
(770) 874-2192

**A & E DESIGNERS, INC.**  
 615 Deaton Plaza Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (606) 223-1000  
 FAX: (606) 223-1657  
 EMAIL: derred@aedeigners.net  
 WEBSITE: www.aedeigners.net

**Wyndham Pointe**  
 Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 246 PEACHTREE CENTER AVE SUITE 2402 ATLANTA, GA 30303 TEL: 404.954.1088 FAX: 404.954.0885

UNIT ELECTRICAL PLANS

**LIGHT FIXTURE SCHEDULE  
(APARTMENTS BLDG EXTERIOR)**

LIGHTING AVAILABLE FROM:  
ALLEN CARLQUIST  
VALUE LIGHTING  
(770) 874-2192

TYPE	Description	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTS	MOUNTING
Z	EMERGENCY LIGHTS - WHITE		BST R1	(2) 5.6W	120v	WALL MOUNTED
SS	EXTERIOR BREEZEWAY WALL LIGHT		INC 32991 26	(2) PL13	120v	WALL MOUNTED
TT	EXTERIOR WALL PACK		EPI EB916 150 MT	(1) 150W SODIUM	120v	WALL MOUNTED
UU	EXTERIOR WALL PACK		EPI EB908 70	(1) 70W SODIUM	120v	WALL MOUNTED

**HOUSE PANEL "HP" SCHEDULE**

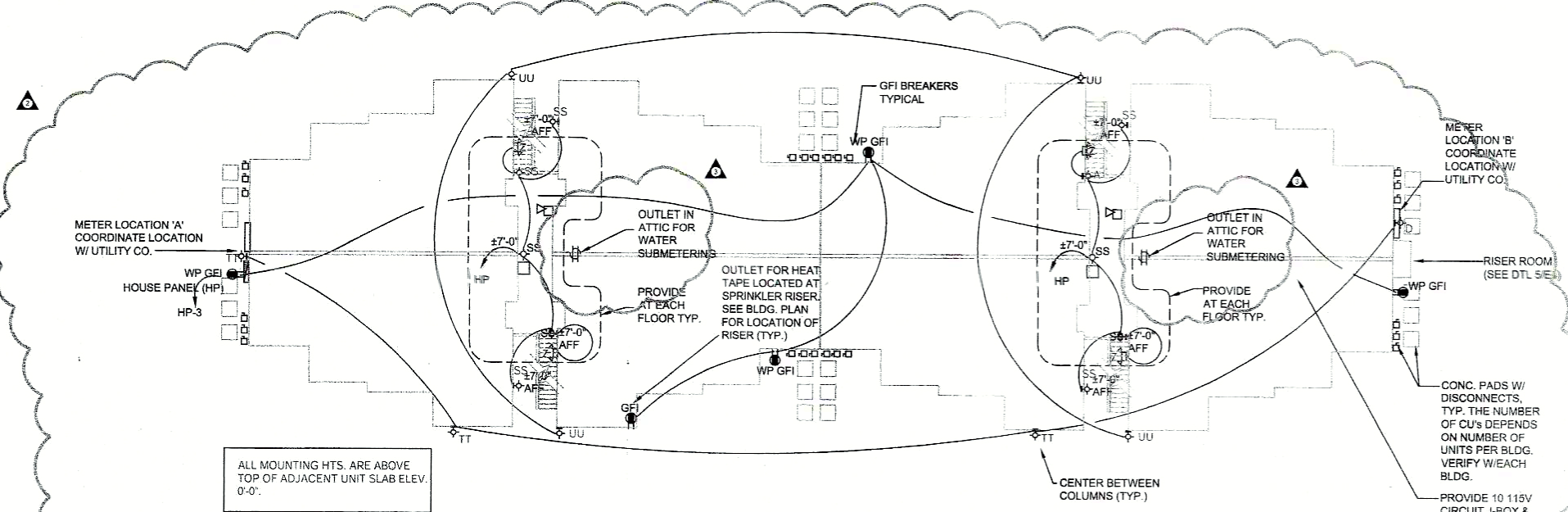
PANEL WBOLT-ON BREAKERS EQUAL TO SQUARE-D		30A MCB	
WITH GROUND BAR & SOLID NEUTRAL		VOLTAGE: 120/240-1PH-3W	
MIN. I.C. 10,000A.R.M.S		MOUNTING SURFACE	
CKT	BKR	PHASE LOADS	BKR
NO.	SIZE	A	B
1*	201	0.3 Emergency and Night Lighting	1.2 Stairway Lighting
3	201	0.4 Receptacles	0.7 Carriage Lights
5 PC	201	0.3 Exterior Flood Lights	0.5
Total Connected Load		1.7	0.7
Total Connected Load		2.4	
Total Connected Load		1.4	

\* = LOCK-ON TAB ON CIRCUIT BREAKER  
PC = CIRCUIT ROUTED VIA PHOTO CELL

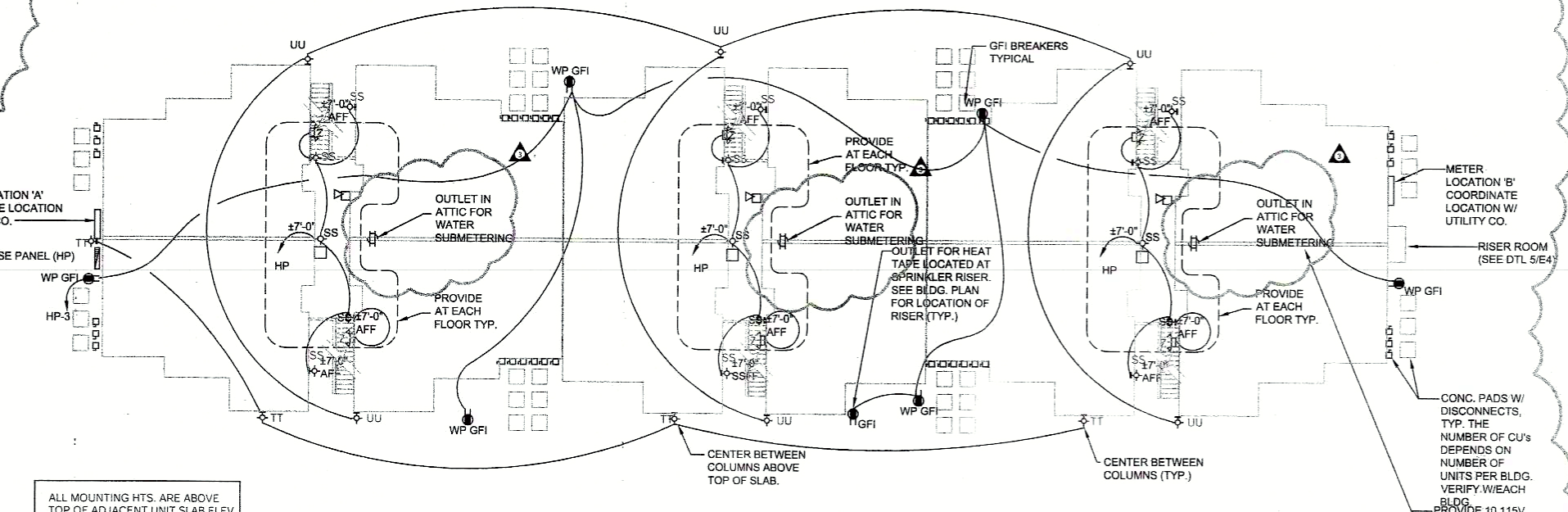
**LOAD SUMMARY - PANEL HP**

ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
LIGHTING	120	1.3	125	1.6
RECEPTACLES	120	0.4	100	0.4
MISCELLANEOUS	120	0.7	100	0.7
TOTALS:		2.4		2.7

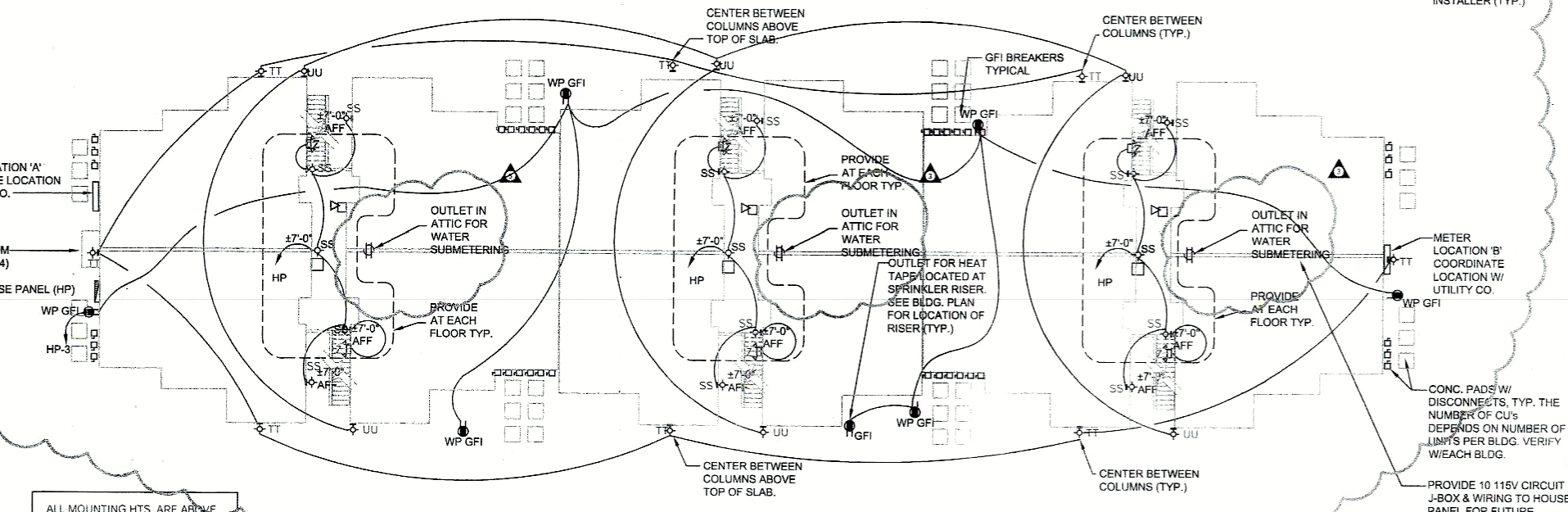
2.7 KVA Connected @ 120/240V = 11.4 amps



**BUILDING #1 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

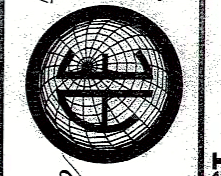


**BUILDING #2 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"



**BUILDING #3 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

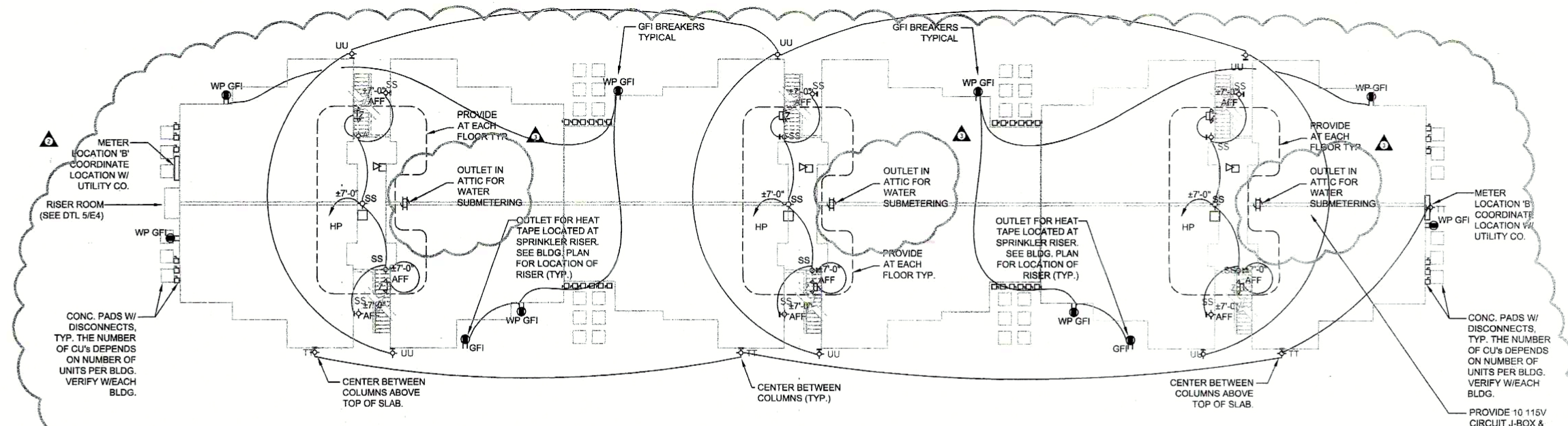
A & E DESIGNERS, INC.  
615 Delzon Place Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: aedesigners.net  
WEBSITE: www.aedesigners.net



*Wyndham Pointe*  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
246 PEACHTREE CENTER AVE SUITE 2415 ATLANTA, GA 30303 TEL: 404/684-1880 FAX: 404/684-1885

BLDG. ELECTRICAL PLANS



**BUILDING #4 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

ALL MOUNTING HTS. ARE ABOVE TOP OF ADJACENT UNIT SLAB ELEV. 0'-0".

CONC. PADS W/ DISCONNECTS. TYP. THE NUMBER OF CU'S DEPENDS ON NUMBER OF UNITS PER BLDG. VERIFY W/EACH BLDG.  
PROVIDE 10 115V CIRCUIT J-BOX & WIRING TO HOUSE PANEL FOR FUTURE RADON VENT FAN WITHIN 6'-0" OF RADON VENT COORDINATED LOCATION WITH VENT INSTALLER (TYP.)

**HOUSE PANEL "HP" SCHEDULE**

PANEL W/BOLT-ON BREAKERS EQUAL TO SQUARE D 30A MCB  
WITH GROUND BAR & SOLID NEUTRAL VOLTAGE: 120/240-1PH-3W  
MIN. AIC: 10,000A.R.M.S. MOUNTING: SURFACE

NO.	SIZE	KVA	DESCRIPTION	PHASE LOADS	A	B	DESCRIPTION	KVA	SIZE	NO.
1*	201	0.3	Emergency and Night Lighting	1.2	--	--	Stairway Lighting	0.9	201	2
3	201	0.4	Receptacles	--	0.7	--	Carriage Lights	0.3	201	4
5	PC	201	0.3	Exterior Flood lights	0.5	--		0.2	201	6
			Total Connected Load	1.7	0.7		Total Connected Load			
					2.4			1.4		

\* = LOCK-ON TAB ON CIRCUIT BREAKER  
PC = CIRCUIT ROUTED VIA PHOTO CELL

**LOAD SUMMARY - PANEL HP**

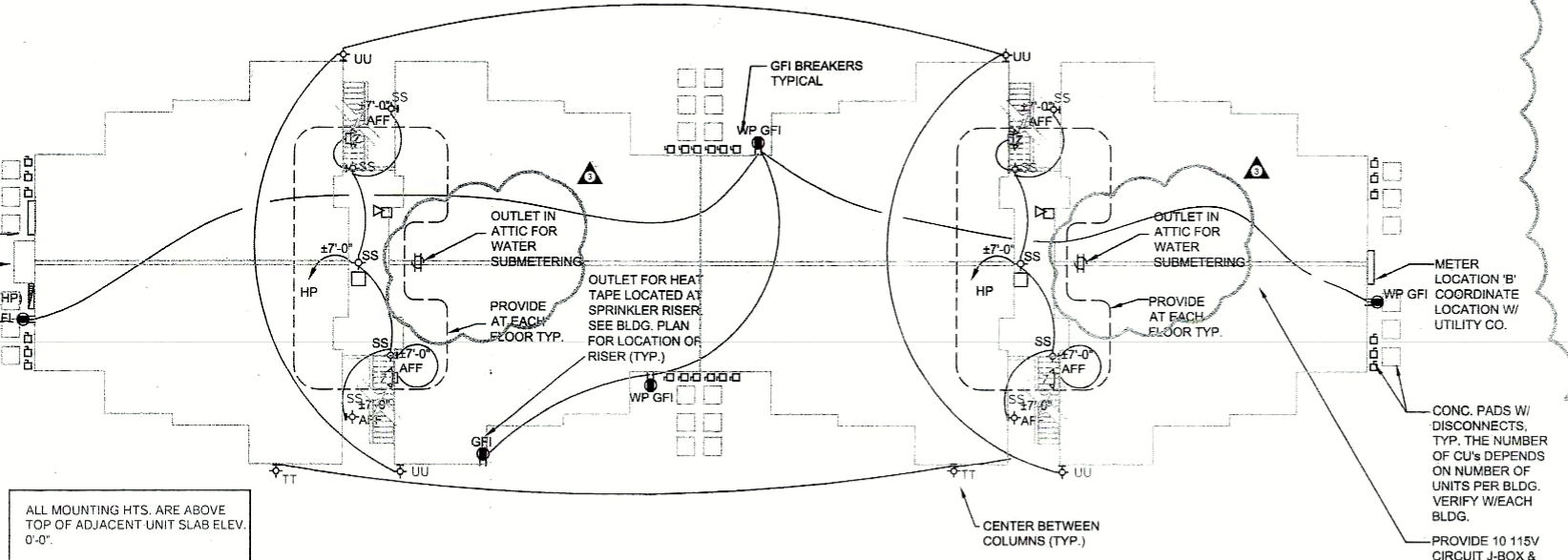
ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
LIGHTING	120	1.3	125	1.6
RECEPTACLES	120	0.4	100	0.4
MISCELLANEOUS	120	0.7	100	0.7
<b>TOTALS</b>		<b>2.4</b>		<b>2.7</b>

2.7 kVA Connected @ 120/240V = 11.4 amps

**LIGHT FIXTURE SCHEDULE (APARTMENTS BLDG EXTERIOR)**

LIGHTING AVAILABLE FROM:  
ALLEN CARLQUIST  
VALUE LIGHTING  
(770) 874-2192

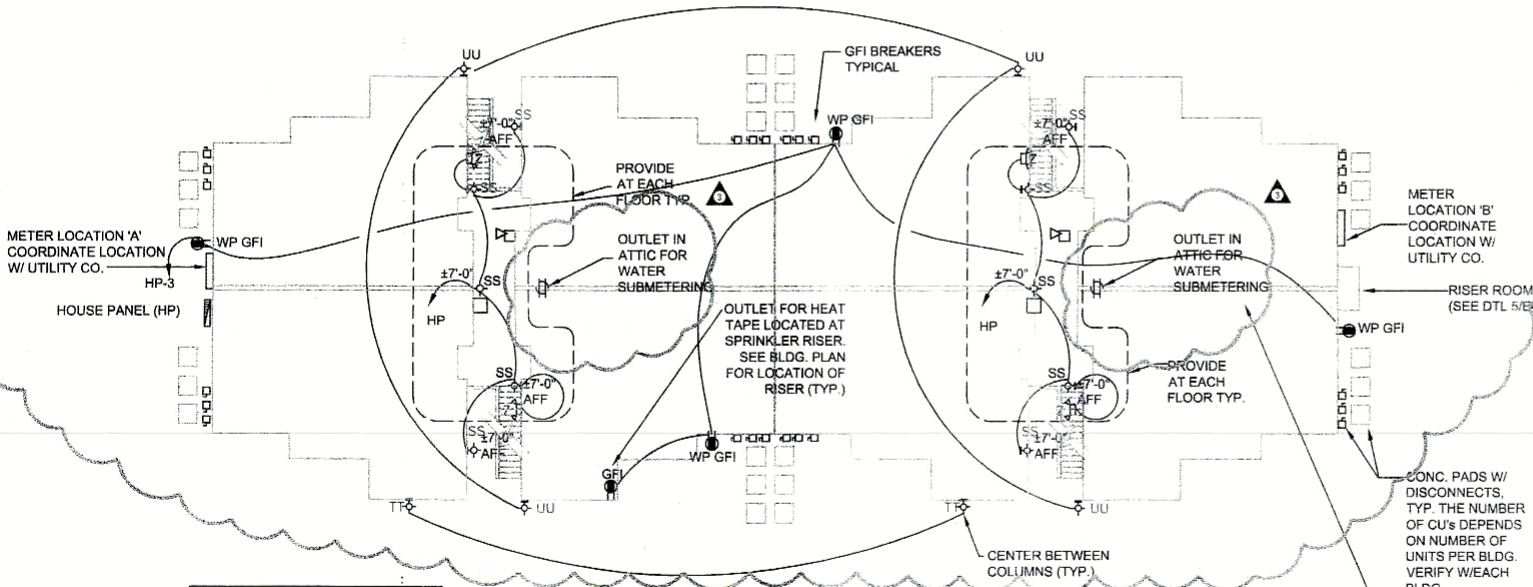
TYPE	Description	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTS	MOUNTING
Z	EMERGENCY LIGHTS - WHITE		BST R1	(2) 5.6W	120v	WALL MOUNTED
SS	EXTERIOR BREEZEWAY WALL LIGHT		INC 32991 26	(2) PL13	120v	WALL MOUNTED
TT	EXTERIOR WALL PACK		EPI EB916 150 MT	(1) 150W SODIUM	120v	WALL MOUNTED
UU	EXTERIOR WALL PACK		EPI EB908 70	(1) 70W SODIUM	120v	WALL MOUNTED



**BUILDING #5 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

ALL MOUNTING HTS. ARE ABOVE TOP OF ADJACENT UNIT SLAB ELEV. 0'-0".

CONC. PADS W/ DISCONNECTS. TYP. THE NUMBER OF CU'S DEPENDS ON NUMBER OF UNITS PER BLDG. VERIFY W/EACH BLDG.  
PROVIDE 10 115V CIRCUIT J-BOX & WIRING TO HOUSE PANEL FOR FUTURE RADON VENT FAN WITHIN 6'-0" OF RADON VENT COORDINATED LOCATION WITH VENT INSTALLER (TYP.)

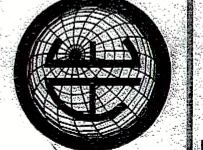


**BUILDING #6 - ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

ALL MOUNTING HTS. ARE ABOVE TOP OF ADJACENT UNIT SLAB ELEV. 0'-0".

CONC. PADS W/ DISCONNECTS. TYP. THE NUMBER OF CU'S DEPENDS ON NUMBER OF UNITS PER BLDG. VERIFY W/EACH BLDG.  
PROVIDE 10 115V CIRCUIT J-BOX & WIRING TO HOUSE PANEL FOR FUTURE RADON VENT FAN WITHIN 6'-0" OF RADON VENT COORDINATED LOCATION WITH VENT INSTALLER (TYP.)

DATE: 10/19/04  
REVISION: 12/02/05  
A & E DESIGNERS, INC.  
615 Deaton Place Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: darrick@aedesigners.net  
WEBSITE: www.aedesigners.net



**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
265 BEAUFORT CENTER DRIVE SUITE 2045 ATLANTA, GA 30339 TEL: 404.884.1888 FAX: 404.884.1885

BLDG. ELECTRICAL PLANS



**One Bedroom Apartment - 900 sq. ft.**

**Power Service**

120/240V, 1 phase, 3 wire

**Connected Load**

A/C System: Heat Pump	7,600 VA
Indoor Unit w/Supplementary Heat	5,800 VA
Other connected loads are described below:	
<b>Description</b>	<b>Load (VA)</b>
Lighting/Receptacles: 900 sq ft @ 3 VA/sq ft	2,700
Small Appliance and Laundry Circuits 3 @ 1.5 KVA	4,500
Dryer	5,600
Range	11,300
Dishwasher	1,050
Water Heater	4,500
<b>Subtotal</b>	<b>29,650</b>

**Demand Load**

First 10 KVA @ 100%	10,000
Remainder @ 40%	7,860
Heat Pump (2.8 KVA) & Indoor Unit with Supplementary Heat (5.8 KVA) @ 65%	6,330
<b>Total</b>	<b>24,230</b>

Panel shall be 125A and feeder shall be sized for minimum 125A. USE 1/0 SER AL.

**Load Calculations Two Bedroom Apartment - 1,075 sq. ft.**

**Power Service**

120/240V, 1 phase, 3 wire

**Connected Load**

A/C System: Heat Pump	2,600 VA
Indoor Unit w/Supplementary Heat	5,800 VA
Other connected loads are described below:	
<b>Description</b>	<b>Load (VA)</b>
Lighting/Receptacles: 1,075 sq ft @ 3 VA/sq ft	3,225
Small Appliance and Laundry Circuits 3 @ 1.5 KVA	4,500
Dryer	5,600
Range	11,300
Water Heater	4,500
Dishwasher	1,050
<b>Subtotal</b>	<b>30,175</b>

**Demand Load**

First 10 KVA @ 100%	10,000
Remainder @ 40%	8,070
Heat Pump (2.6 KVA) & Indoor Unit with Supplementary Heat (5.8 KVA) @ 65%	8,370
<b>Total</b>	<b>24,440</b>

Panel shall be 125A and feeder shall be sized for minimum 125A. USE 1/0 SER AL.

**Load Calculations Three Bedroom Apartment - 1,275 sq. ft.**

**Power Service**

120/240V, 1 phase, 3 wire

**Connected Load**

A/C System: Heat Pump	3,300 VA
Indoor Unit w/Supplementary Heat	8,900 VA
Other connected loads are described below:	
<b>Description</b>	<b>Load (VA)</b>
Lighting/Receptacles: 1,275 sq ft @ 3 VA/sq ft	3,825
Small Appliance and Laundry Circuits 3 @ 1.5 KVA	4,500
Dryer	5,600
Water Heater	4,500
Range	11,300
Dishwasher	1,050
<b>Subtotal</b>	<b>39,175</b>

**Demand Load**

First 10 KVA @ 100%	10,000
Remainder @ 40%	8,310
Heat Pump (3.3 KVA) & Indoor Unit with Supplementary Heat (8.9 KVA) @ 65%	9,085
<b>Total</b>	<b>27,395</b>

Panel shall be 125A and feeder shall be sized for minimum 125A. USE 1/0 SER AL.

**PANEL "A" SCHEDULE - TYPICAL ONE BEDROOM UNIT**

PANEL EQ. TO THE LOAD CENTER										125A MLO																																																																											
MIN. AIC: 10,000A R.M.S.										VOLTAGE: 120/240-1PH-3W																																																																											
MOUNTING: FLUSH										MOUNTING: FLUSH																																																																											
CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.	CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.																																																																
1	50/2	5.7	Range	8.6	--	Elect Heat	2.9	30/2	2	3	5.6	Verify Load	8.5	--	Verify Load	2.9	15/2	4	5	30/2	2.3	Water Heater	3.6	--	Heat Pump	1.3	15/2	6	7	2.2	Verify Load	--	3.5	Verify Load	1.3	8	9	20/1	0.5	GFI Bath Recept.	1.0	--	Kitchen Ltg & Recept	0.5	20/1	10	11	20/1	0.5	Lighting & Fans	--	1.2	GFCI Recept - micro	0.7	20/1	12	13	20/1	1.2	Bedroom with Arc Fault	2.3	--	Dishwasher	1.1	20/1	14	15	20/1	0.5	Dispenser	--	3.3	Dryer	2.8	30/2	16	17	20/1	1.5	Washer	4.3	--		2.8	18
																						19.9	36.2				16.3																																																										

**PANEL "B" SCHEDULE - TYPICAL TWO BEDROOM UNIT**

PANEL EQ. TO THE LOAD CENTER										125A MLO																																																																											
MIN. AIC: 10,000A R.M.S.										VOLTAGE: 120/240-1PH-3W																																																																											
MOUNTING: FLUSH										MOUNTING: FLUSH																																																																											
CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.	CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.																																																																
1	50/2	5.7	Range	8.6	--	Elect Heat	2.9	30/2	2	3	5.6	Verify Load	8.5	--	Verify Load	2.9	15/2	4	5	30/2	2.3	Water Heater	3.6	--	Heat Pump	1.3	15/2	6	7	2.2	Verify Load	--	3.5	Verify Load	1.3	8	9	20/1	0.5	GFI Bath Recept.	1.0	--	Kitchen Ltg & Recept	0.5	20/1	10	11	20/1	0.5	Lighting & Fans	--	1.2	GFCI Recept - micro	0.7	20/1	12	13	20/1	1.2	Bedrooms with arc fault	2.3	--	Dishwasher	1.1	20/1	14	15	20/1	0.5	Disposer	--	3.3	Dryer	2.8	30/2	16	17	20/1	1.5	Washer	4.3	--		2.8	18
																						19.9	36.2				16.3																																																										

**PANEL "C" SCHEDULE - TYPICAL THREE BEDROOM UNIT**

PANEL EQ. TO THE LOAD CENTER										125A MLO																																																																										
MIN. AIC: 10,000A R.M.S.										VOLTAGE: 120/240-1PH-3W																																																																										
MOUNTING: FLUSH										MOUNTING: FLUSH																																																																										
CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.	CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE	A	B	DESCRIPTION	KVA	BKR SIZE	CKT NO.																																																															
1	50/2	5.7	Range	10.2	--	Elect Heat	4.5	40/2	2	3	5.6	Verify Load	10.0	--	Verify Load	4.4	4	5	30/2	2.3	Water Heater	3.9	--	Heat Pump	1.8	20/2	6	7	2.2	Verify Load	--	3.9	Verify Load	1.7	8	9	20/1	1.0	Living/Dining Ltg & Recept	1.5	--	Kitchen Ltg & Recept	0.5	20/1	10	11	20/1	0.8	Bedrooms Ltg & Recept	--	1.5	GFCI Recept - micro	0.7	20/1	12	13	20/1	0.8	Bedrooms Ltg & Recept	1.9	--	Dishwasher	1.1	20/1	14	15	20/1	0.5	Disposer	--	3.3	Dryer	2.8	30/2	16	17	20/1	1.5	Washer	4.3	--		2.8	18
																						20.3	40.4				20.1																																																									

**Table 3 Minimum Service Size (Amperes)**

Building No.	Building Type	Service Point A	Service Point B
1	A	885A	881A
2	B	1100A	1095A
3	B	1100A	1095A
4	C	1145A	
5	A	885A	881A
6	D	785A	792A

**Table 2 Summary of Connected & Demand Loads**

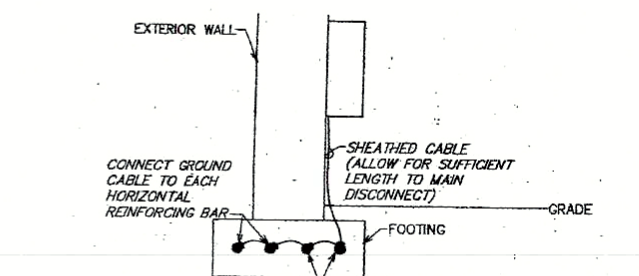
Bldg. No.	Bldg. Type	Service Point		Connected Load (KVA)		Demand Load (KVA) (Note 1)	
		A	B	Service Point A	Service Point B	Service Point A	Service Point B
1	A	12 3-BR 1-H	12 3-BR 1-H	518.0	515.8	212.4	211.5
2	B	6 1-BR 12 2-BR 1-H	6 1-BR 12 2-BR 1-H	694.5	691.5	284.0	282.8
3	B	6 1-BR 12 2-BR 1-H	6 1-BR 12 2-BR 1-H	694.5	691.5	284.0	282.8
4	C	6 3-BR 12 2-BR 1-H	6 3-BR 12 2-BR 1-H	723.1	721.1	274.6	274.0
5	A	12 3-BR 1-H	12 3-BR 1-H	518.0	515.8	212.4	211.5
6	D	12 2-BR 1-H	12 2-BR 1-H	465.2	463.2	190.7	190.0

**Table 1 Summary of Connected Loads**

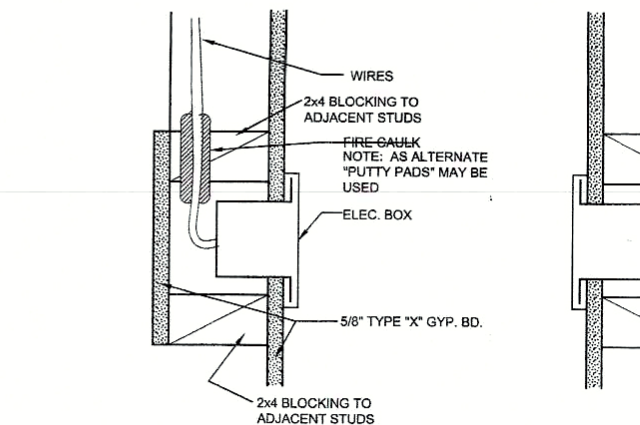
Unit Type	Connected Load (KVA)
1 BR	38.05
2 BR	36.60
3 BR	42.98

**Load Calculations House Meters**

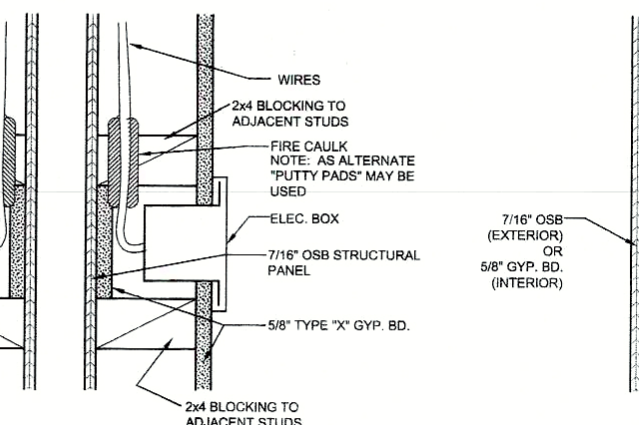
Building No.	Connected Load (VA)
1	2,200
2	3,000
3	3,000
4	3,000
5	2,200
6	2,200



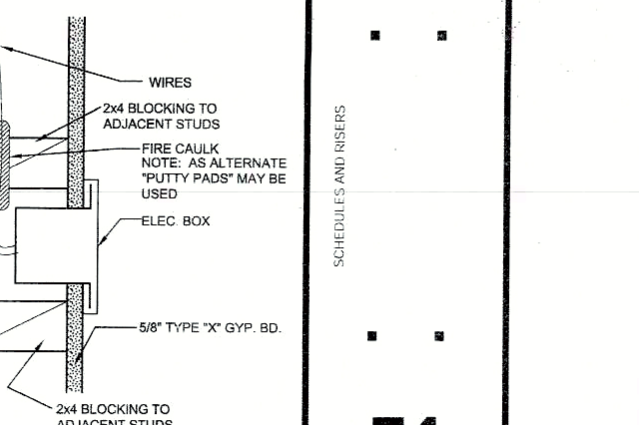
**4 UNDERGROUND DETAIL**  
NO SCALE



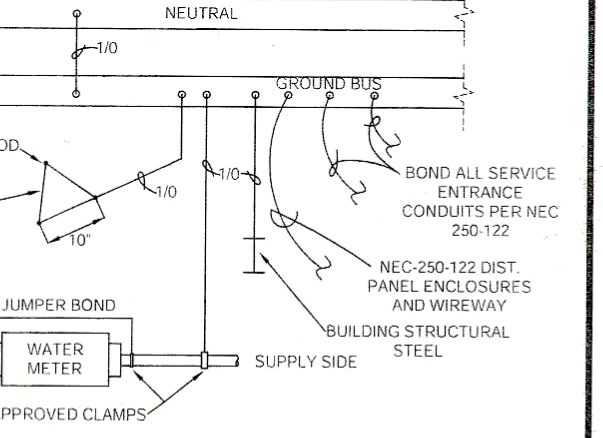
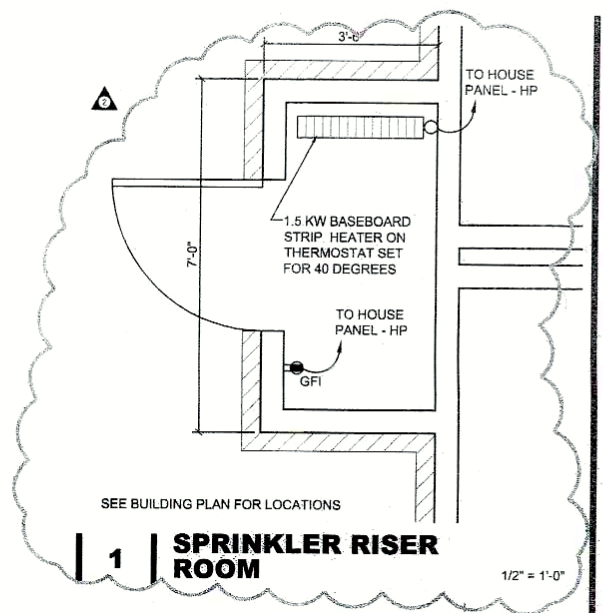
**5 OUTLET BOX**  
3'-1'-0"



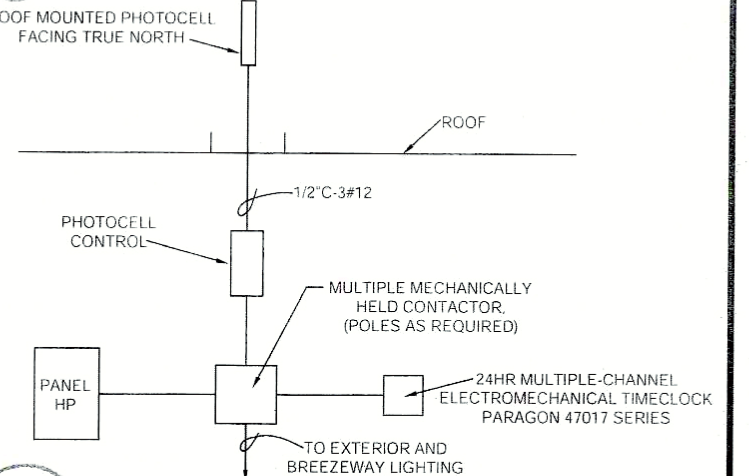
**6 DETAIL FOR BACK TO BACK BOXES AT PARTY WALLS**  
NO SCALE



**7 DETAIL FOR INTERIOR OR EXTERIOR RATED WALLS**  
NO SCALE



**9 NEUTRAL GROUNDING DETAIL**  
NO SCALE

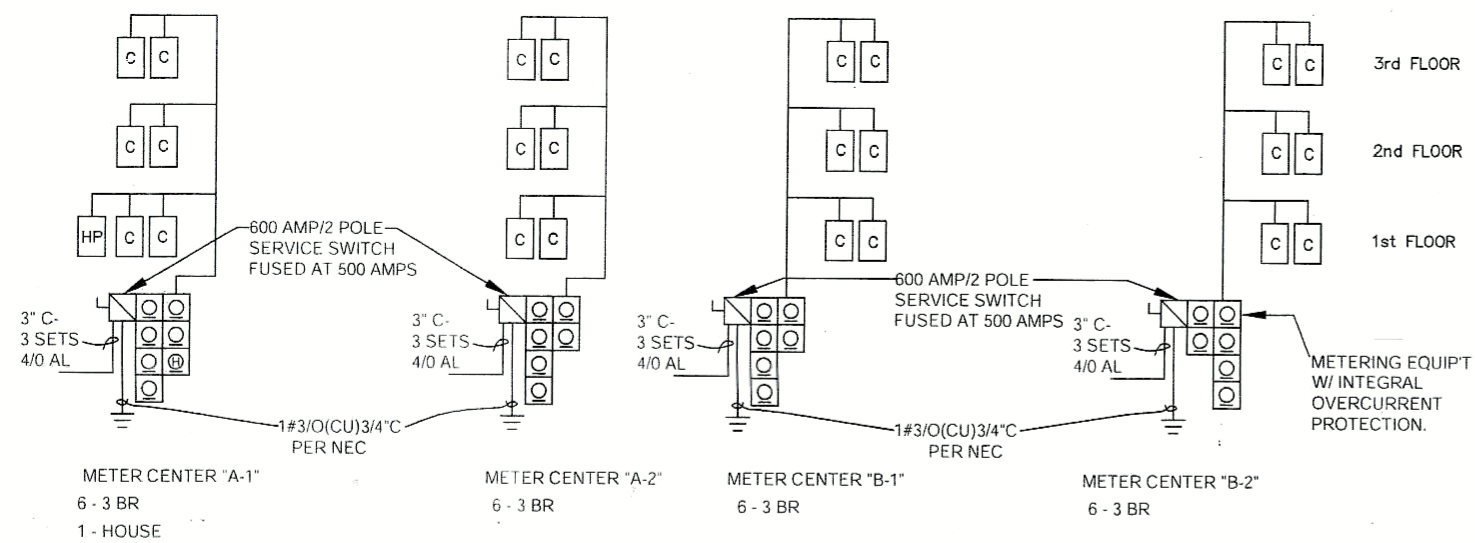


**10 EXTERIOR LIGHTING CONTROL DETAIL**  
NO SCALE

**A & E DESIGNERS, INC.**  
615 Dixson Place Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: derrick@aedesigners.net  
WEBSITE: www.aedesigners.net

**Wyndham Pointe Apartment Homes**  
80 Brighton Hill Road  
Richland County, South Carolina

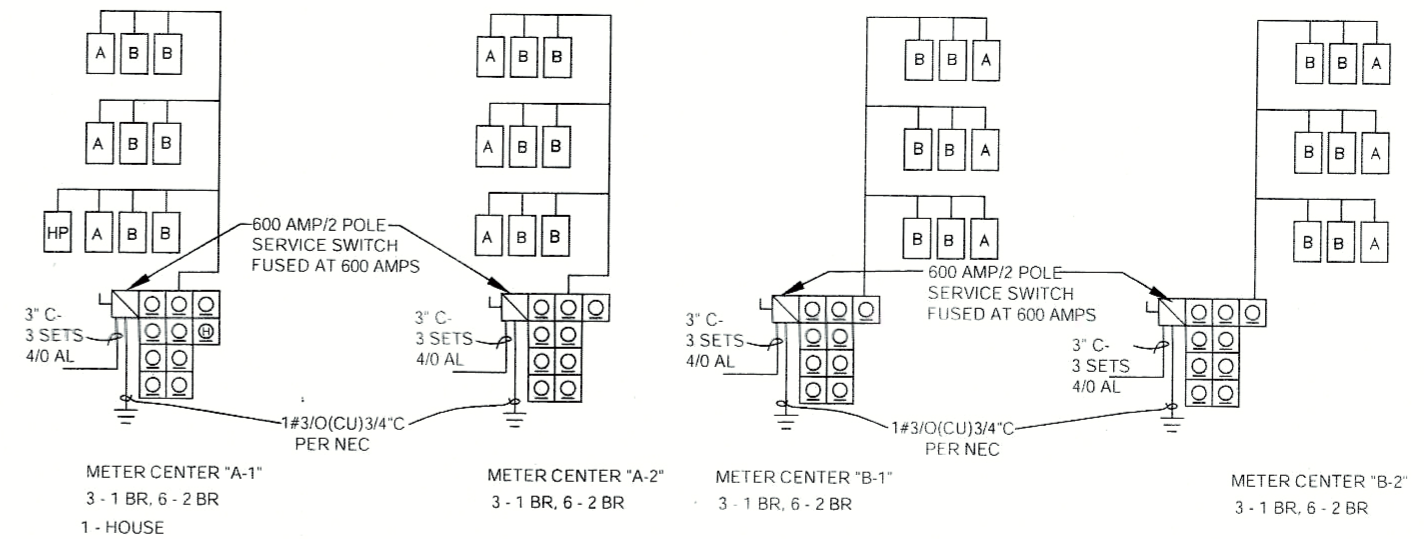
**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404.684.1680 FAX: 404.684.1686



**TYPE "A" BUILDINGS #1 & #5 METER CENTERS**

NOT TO SCALE

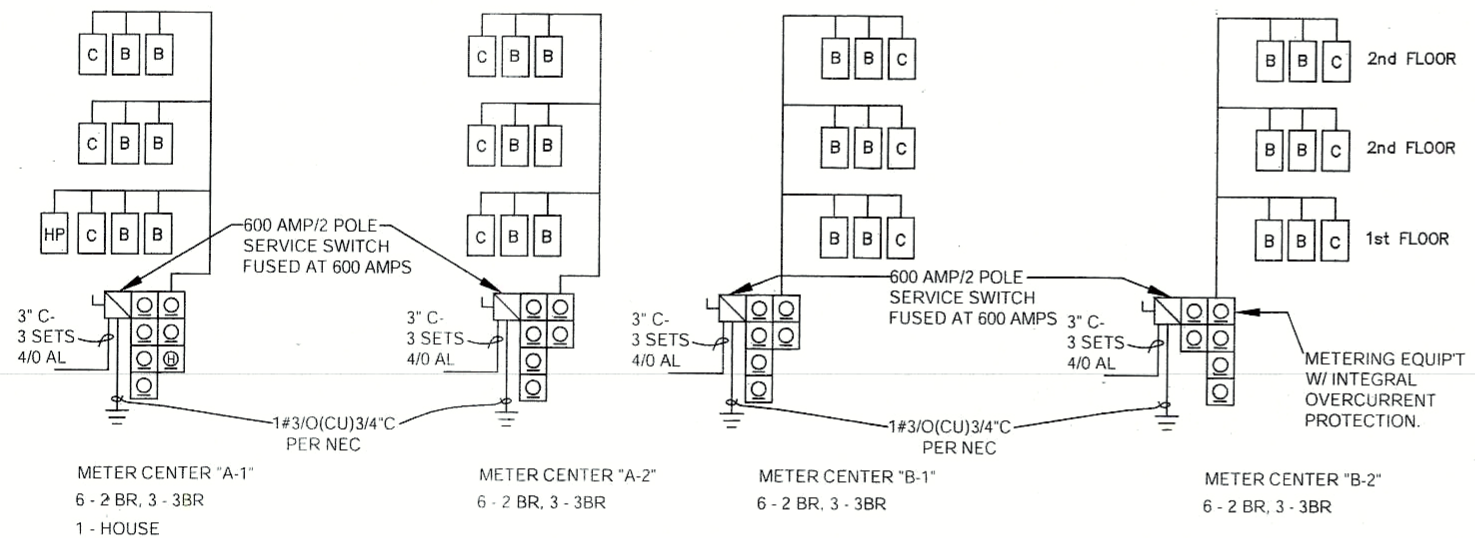
NOTE: ALL METERS SHALL BE RATED AT 42,000 AMPERE INTERRUPTING CAPACITY.



**TYPE "B" BUILDINGS #2 & #3 METER CENTERS**

NOT TO SCALE

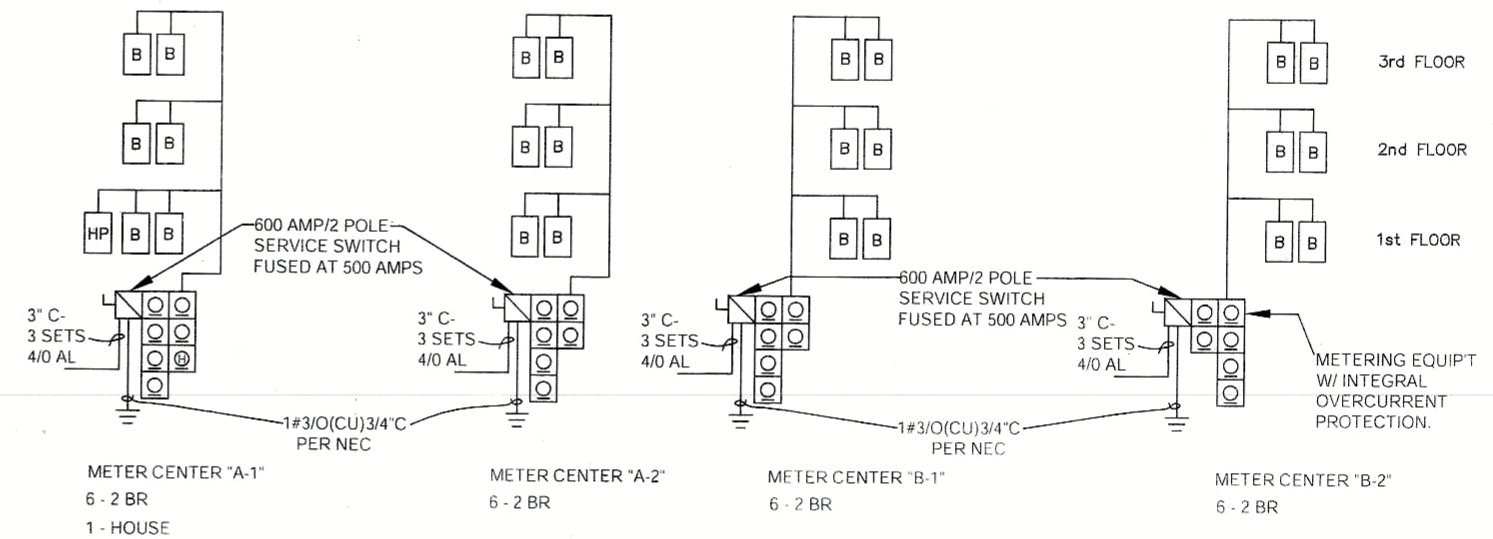
NOTE: ALL METERS SHALL BE RATED AT 42,000 AMPERE INTERRUPTING CAPACITY.



**TYPE "C" BUILDING #4 METER CENTERS**

NOT TO SCALE

NOTE: ALL METERS SHALL BE RATED AT 42,000 AMPERE INTERRUPTING CAPACITY.



**TYPE "D" BUILDING #6 METER CENTERS**

NOT TO SCALE

NOTE: ALL METERS SHALL BE RATED AT 42,000 AMPERE INTERRUPTING CAPACITY.

**GENERAL NOTES:**

1. AT EACH SERVICE LOCATION, PROVIDE A PERMANENT PLAQUE OR DIRECTORY PER N.E.C. 230-2(e) WHICH DENOTES OTHER SERVICE LOCATIONS AND AREA SERVED IN EACH BUILDING.
2. AT ELECTRICAL SUBCONTRACTOR'S OPTION, EACH OF THE SPLIT METER CENTERS, "A-1, A-2" AND "B-1, B-2", MAY BE COMBINED INTO A SINGLE "A" AND "B" METER CENTER WITH A COMBINED SERVICE CAPACITY, E.G., SEE TABLE 3 ON SHEET E4 FOR THE MINIMUM COMBINED SERVICE CAPACITY RATINGS.

DATE  
10/19/04

REVISION

A & E DESIGNERS, INC.  
615 Dalton Place Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: derrick@aedesigners.net  
WEBSITE: www.aedesigners.net



**Wyndham Pointe**  
Apartment Homes  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
246 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1660 FAX: 404/584-1696

SCHEDULES AND RISERS

**GENERAL NOTES**

- THESE NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS
- ALL WORK INCLUDING CIVIL, MECHANICAL, PLUMBING, & ELECTRICAL SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, & LOCAL CODE REQUIREMENTS, AND IN ACCORDANCE WITH ACCEPTED CONSTRUCTION INDUSTRY STANDARDS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS, INSPECTIONS AND APPROVALS, INCLUDING THOSE RELATED TO BUILDING AND SIGNAGE
- ALL COMBUSTIBLE INTERIOR FINISHES SHALL BE EITHER CLASS 'A', 'B', OR 'C' MATERIALS WITH FLAME SPREAD RATING NOT TO EXCEED 200. IF REQUESTED, CONTRACTOR SHALL PROVIDE TO THE FIRE SERVICES AUTHORITY TEST DATA VERIFYING COMPLIANCE.
- PRIOR TO TURNING BUILDING OVER TO OWNER, REPAIR OR REPLACE ALL MATERIALS, GLASS, OR ASSEMBLIES DAMAGED OR BROKEN DURING CONSTRUCTION
- AT ALL RATED WALLS AND RATED CEILINGS, ALL PLUMBING, ELECTRICAL & HVAC PENETRATIONS SHALL BE SEALED WITH APPROVED FIRESTOPPING MATERIAL.
- ALL FIRE RATED FLOOR/CEILING AND CEILING/ROOF ASSEMBLIES SHALL BE SUPPORTED BY FIRE RATED STRUCTURAL WALLS, COLUMNS, & BEAMS.
- SEAL ALL PENETRATIONS FLOOR DECK WITH INSULATION
- FRAMER SHALL PROVIDE IN-WALL BLOCKING AS REQUIRED AT TOILET ACCESSORIES.
- FRAMER TO CAULK PLATES WHERE INDICATED WITH NON-HARDENING BUTYL OR APPROVED EQUAL MATERIAL TO ACHIEVE WATER SEAL.
- GRADE SHALL SLOPE AWAY FROM FOUNDATION AT A SLOPE OF NOT LESS THAN 1:20 (5%) FOR A MIN. DISTANCE OF 10'-0"

# Wyndham Pointe

Apartment Homes  
 80 Brighton Hill Road  
 Richland County, South Carolina  
**MAIL CENTER**

**ABBREVIATIONS**

AL	ALUMINUM ABOVE FINISHED FLOOR	N/C	NOT IN CONTRACT
BD.	BOARD	NOI	NOT TO SCALE
BLDG	BUILDING	OA	OVERALL
BLDG	BLOCKING	ODM	OUTSIDE DAMPENER
BRG	BEARING	OPNG	OPENING
CAB	CABINET	OPRT	OPPOSITE
CC	CEILING	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	P.L.	PLASTIC LAMINATE
COL	COLUMN	PL	PLASTIC LAMINATE PAIR
CON	CONTRACTOR	PT	PAINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED PLYWOOD
CONST.	CONSTRUCTION	PWD	PLYWOOD
CONT.	CONTINUOUS OR CONTINUE	QT	QUARRY TILE
CPT	CABINET	RA	RETURN AIR
CTR	COUNTER	RE	REFERENCE / REFER TO
CT	CERAMIC TILE	RF	ROOF DRAIN
C.J.	CONTROL JOINT	REFR	REFLECTOR
C.O.	CASED OPENING	REIN	REINFORCE (S) (ING)
DIA.	DIAMETER	REOF	REQUIREMENTS REQUIRED
UM	DIMENSION	RES	RESILIENT
DISP.	DISPENSER	RES	ROUGH OPENING
DIV.	DIVISION	SCH	SCHEDULE
DR	DOOR	SC	SCLO CORE
DR	DOORSPROUT	SEC	SECTION
DTL	DETAIL	S.F.	SQUARE FEET
DWG	DRAWING	SHTG	SHEATHING
DWR	DRAWER	SH	SHELF
EA	EACH	SM	SMALL
ELEC.	ELECTRICAL	SPEC	SPECIFICATION
EL	ELEVATION	SPK	SPEAKER
EMER.	EMERGENCY	SQ	SQUARE
EQUIP	EQUIPMENT	SST	STAINLESS STEEL
EQ	EQUAL	STL	STEEL
EXH.	EXHAUST	STOR	STORAGE
EXIST.	EXISTING	SUPP	SUPPLIER
EXT	EXPANSION	SUSP	SUSPENDED
EXT	EXTERIOR	TEL	TELEPHONE
E.J.	EXPANSION JOINT	TEN	TENANT / OWNER / FRANCHISEE
FA	FIRE ALARM	TRP	TYPICAL
FD.	FLOOR DRAIN	T.C.C.	TENANT'S CABINET CONTRACTOR
FE	FIRE EXTINGUISHER	T.E.C.	TENANT'S ELECTRICAL CONTRACTOR
FIN.	FINISHED	T.G.C.	TENANT'S GENERAL CONTRACTOR
FIN.	FLOORING	U.O.N.	UNLESS OTHERWISE NOTED
FCC	FACE OF CONCRETE	V.C.T.	VERTICAL COMPOSITION TILE
FOP	FACE OF FINISH	VERT	VERTICAL
FOM	FACE OF MASONRY	V.F.	VERIFY IN FIELD
FOS	FACE OF STUD	WC	WATER CLOSET
F.P.	FIBERGLASS REINFORCED PANEL	WO	WOOD
FTG	FOOTING	WVF	WELDED WIRE FABRIC
FT	FOOT OR FEET	W	WITH
FURB	FURRED (ING)	W/O	WITHOUT
F.R.	FIRE RESISTANT	W/O	WITHOUT
GA.	GALVANIZED		
GA.	GAUGE		
GL	GRADE OR GRADING		
GLS	GLASS		
GYP	GYP-SUM		
G.C.	GENERAL CONTRACTOR		
GWB	GYP-SUM WALL BOARD		
HC	HOLLOW CORE		
HC	HANDICAPPED		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
I	INSIDE DIAMETER		
INST.	INSTALLER		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
LAM	LAMINATE		
LAV.	LAVATORY		
L.	LANDSCAPE		
MATL	MATERIAL		
MAX	MAXIMUM		
MDP	MEDIUM DENSITY FIBER BOARD		
MCH	MECHANICAL		
MFG	MANUFACTURER		
MN	MINIMUM		
MIR	MIRROR		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MTL	METAL		

**DRAWING SYMBOL KEY**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- WINDOW TAG (SEE WINDOW SCHEDULE)
- FINISH TAG (SEE FINISH SCHEDULE)
- WALL TYPE TAG (SEE WALL / PARTITION SCHEDULE)
- TOILET ACCESSORY TAG (SEE TOILET ACCESSORY SCHEDULE)
- EQUIPMENT TAG (SEE EQUIPMENT SCHEDULE)
- REVISION TAG (SEE PROJECT TRACKING)
- REVISION CLOUD (DENOTES AREA OR ITEM ON DRAWING AFFECTED BY REVISION)
- COLUMN GRID DESIGNATION
- COLUMN CENTERLINE
- ITEM DENOTES ELEVATION MARK
- ELEVATION OF ITEM
- DETAIL REFERENCE TAG
- WALL SECTION REFERENCE TAG
- BUILDING SECTION REFERENCE TAGS
- ELEVATION REFERENCE TAG
- INTERIOR ELEVATION REFERENCE TAGS

**PROJECT DATA**

CODES:

- INTERNATIONAL BUILDING CODE, 2003 EDITION
- INTERNATIONAL FUEL GAS CODE, 2003 EDITION
- INTERNATIONAL MECHANICAL CODE, 2003 EDITION
- INTERNATIONAL PLUMBING CODE 2003 EDITION
- NATIONAL ELECTRICAL CODE, 2002 EDITION, (NFPA 70)
- INTERNATIONAL FIRE PREVENTION CODE, 2003 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2003 EDITION
- THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHALL
- ICC/ANSI A117.1, ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES, 1998 EDITION
- BUILDING ENERGY EFFICIENCY STANDARDS ACT
- THE FAIR HOUSING ACT
- THE AMERICANS WITH DISABILITIES ACT

OCCUPANCY CLASSIFICATION: U  
 CONSTRUCTION TYPE: V-B  
 SPRINKLERED: No  
 OCCUPANT LOAD: 200 GROSS SQ. FT./OCCUPANT  
 MAX. BUILDING AREA PER FLOOR: ALLOWABLE: 5,500 S.F.  
 MAX. # STORIES: ALLOWABLE: 1

**PROJECT TRACKING**

DATE	DESCRIPTION	SHEETS AFFECTED
10-19-04	100% DRAWINGS	ALL SHEETS
11-17-04	REVISIONS PER BUILDING DEPARTMENT COMMENTS	MC-0, MC-3
12-02-05	REVISE INTERNATIONAL CODE TO BE 2003 EDITION	MC-0

**INDEX TO DRAWINGS**

SHEET #	TITLE
MC-0	TITLE SHEET
MC-1	PLANS & ELEVATIONS
MC-2	BUILDING SECTION, DETAILS
MC-3	STRUCTURAL NOTES
MC-E1	ELECTRICAL PLAN

SPECIFICATIONS BOUND SEPARATELY

**PROJECT DIRECTORY**

- Owner / DEVELOPER**  
 Wyndham Pointe Development L.L.C.  
 c/o NorSouth  
 2000 Riveredge Parkway  
 Suite 950  
 Atlanta, GA 30328  
 Bus: (770) 850-8280  
 Bus Fax: (770) 850-8230
- ARCHITECT**  
 Morton M. Gruber, AIA, Architect  
 245 Peachtree Center Ave.  
 Suite 2445  
 Atlanta, GA 30303-1224  
 Bus: (404) 584-1681  
 Bus Fax: (404) 584-1695
- ARCHITECT'S PROJECT MANAGER**  
 Thomas J. Metzger, AIA  
 5801 Fawn Run Drive  
 Flower Mound, TX 75028  
 Bus: (972) 607-4002  
 Fax: (972) 874-7319
- BUILDING DEPARTMENT**  
 RICHLAND COUNTY  
 BUILDING INSPECTIONS DEPT.  
 2020 HAMPTON STREET  
 1ST FLOOR  
 COLUMBIA, SC 29205  
 Bus: (803) 576-2140
- CIVIL ENGINEER**  
 EBERLY & ASSOCIATES  
 JIM LARKIN  
 3580 North Peachtree Road  
 Atlanta, GA 30341  
 Bus: (770) 452-7849 ext.111  
 Bus Fax: (770) 452-0086



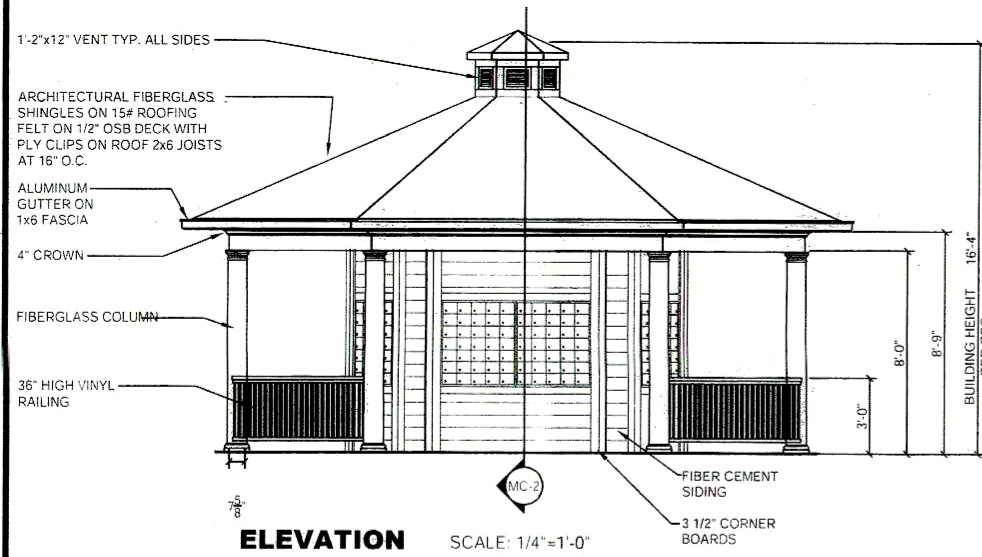
DATE	REVISION
10-19-04	
11-17-04	Δ
12-02-05	Δ

*Wyndham Pointe*  
 Mail Center  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA, 30303 TEL: 404-584-1680 FAX: 404-584-1695

MAIL CENTER TITLE SHEET  
 INDEX, UNIT TABULATION  
 PROJECT DATA, PROJECT DIRECTORY  
 LOCATION MAP, GENERAL NOTES  
 SYMBOL KEY, ABBREVIATIONS

**MC-0**



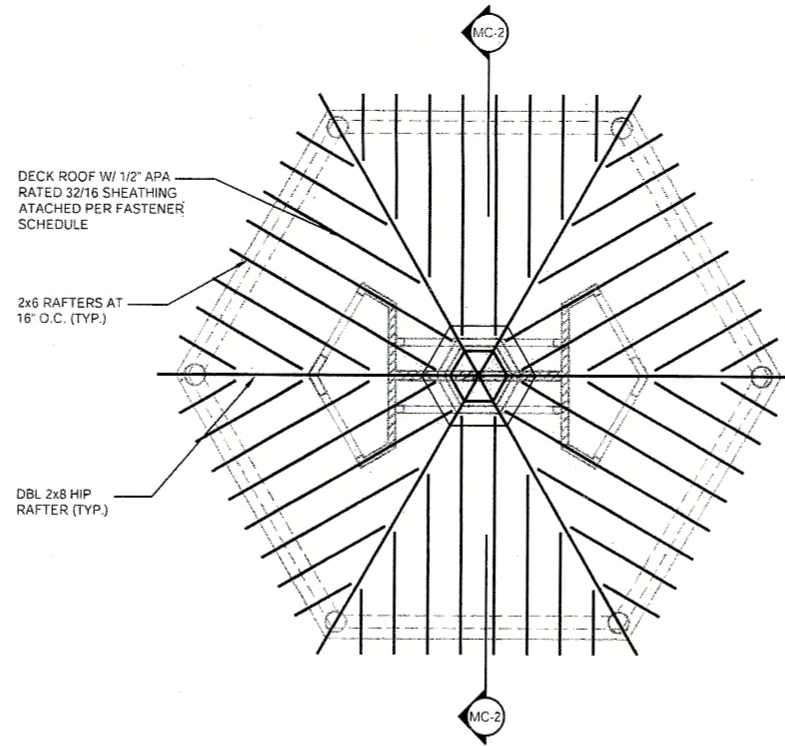
**ELEVATION** SCALE: 1/4"=1'-0"

**ROOF VENTILATION CALC'S**

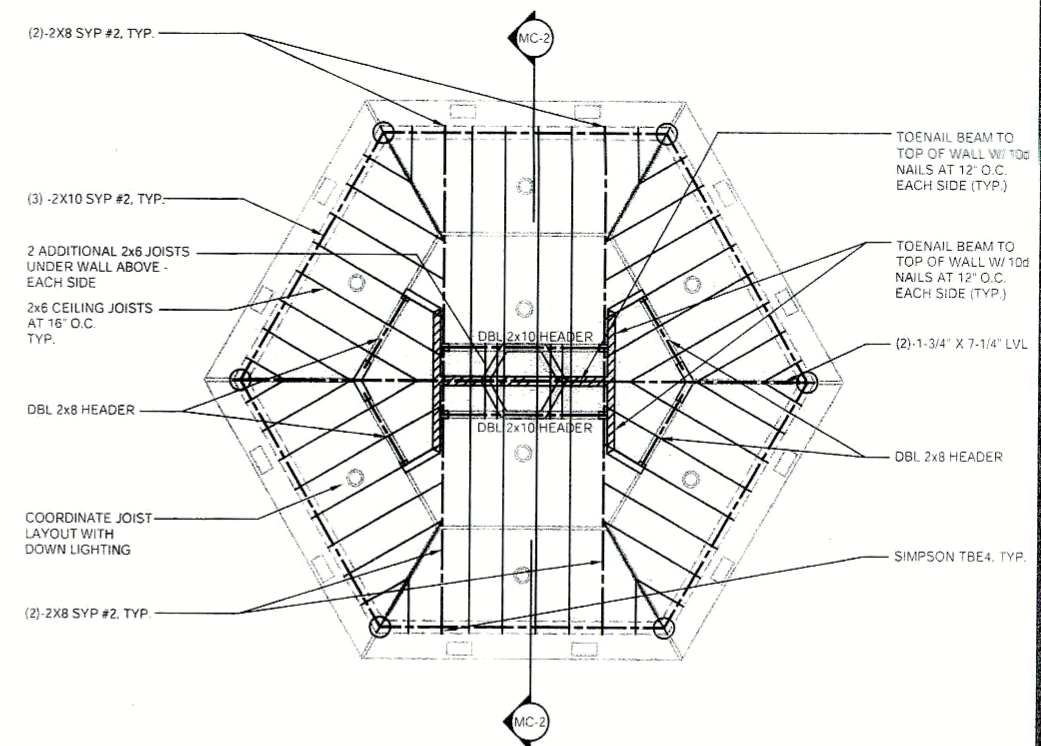
ATTIC AREA = 761 sq.ft.  
 REQUIRED VENTILATION =  $\frac{761}{150} = 5.07$  sq.ft.  
 VENTILATION PROVIDED:  
 PERFORATED SOFFIT: 5 sq.in/ft x 104' = 3.61 sq.ft.  
 CONTINUOUS RIDGE VENT: 13.5 sq.in/ft x 36' = 3.38 sq.ft.  
 GABLE VENTS: 2.18 sq.ft.  
 TOTAL VENTILATION: 9.17 sq.ft.

NOTE: VENTILATION PRODUCTS SHALL MEET THE FOLLOWING REQUIREMENTS:

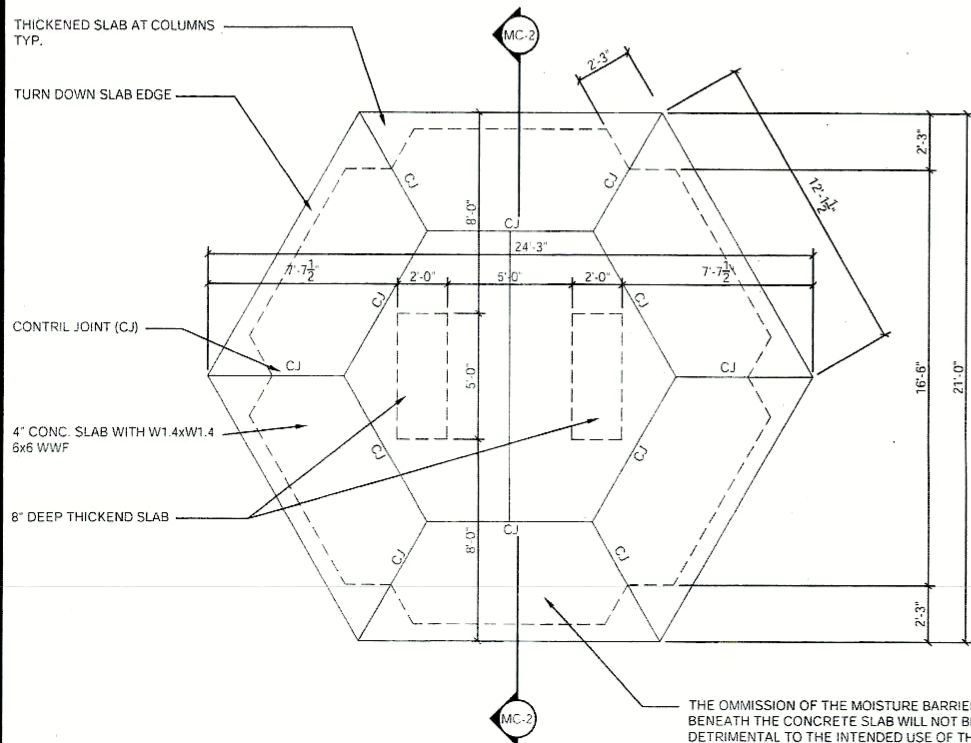
VENTILATION SOFFIT: 5 sq.in/ft  
 CONTINUOUS RIDGE VENT: 13.5 sq.in/ft  
 GABLE VENT: 2.18 sq.ft.



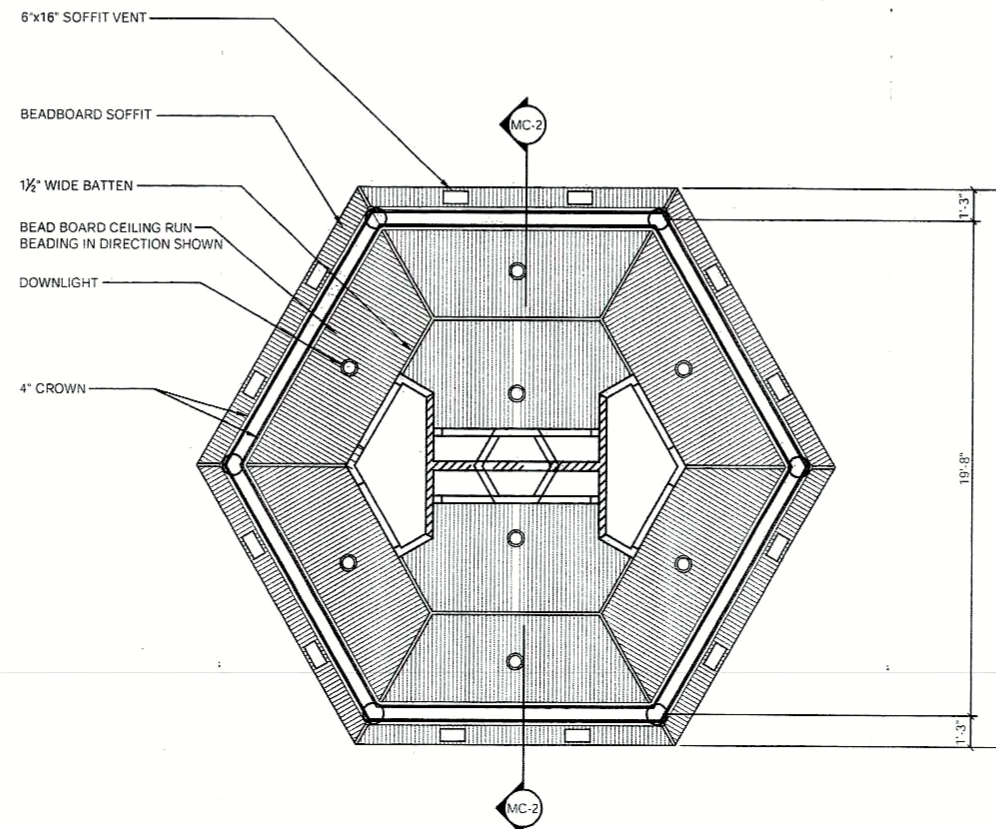
**ROOF FRAMING** SCALE: 1/4"=1'-0"



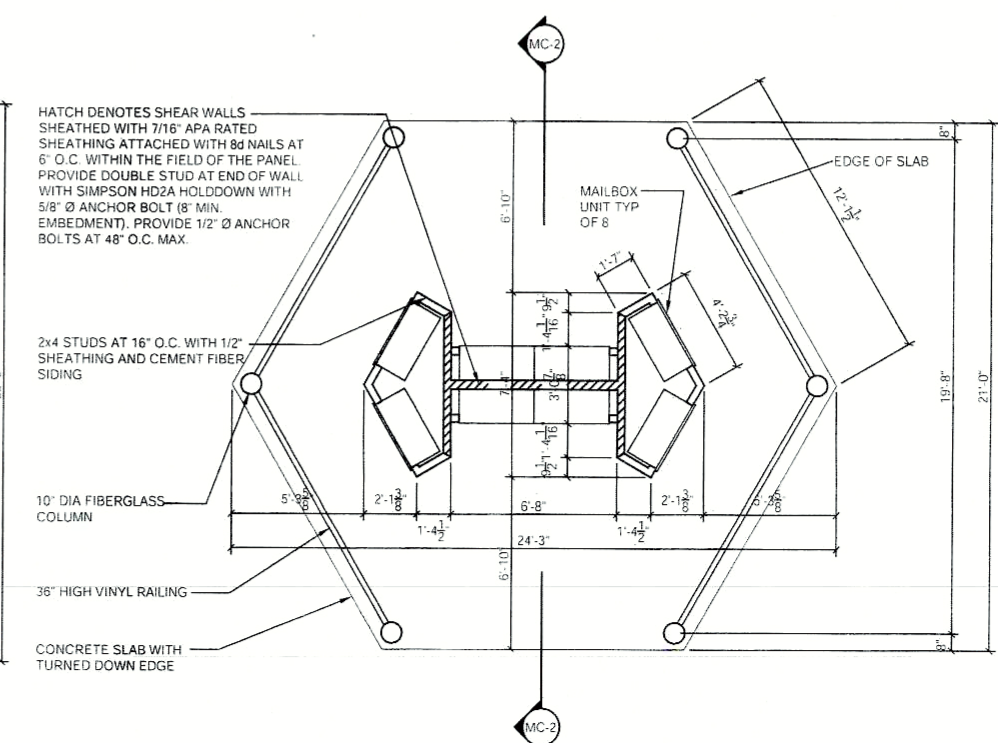
**CEILING JOIST LAYOUT** SCALE: 1/4"=1'-0"



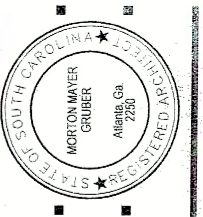
**FOUNDATION PLAN** SCALE: 1/4"=1'-0"



**REFLECTED CEILING PLAN** SCALE: 1/4"=1'-0"



**FLOOR PLAN** SCALE: 1/4"=1'-0"



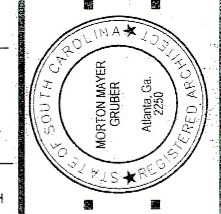
DATE: 10/15/04  
 REVISION:

*Wyndham Pointe*  
 Mail Center  
 80 Brighton Hill Road  
 Richland County, South Carolina

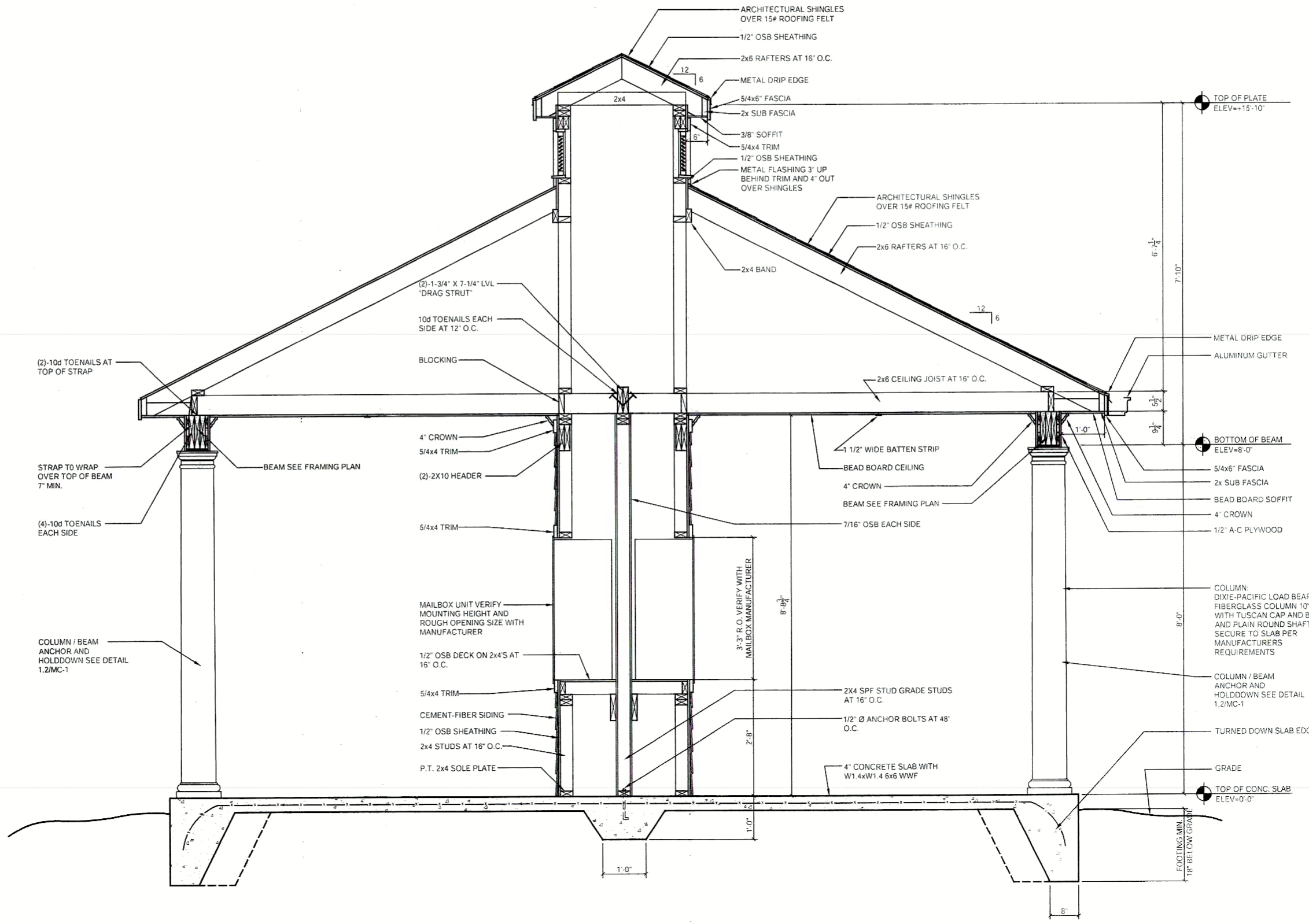
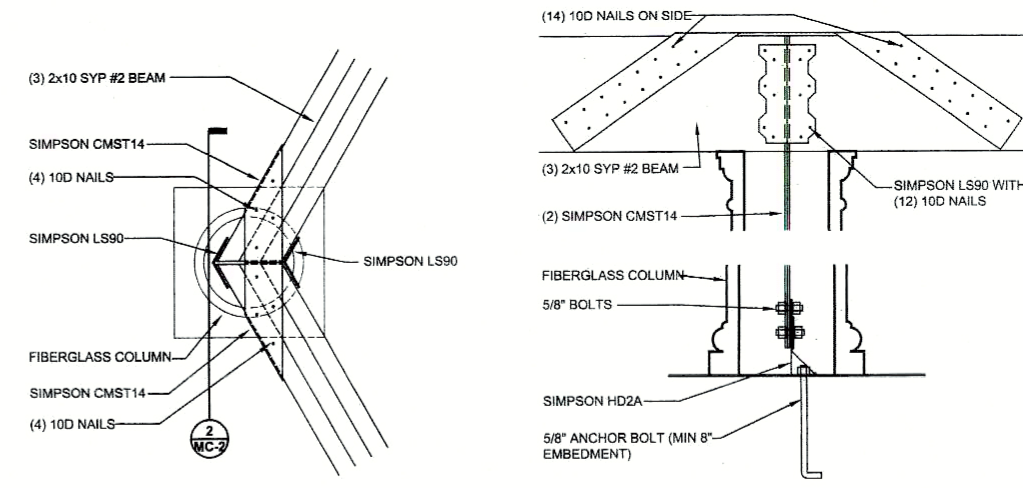
MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2400 ATLANTA, GA. 30303 TEL: 404.564.1000 FAX: 404.564.4885

MAIL CENTER FOUNDATION PLAN  
 FLOOR & FRAMING PLANS  
 ROOF & CEILING PLAN  
 ELEVATIONS

**MC-1**



DATE: 10-19-04  
REVISION:



BUILDING SECTION SCALE: 3/4"=1'-0"

*Wyndham Pointe*  
Mail Center  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PINEAPPLE CENTER DRIVE SUITE 2446 ATLANTA, GA 30333 TEL: 404/584-1880 FAX: 404/584-1885

BUILDING SECTION DETAILS

MC-2

# MAIL CENTER

## GENERAL NOTES AND REQUIREMENTS

- Coordinate and verify all dimensions and details with the architectural drawings. Notify the Architect immediately of any discrepancies.
- If field conditions vary from those indicated on the drawings and necessitate changes to the drawings, contact the Engineer before proceeding.
- Submit shop drawings for review prior to fabrication for the following items:
  - Wood Roof Trusses
  - Concrete mix design
  - Concrete Reinforcing
- Submit concrete tests performed by an ACI certified testing laboratory for seven and twenty-eight day concrete test cylinder breaks.
- Concrete test reports will be available at job site.
- Contractor shall be responsible for bracing and shoring of the structure during construction to ensure stability.
- All truss plans shall be available on job site during the times of inspections.
- Design complies with the Building Code.
- Proof of welder certification shall be available at the job site during times of inspection.

## FOUNDATION NOTES

- Foundations are designed to bear on residual soil or compacted fill with an allowable bearing capacity of 2000 psf. Bearing capacity must be verified by a Geotechnical Engineer prior to concrete placement. If soil test disclose a lesser bearing capacity, this foundation system is void and must be redesigned.
- Footings shall bear 12" minimum into undisturbed earth or mechanically compacted engineered fill. Exterior wall footings shall bear a minimum of 12" below finished grades. Fill soils shall have compaction tests performed by a geotechnical engineer before pouring foundations.
- Soils under footings to be at 98% Standard Proctor Density; oils under slab to be at least 95% Standard Proctor Density.

## GENERAL CONCRETE NOTES

- All materials and workmanship shall conform to project specifications. All detailing, fabrication, accessories, and placement of reinforcing shall conform to the ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures. Design is in accordance with ACI 318 "Building Code Requirements for Reinforced Concrete".
- Concrete shall be normal weight gray concrete and develop a minimum compressive strength of 3000 psi at 28 days, unless otherwise specified.
- Reinforcing bars shall be deformed bars conforming to ASTM A 615: Grade 40 - #3 bars. Grade 60 - #4 bars and larger.
- Welded wire fabric reinforcing shall conform to ASTM A 185.
- Where the length of a bar is given, and it is to be hooked, the hook shall be in addition to the length given.
- Depths of the footing shown on the drawings are minimum. Footing elevation may be lowered if found necessary by the Engineer.
- No horizontal construction joints will be permitted in steps or walls.
- All construction joints shall be rough surface and cleaned before the next concrete pour.
- Where openings occur in slabs, place the reinforcing that normally occurs in line with the opening equally to either side of the opening. Cut no steel in the field.
- Mechanical, electrical and architectural drawings shall be checked for embedded items and penetrations before pouring.
- Lap all reinforcing min. 24" at all splices.

## STRUCTURAL WOOD FRAMING NOTES

- All workmanship shall conform to the National Design Specification For Wood Construction, published by the National Forest Products Association, and the Building Code.
- Lumber sizes specified on the plans are minimum nominal dimensions.
- All lumber shall be identified by an affixed grade mark of a lumber grading or inspecting agency.
- Unless noted otherwise, lumber for beams, headers, and joists shall be Southern Yellow Pine #2. Lumber for rafters shall be Spruce-Pine-Fir #2, and lumber for studs shall be Spruce-Pine-Fir Stud Grade.
- Finger jointed Spruce-Pine-Fir #2 lumber meeting product standard SPS1 and C/QC101.97 can be used for rafters. Finger jointed Stud Grade Spruce-Pine-Fir lumber meeting product standard SPS3 and C/QC101.97 can be used for studs.
- All lumber and wood structural panel members, including preservative-treated, 2 inch thick and less, shall contain not more than 19% moisture at the time of installation.
- Provide pressure treated lumber at all locations specified on the drawings.
- Provide Simpson Strong-Tie, or approved equal, connectors at all locations shown on the plans.
- Laminated Veneer Lumber (LVL) shall be Microlam beams as manufactured by Truss Joist Macmillan, or equal.
- Glulam beams are to be 24F-V3 lamination combination with camber radius of 1600 feet, unless noted otherwise on the plans. Members shall be marked in accordance with ANSI Standard A190.1. No holes or notches are to be cut in glulams without written approval from the engineer.
- Wood I-Joists shall be the size and manufacturer indicated on the plans, or approved equal. Installation shall be in accordance with the manufacturer's recommendations.

## PRE-ENGINEERED WOOD ROOF TRUSSES

- Truss diagrams are for conceptual chord configurations only. Member configuration and sizes are to be determined by manufacturer.
- Trusses shall be designed by a professional engineer registered in the state where project is located and the drawings and calculations shall bear their seal.
- Submit shop drawings for all trusses to the Architect for review prior to fabrication. Drawings shall show truss profile, web and chord member sizes, member forces, and reaction forces.
- Web and chord members shall be a minimum size of 2 x 4.
- Provide connection and installation details for all trusses, showing temporary and permanent bracing and bridging locations in accordance with truss plate Institute's "Handling, Installation and Bracing Metal Plate Connected Wood Trusses", H1B-91.
- Where trusses bear on another truss, truss manufacturer shall provide all required connection hardware.
- Roof framing is not designed to support mechanical equipment.
- All truss plans shall be available on job site during the times of inspection and shall bear clear indication that they have been reviewed and approved for construction by the Project Architect or Engineer-of-record.

## SHEAR WALLS NOTES

- Provide 2" nominal framing at all unsupported edges of shear wall structural panels.
- See MC-1 for shear wall specification and holddown locations.

## DESIGN LOADS

### Roof Truss Design Loads:

Top Chord Live Load = 20 psf  
Top Chord Dead Load = 10 psf

Bottom Chord Live Load = 0 psf  
Bottom Chord Dead Load = 10 psf

Wind Load: Design for 90 mph wind per Building Code

Iw = 1.0  
Exposure Category B

Seismic Load: Design per Section 1617 of the Building Code

Seismic Use Group I  
Site Class D

S<sub>w</sub> = 0.30g  
S<sub>ds</sub> = 0.18g  
Seismic Design Category C  
Basic Seismic Force Resisting System  
Bearing wall system with light framed shear panels  
R = 6 for wood sheathed  
Simplified Analysis Procedure  
Seismic Base Shear  
Transverse = 372lb  
Longitudinal = 372lb

TABLE 2304.9.1  
FASTENER SCHEDULE

CONNECTION	FASTENING <sup>A.M.</sup>	LOCATION
1. Joist to sill or girder	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
2. Bridging to joist	2-8d common 2-3" x 0.131" nail 2-3" 14 gage staple	toe/nail each end
3. 1" x 6" subfloor or less to each joist	2-8d common	face nail
4. Wider than 1" x 6" subfloor to each joist	3-8d common	face nail
5. 2" subfloor to joist or girder	2-16d common	blind and face nail
6. Sole plate to joist or blocking	16d at 16" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Sole plate to joist or blocking at braced wall panels	3-16d per 16" 3" x 0.131" nail per 16" 3" 14 gage staple per 16"	braced wall panels
7. Top plate to stud	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	end nail
8. Stud to sole plate	4-8d common 4-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	end nail
9. Double studs	16d at 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	face nail
10. Double top plates	16d at 16" o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Double top plates	8-16d common 12-3" x 0.131" nail 12-3" 14 gage staple typical face nail	lap splice
11. Blocking between joist or rafters to top plate	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
12. Rim joist to top plate	8d at 6" (152 mm) o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toe/nail
13. Top plates, laps and intersections	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	face nail
14. Continuous header, two pieces	16d common	16" o.c. along edge
15. Ceiling joists to plate	3-8d common 5-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
16. Continuous header to stud	4-8d common	toe/nail
17. Ceiling joists laps over partitions (See Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common minimum Table 2308.10.4.1 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
18. Ceiling joists to parallel rafters (See Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common minimum Table 2308.10.4.1 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
19. Rafter to joist (See Section 2308.10.1, Table 2308.10.1)	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
20. 1" diagonal brace to each stud and plate	2-8d common 2-3" x 0.131" nail 2-3" 14 gage staples face nail	face nail
21. 1" x 6" sheathing to each bearing wall	7-8d common	face nail
22. Wider than 1" x 6" sheathing to each bearing	3-8d common	face nail
23. Built-up corner studs	16d common 3" x 0.131" nail 3" 14 gage staple	24" o.c. 16" o.c. 16" o.c.
24. Built-up corner studs	16d common 3" x 0.131" nail 3" 14 gage staple	24" o.c. 16" o.c. 16" o.c.
24. Built-up girder and beams	20d common 32" o.c. 3" x 0.131" nail 24" o.c. 3" 14 gage staple 24" o.c.	face nail at top and bottom staggered on opposite sides
	2-20d common 3-2" x 0.131" nail 3-3" 14 gage staple	face nail at ends and at each splice
25. 2" planks	16d common	at each bearing
26. Collar tie to rafter	3-16d common 4-3" x 0.131" nail 4-3" 14 gage staple face nail	face nail
27. Jack rafter to hip	3-10d common 4-3" x 0.131" nail 4-3" 14 gage staple	toe/nail
	3-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	face nail
28. Roof rafter to 2-ry ridge beam	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	toe/nail
	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	face nail
29. Joist to band joist	3-16d common 5-3" x 0.131" nail 5-3" 14 gage staple	face nail
30. Ledger strip	3-16d common 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
31. Wood structural panels and particleboard <sup>b</sup> Subfloor, roof and wall sheathing (to framing)	1/2" and less 6d <sup>c</sup> 2-3/8" x 0.113 nail <sup>d</sup> 1-3/4" 16 gage <sup>e</sup> 19/32" to 3/4" 8d <sup>f</sup> or 6d <sup>g</sup> 2" 16 gage <sup>h</sup>	
Single Floor (combination subfloor system to framing)	3/8" to 1" 8d <sup>c</sup> 1-1/8" to 1-1/4" 10d <sup>d</sup> or 8d <sup>e</sup> 3/4" and less 8d <sup>f</sup> 3/8" to 1" 8d <sup>g</sup> 1-1/8" to 1-1/4" 10d <sup>d</sup> or 8d <sup>e</sup>	
32. Panel siding (to framing)	1/2" or less 6d <sup>c</sup> 5/8" 8d <sup>f</sup>	
33. Fiberboard sheathing <sup>g</sup>	1/2" No. 11 gage roofing nail <sup>h</sup> 8d common nail No. 16 gage staple <sup>i</sup> 25/32" No. 11 gage roofing nail <sup>h</sup> 8d common nail No. 16 gage staple <sup>i</sup>	
34. Interior paneling	11d <sup>c</sup> 3/8"	4d <sup>f</sup> 8d <sup>h</sup>



DATE: 10/19/04  
REVISION: 11/17/04

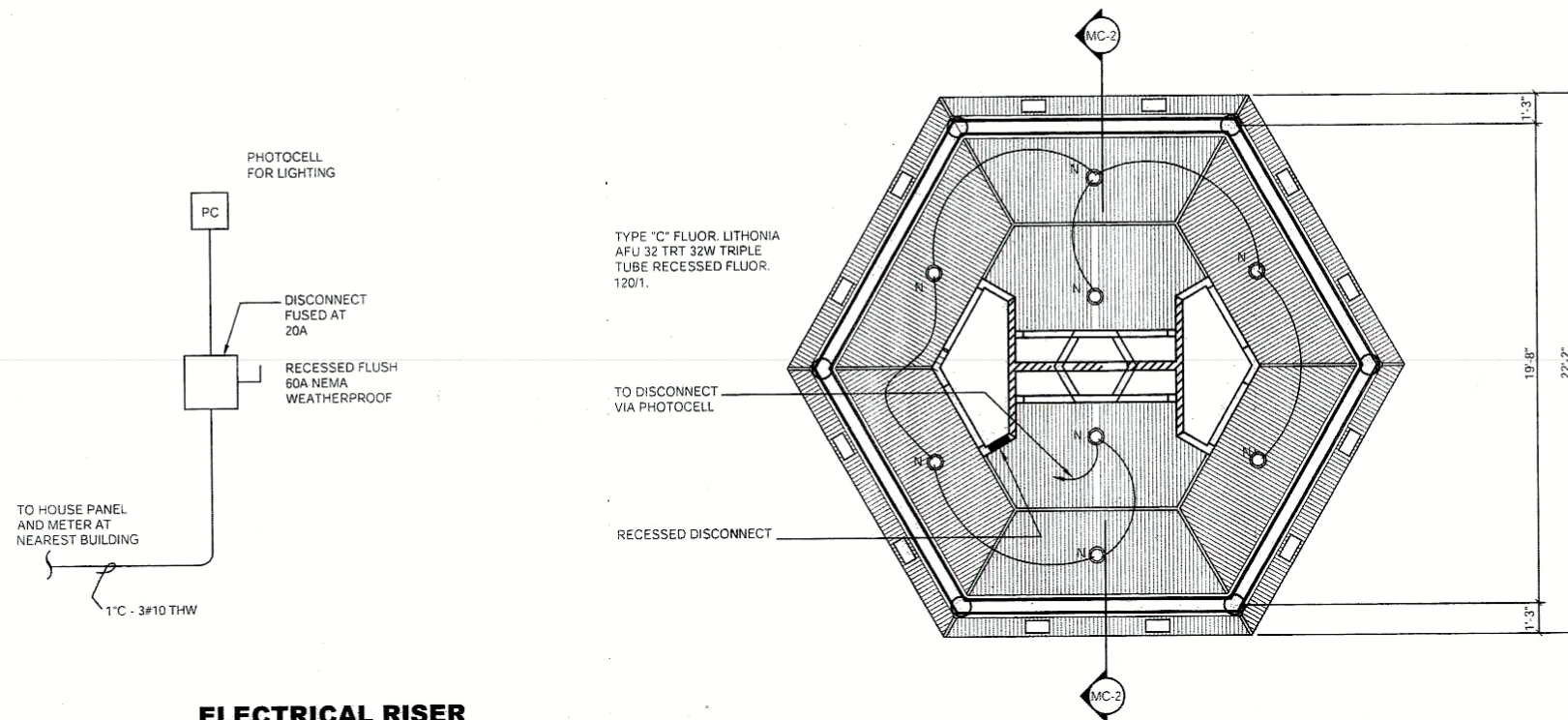
*Wynndham Pointe*  
Mail Center  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/984-1888 FAX: 404/984-1895

STRUCTURAL NOTES

**MC-3**

LIGHTING FIXTURE SCHEDULE					
MARK	TYPE	MANUFACTURER	MODEL	LAMP	REMARKS
O <sub>N</sub>	RECESSED FLUORESCENT	FIXTURE: ROYAL TRIM: ROYAL	8150H 8591CL	(1) 26 W	
LIGHTING AVAILABLE FROM ALLEN CARLOQUIST VALUE LIGHTING (770) 874-2192					



**ELECTRICAL RISER**

0.3 KVA LIGHTING X 125% = 0.4KVA  
0.4 KVA CONNECTED @120/240/1 = 1.6 AMPS

**ELECTRICAL PLAN**

SCALE: 1/4"=1'-0"

DATE  
10/19/04

REVISION

A & E DESIGNERS, INC.  
615 Dalton Place Suite #100  
Pineville, NC 28134  
Phone: (866) 273-1000  
Fax: (866) 273-1657  
EMAIL: derrick@aedesigners.net  
WEBSITE: www.aedesigners.net



*Wyndham Pointe*  
Mail Center  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/984-1880 FAX: 404/984-1886

**GENERAL NOTES**

- 1. THESE NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS.
- 2. ALL WORK INCLUDING CIVIL, MECHANICAL, PLUMBING & ELECTRICAL SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, & LOCAL CODE REQUIREMENTS AND IN ACCORDANCE WITH ACCEPTED CONSTRUCTION INDUSTRY STANDARDS.
- 3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS, INSPECTIONS AND APPROVALS INCLUDING THOSE RELATED TO BUILDING AND SIGNAGE.
- 4. ALL COMBUSTIBLE INTERIOR FINISHES SHALL BE EITHER CLASS A, B, OR C MATERIALS WITH FLAME SPREAD RATING NOT TO EXCEED 200. MATERIAL SHALL BE APPROPRIATE CLASS FOR SPACE IN WHICH IT IS USED PER CODES. IF REQUESTED, CONTRACTOR SHALL PROVIDE TO THE FIRE SERVICES AUTHORITY TEST DATA VERIFYING COMPLIANCE.
- 5. PRIOR TO TURNING BUILDING OVER TO OWNER, REPAIR OR REPLACE ALL MATERIALS, GLASS, OR ASSEMBLIES DAMAGED OR BROKEN DURING CONSTRUCTION.
- 6. AT ALL RATED WALLS AND RATED CEILINGS, ALL PLUMBING, ELECTRICAL & HVAC PENETRATIONS SHALL BE SEALED WITH APPROVED FIRESTOPPING MATERIAL.
- 7. FRAMER SHALL PROVIDE IN-WALL BLOCKING AS REQUIRED AT BATH ACCESSORIES.
- 8. FRAMER TO CAULK PLATES WHERE INDICATED WITH NON-HARDENING BUTYL OR APPROVED EQUAL MATERIAL TO ACHIEVE WATER SEAL.
- 9. G.C. SHALL SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS TO ARCHITECT AND GOVERNING AUTHORITIES PRIOR TO INSTALLATION.
- 10. (FIRE ALARM CONTRACTOR) SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL AND OBTAIN A FIRE ALARM SYSTEM PERMIT PRIOR TO INSTALLATION. ANY FIRE ALARM PLANS INCLUDED IN THIS SET OF PLANS ARE FOR REFERENCE ONLY. NOT FOR PERMIT.
- 11. SIGNS, LOCATION, NUMBER AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE SIGN AND LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
- 12. INSULATION REQUIREMENTS:  
ATTIC INSULATION: MIN R-30  
EXTERIOR WALLS: MIN R-13  
INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E84.
- 13. MASONRY SPECS:  
BRICK: QUEEN SIZE, RUNNING BOND  
MORTAR: TYPE N PER ASTM C270  
BRICK TIES: #4 GALV CORR METAL - BRICK TIES @ 16" O.C. VERTICALLY & 32" O.C. HORIZONTALLY  
WEEPS: 3/16" Ø MIN.  
PROVIDE WEEP HOLES AT 32" O.C. MIN IN THE FOLLOWING AREAS - LINTELS, BASE OF WALL, LEDGES, AND AT ALL FLASHINGS.

- 14. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR SIMULATED STONE/PRECAST LINTELS WITH DETAILS INDICATING SIZE, REINFORCEMENT AND END BEARING CONDITIONS. IF LINTELS USED ARE NOT STRUCTURAL, PROVIDE LINTEL ANGLE PER LINTEL SCHEDULE SHEET S1.
- 15. IF FIRE EXTINGUISHERS PROVIDED PER THE REQUIREMENTS OF NFPA 10, THE SIZE SHALL BE A MINIMUM OF 2A-10BC. 3 ISARES REQUIRED AND SHALL BE INSTALLED AT A MAXIMUM OF 48" ABOVE THE FINISHED FLOOR TO THE TOP OF THE HANDLE.
- 16. POST OCCUPANCY LOAD SIGNS PROVIDED BY BUILDING DEPARTMENT IN THE FOLLOWING LOCATIONS: LOUNGE, ACTIVITY ROOM, FITNESS CENTER.
- 17. POST SIGN IN POOL ROOM WHICH READS THE FOLLOWING: MAXIMUM AMOUNT OF STORAGE ALLOWED IN THIS ROOM FOR CLASS 3 OXIDIZERS (CHLORINE) IS 200 LBS SOLID OR 20 GALLONS LIQUID. QUANTITIES OF ANY HAZARDOUS MATERIAL STORED IN THIS ROOM SHALL NOT EXCEED LIMITS ALLOWED BY BUILDING CODES.

# Wyndham Pointe

## Apartment Homes

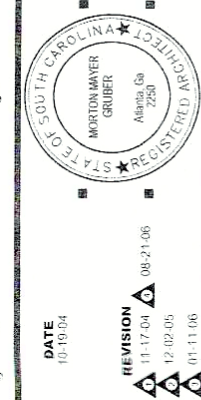
### 80 Brighton Hill Road

#### Richland County, South Carolina

# CLUBHOUSE

**SUBMITTAL REQUIREMENTS**

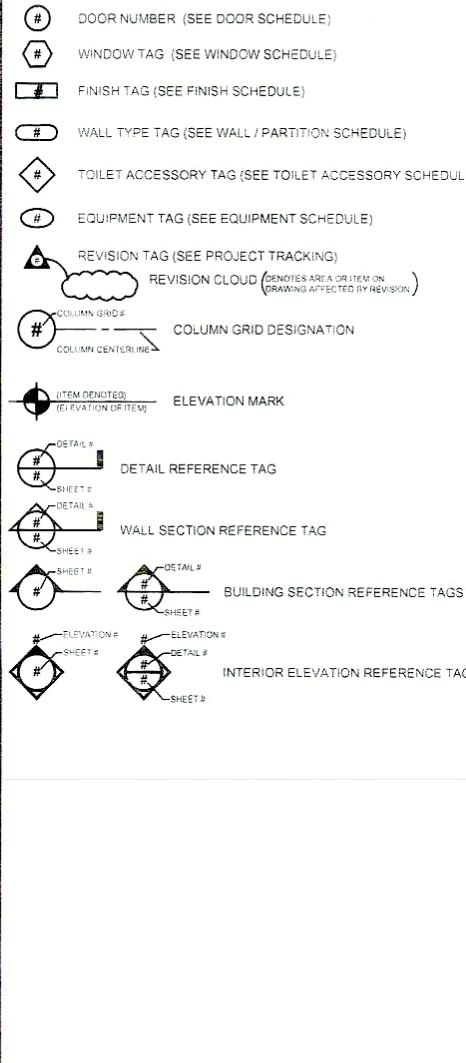
- Metal Plate Connected Wood Truss**  
Submittal shall include the following information:  
 1. Shall be signed and sealed by engineer registered in the state in which project is being constructed. Submittals sent without appropriate seal and signature will not be reviewed and will be rejected.  
 2. Drawings shall bear an indication that they have been reviewed by the General Contractor prior to being submitted to architect.  
 3. Slope or depth, span and spacing  
 4. Location of Joists  
 5. Required bearing widths  
 6. Design Loads as applicable and meeting requirements indicated on structural drawings.  
 7. Top chord live load (including snow load)  
 8. Top chord dead load  
 9. Bottom chord live load  
 10. Bottom chord dead load  
 11. Concentrated loads and their points of application  
 12. Controlling wind and earthquake loads  
 13. Adjustments to lumber and metal connector plate design values for conditions of use.  
 14. Each reaction force and direction  
 15. Metal connector plate type, size thickness or gage, and the dimensioned location of each metal connector plate except where symmetrically located relative to the joint interface  
 16. Lumber size species and grade for each member  
 17. Connection requirements for:  
     - Truss to girder  
     - Truss ply to ply  
     - Field splices  
 18. Calculated deflection ratio and/or maximum deflection for live and total load  
 19. maximum axial compression forces in the truss members to enable the building designer to design the size, connections and anchorage of the permanent continuous lateral bracing. Forces shall be shown on the truss construction documents or on supplemental documents.  
 20. Required permanent truss member bracing locations
- Fire Alarm System Submittal**  
Submittal shall include the following information:  
 1. Drawings shall be signed and sealed by an engineer licensed in the state where the project is located.  
 2. Drawings shall indicate required codes for compliance  
 3. Floor Plans locating all devices and equipment  
 4. Alarm control and trouble signaling devices  
 5. Annunciator  
 6. Power connection  
 7. Battery calculations  
 8. Conductor Types and Sizes  
 9. Voltage drop calculations  
 10. Manufacturers' model numbers and listing information for equipment devices and materials  
 11. Details of cabling height and construction  
 12. The interface of fire safety control functions  
 13. All details necessary to properly install system  
 Submit Drawings to Fire Marshal, Building Dept. or Other Governing Authorities as required by Each.  
 Submit one set to architect for their records
- Fire Suppression System Submittal**  
Submittal shall include the following information:  
 1. Drawings signed and sealed by an engineer licensed in the state where the project is located.  
 2. Calculations signed and sealed by an engineer licensed in the state where the project is located.  
 3. Drawings shall indicate required codes for compliance  
 4. Floor Plans locating all sprinkler heads and piping layout  
 5. Drawing shall include complete seismic support details  
 6. All details needed to install system  
 7. Identification method for all rooms and equipment.



**ABBREVIATIONS**

A.L.	ALUMINUM ABOVE FINISHED FLOOR	N.C.M.	NOT IN CONTRACT
B.L.	BRICK	O.A.	OVERALL OUTSIDE DIMENSION
BLK.	BLIND	O.S.	OUTSIDE SURFACE
BWD.	BREAK	O.P.T.	OUTLET
CAB.	CABINET	O.T.	OUTLET
C.C.	CONCRETE CORE	P.A.	PAINT
C.C.	CONCRETE CURB	P.L.	PLASTER
C.C.	CONCRETE CURB	P.L.	PLASTER
C.C.	CONCRETE CURB	P.L.	PLASTER
C.C.	CONCRETE CURB	P.L.	PLASTER
C.C.	CONCRETE CURB	P.L.	PLASTER

**DRAWING SYMBOL KEY**



**PROJECT DATA**

**CODES**  
 -INTERNATIONAL BUILDING CODE, 2003 EDITION  
 -INTERNATIONAL FUEL GAS CODE, 2003 EDITION  
 -INTERNATIONAL MECHANICAL CODE, 2003 EDITION  
 -INTERNATIONAL PLUMBING CODE, 2003 EDITION  
 -NATIONAL ELECTRICAL CODE, 2002 EDITION (NFPA 70)  
 -INTERNATIONAL FIRE PREVENTION CODE, 2003 EDITION  
 -INTERNATIONAL ENERGY CONSERVATION CODE, 2003 EDITION  
 -THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHALL  
 -ICC/ANSI A117.1, ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES, 1998 EDITION  
 -BUILDING ENERGY EFFICIENCY STANDARDS ACT  
 -THE FAIR HOUSING ACT  
 -THE AMERICANS WITH DISABILITIES ACT

**OCCUPANCY CLASSIFICATION** BUSINESS  
**CONSTRUCTION TYPE** TYPE VI

**SPRINKLERED** NO

**OCCUPANT LOAD**

GENERAL OFFICE AREA	=	1973 SF/100	=	20
FITNESS	=	503 SF/15	=	34
LOUNGE	=	1071 SF/17	=	153
<b>TOTAL</b>				
LAUNDRY	=	284 SF/100	=	3
POOL EQUIPMENT	=	173 SF/200	=	1
MAINT. & POOL STORAGE	=	1042 SF/300	=	4

BUILDING AREA	ALLOWABLE	ACTUAL
AREA PER TABLE	15,000	5,946

**PROJECT TRACKING**

DATE	DESCRIPTION	SHEETS AFFECTED
10-19-04	100% DRAWINGS	ALL SHEETS
11-17-04	REVISIONS PER BLDG DEPT AND OWNER COMMENTS. ADD EQUIP SCHED., TOILET ACCESSORY SCHED., ADD DRAINS TO DOWNSPOUTS AT PLANTERS, ADD DISHWASHER, REVISE PLUMBING FIXTURE SCHED.	CH-T1, CH-A2.1, CH-A4.1, CH-A7.1, CH-A7.4, CH-A7.6, CH-A8.1, CH-A8.2, CH-A9.4, CH-A11.1, CH-P1.1, CH-P2.1, CH-P2.2, CH-E1.1
12-02-05	ADD MAINT. & POOL FURN. STOR., DELETE ACTIVITY ROOM, ASSIST MGR & CONF ROOM, REARRANGE LAYOUT PER OWNERS REQUIREMENTS	ALL SHEETS
01-11-06	REMOVE STONE WAINSCOT ON EXTERIOR, DELETE KITCHEN AND REVISE LOUNGE & FOYER, MISC REVISIONS.	ALL SHEETS
08-21-06	REVISIONS TO POWER, LIGHTING AND CEILING PLANS	CH-T1, CH-A3.1, CH-A1.1, CH-E1.1, CH-E2.1, CH-E3.1

**PROJECT DIRECTORY**

**Owner | DEVELOPER**  
Wyndham Pointe Development L.L.C.  
2000 Riverside Parkway  
Suite 950  
Atlanta, GA 30328  
Bus: (770) 850-8280  
Bus. Fax: (770) 850-8230

**ARCHITECT**  
Morton M. Gruber, AIA, Architect  
245 Peachtree Center Ave.  
Suite 2445  
Atlanta, GA 30303-1224  
Bus: (404) 584-1681  
Bus. Fax: (404) 584-1695

**ARCHITECT'S PROJECT MANAGER**  
Thomas J. Metzger, AIA  
5801 Fawn Run Drive  
Flower Mound, TX 75028  
Bus: (972) 607-4002  
Fax: (972) 674-7319

**BUILDING DEPARTMENT**  
RICHLAND COUNTY  
BUILDING INSPECTIONS DEPT  
2020 HAMPTON STREET  
1ST FLOOR  
COLUMBIA, SC 29206  
Bus: (803) 576-2140

**CIVIL ENGINEER**  
EBERLY & ASSOCIATES  
JILL LARKIN  
3680 North Peachtree Road  
Atlanta, GA 30341  
Bus: (770) 452-7849 ext.1111  
Bus. Fax: (770) 452-0086

**INDEX TO DRAWINGS**

SHEET #	TITLE
CH-T1	TITLE SHEET, INDEX, PROJECT DATA, PROJECT DIRECTORY, GENERAL NOTES, SYMBOL KEY
<b>ARCHITECTURAL</b>	
CH-A1.1	FOUNDATION PLAN
CH-A2.1	FLOOR PLAN
CH-A3.1	REFLECTED CEILING PLAN
CH-A4.1	ROOF PLAN
CH-A5.1	ROOF FRAMING PLAN
CH-A6.1	FRONT ELEVATION, DETAILS
CH-A6.2	REAR ELEVATION, DETAILS
CH-A6.3	RIGHT ELEVATION, DETAILS
CH-A6.4	LEFT ELEVATION, DETAILS
CH-A7.1	INTERIOR ELEVATIONS - LOUNGE, KITCHEN
CH-A7.2	INT. ELEVATIONS - OFFICE #1, FOYER, RECEPTION
CH-A7.3	INT. ELEVATIONS - WORK AREA, MANAGER HALLWAY
CH-A7.4	INT. ELEVATIONS - FILE ROOM/BREAK ROOM, KEY CLOSET, TOILETS
CH-A7.5	INT. ELEVATIONS - FITNESS CENTER, TECHNOLOGY CTR, LAUNDRY
CH-A8.1	DOOR SCHEDULE, DOOR TYPES, WINDOW SCHEDULE
CH-A8.2	FINISH SCHEDULES
CH-A9.1	BUILDING SECTION DETAILS
CH-A9.2	BUILDING SECTION DETAILS
CH-A9.3	BUILDING SECTION, RAMP DETAILS
CH-A9.4	BUILDING SECTION DETAILS
CH-A9.5	BUILDING SECTION DETAILS
CH-A10.1	WALL SECTION
CH-A11.1	FASTNER SCHEDULE & STRUCTURAL REQUIREMENTS
<b>MECHANICAL, PLUMBING, ELECTRICAL</b>	
CH-M1.1	HVAC PLAN
CH-P1.1	PLUMBING PLAN
CH-P2.1	RISER DIAGRAMS - WATER
CH-P2.2	RISER DIAGRAMS - WASTE
CH-E1.1	POWER PLAN
CH-E2.1	LIGHTING PLAN
CH-E3.1	LOW VOLTAGE PLAN
CH-E4.1	PANEL SCHEDULE RISERS
CH-MPE-0	THROUGH PENETRATION DETAILS
<b>SPECIFICATIONS</b>	
TO BE BOUND UNDER SEPARATE COVER	

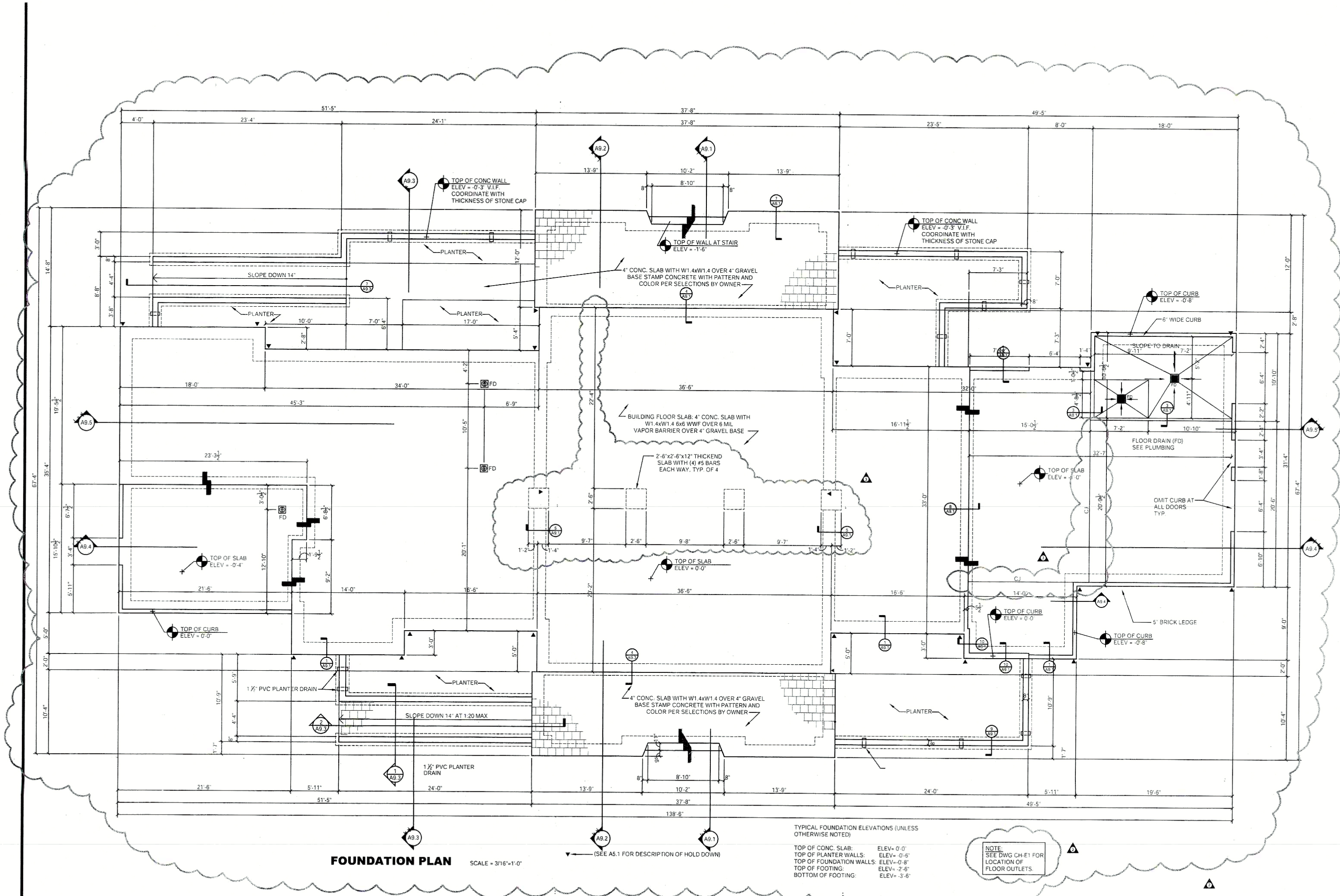
**Wyndham Pointe**  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

TITLE SHEET  
INDEX UNIT TABULATION  
PROJECT DATA, PROJECT DIRECTORY  
LOCATION MAP, GENERAL NOTES  
SYMBOL KEY, ABBREVIATIONS

**CH-T1**

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE, SUITE 2445, ATLANTA, GA 30303, TEL: 404/584-1680, FAX: 404/584-1695





**FOUNDATION PLAN** SCALE = 3/16"=1'-0"

TYPICAL FOUNDATION ELEVATIONS (UNLESS OTHERWISE NOTED)  
 TOP OF CONC. SLAB: ELEV = 0.0'  
 TOP OF PLANTER WALLS: ELEV = -0.5'  
 TOP OF FOUNDATION WALLS: ELEV = -0.8'  
 TOP OF FOOTING: ELEV = -2.5'  
 BOTTOM OF FOOTING: ELEV = -3.6'

NOTE: SEE DWG CH-E1 FOR LOCATION OF FLOOR OUTLETS



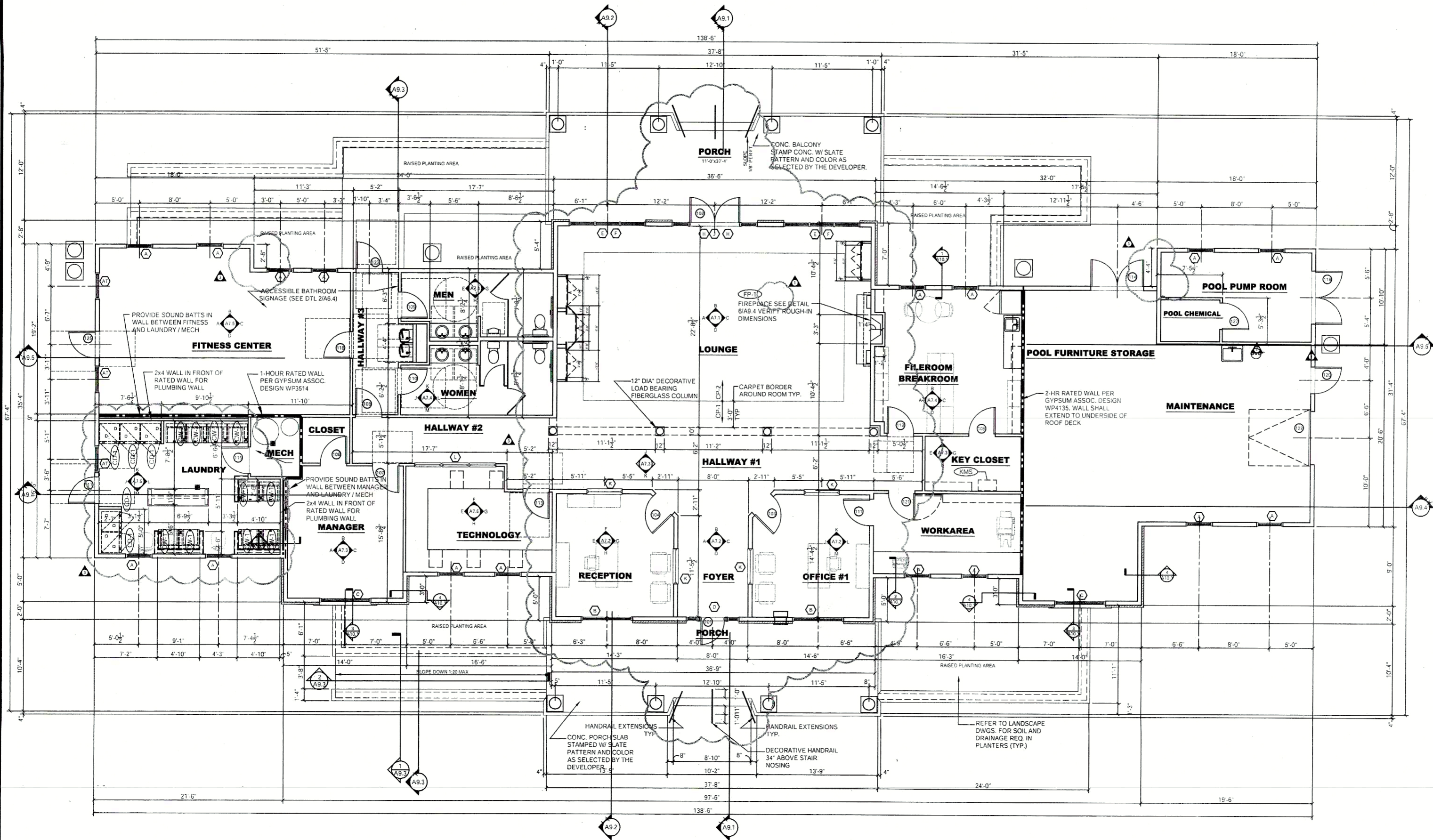
DATE: 10-19-04  
 REVISION: 12-02-05  
 01-11-06

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404-884-1880 FAX: 404-884-1886

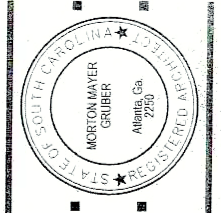
FOUNDATION PLAN

**CH-A1.1**



**FLOOR PLAN**

SCALE = 3/16"=1'-0"



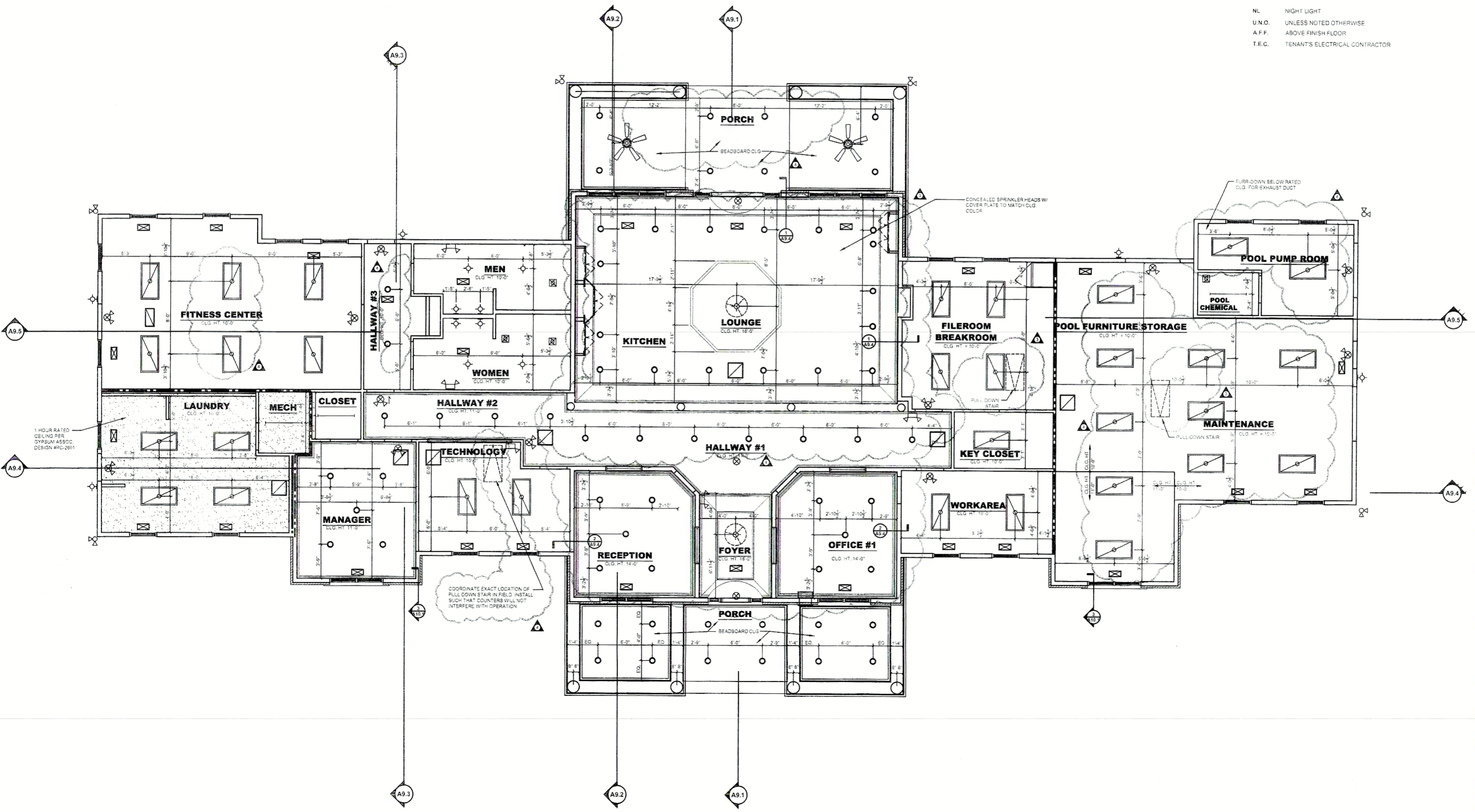
DATE	REVISION
11/17/04	1
12/02/05	2
01/11/05	3

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/894-1680 FAX 404/894-1695

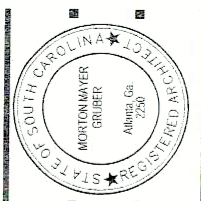
FLOOR PLAN

**CH-A2.1**



- REFLECTED CEILING KEY**
- 2x4' FLUOR ACRYLIC TROFFER 3 T8 LAMPS
  - 1x4' FLUOR WRAP-AROUND ACRYLIC SURFACE MOUNTED 2 T8 LAMPS
  - STRIP FLOOR 2 LAMPS
  - INCANDESCENT DOWNLIGHT
  - FIRE ALARM HORN/STROBE
  - FIRE ALARM STROBE
  - SMOKE DETECTOR HARD WIRED INTO ALARM SYSTEM
  - 2-HEAD EMERGENCY LIGHTS WITH BATTERY PACK BACK-UP
  - EXIT SIGN WITH LIGHTS
  - EXTERIOR DUAL FLOODLIGHT TO PHOTOCELL
  - NL NIGHT LIGHT
  - U.N.O. UNLESS NOTED OTHERWISE
  - A.F.F. ABOVE FINISH FLOOR
  - T.E.C. TENANT'S ELECTRICAL CONTRACTOR

FIRST FLOOR REFLECTED CEILING PLAN SCALE = 3/16"=1'-0"



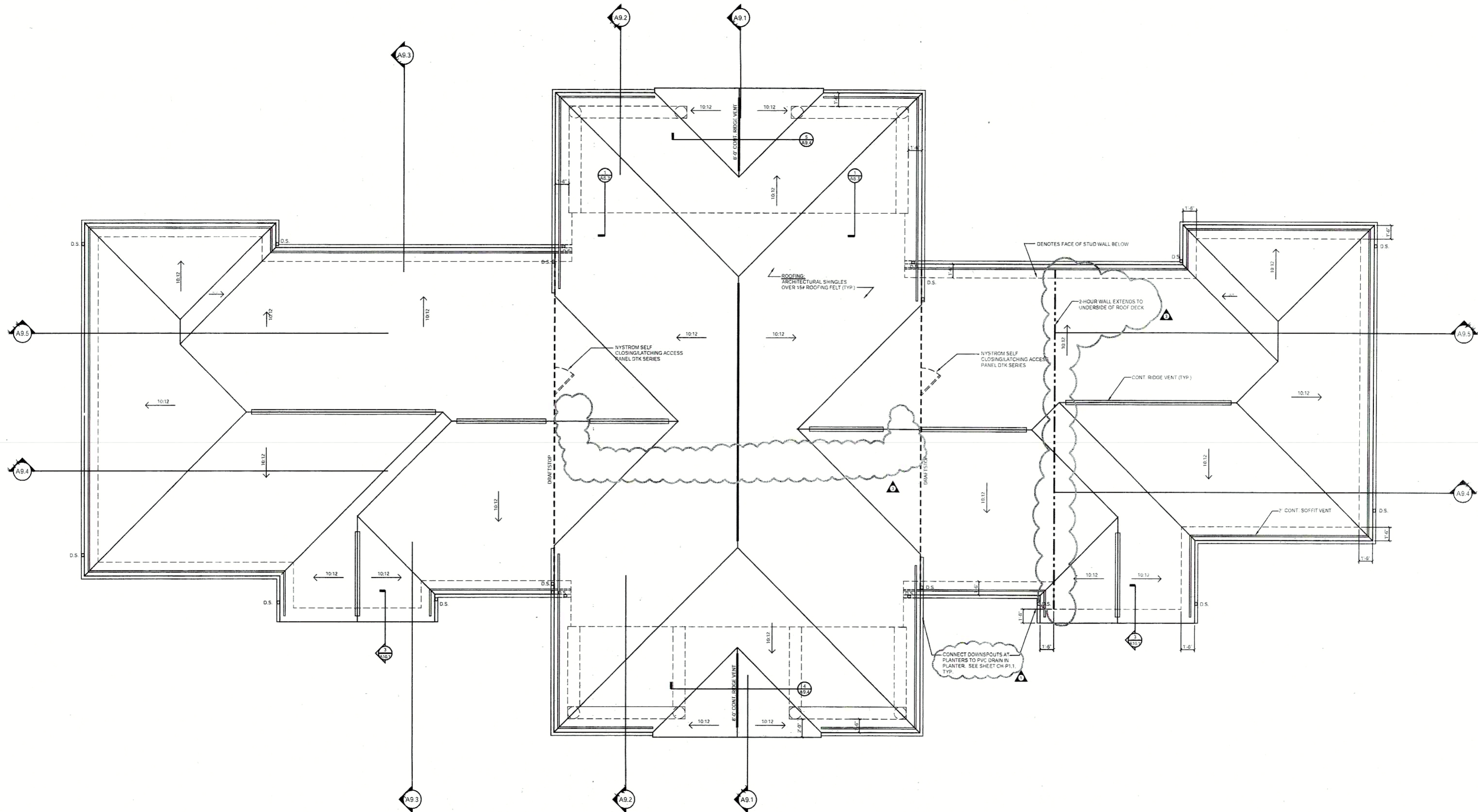
DATE 10/11/04  
 REVISION 08-21-06  
 12-17-07  
 01-11-08

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1800 FAX: 404/584-1806

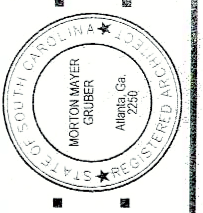
FIRST FLOOR REFLECTED CEILING PLAN

CH-A3.1



**ROOF PLAN**

SCALE = 3/16"=1'-0"



DATE  
10/19/04

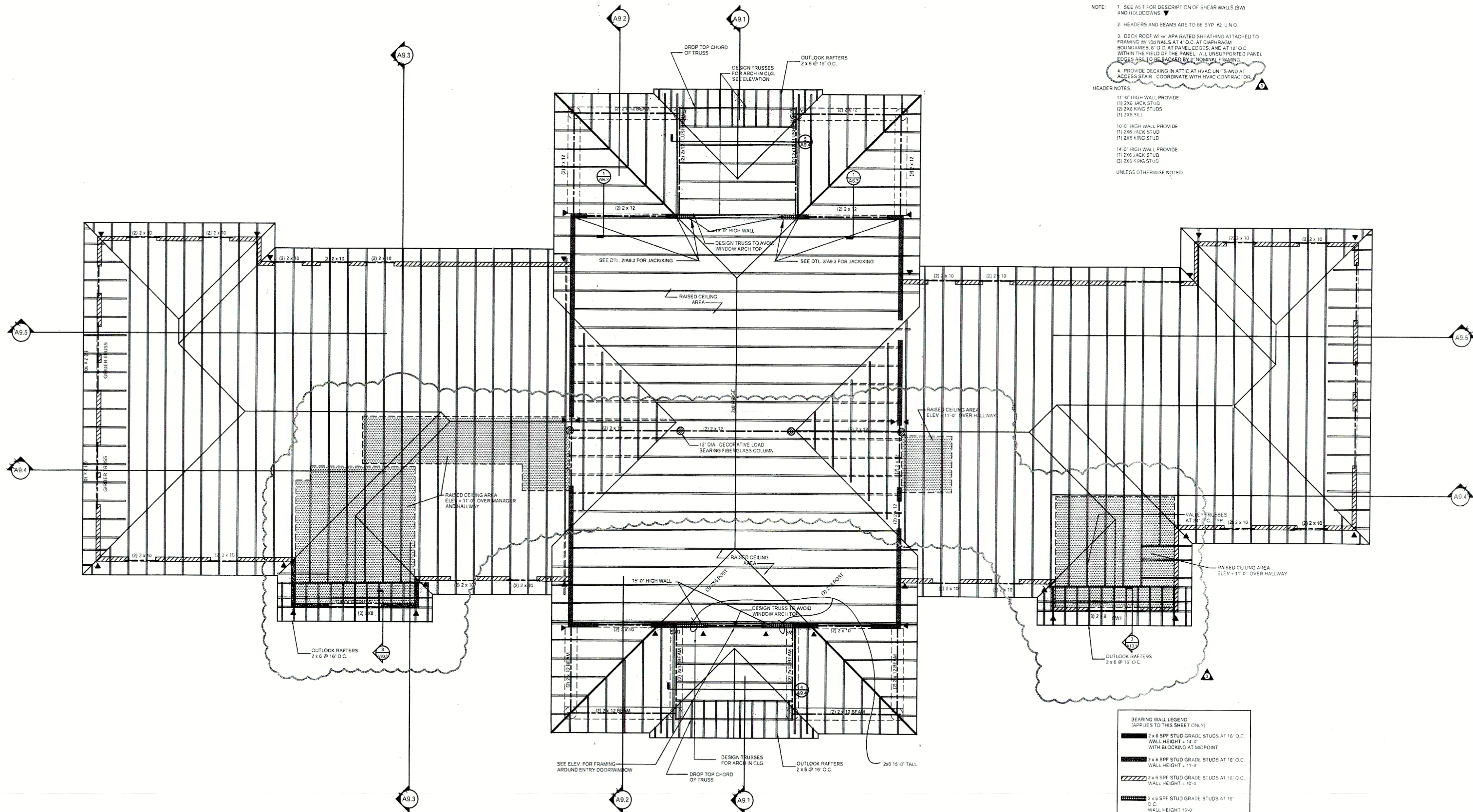
REVISION  
 11-17-04  
 12-02-05  
 01-11-06

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL. 404.984-1695 FAX 404.984-1695

ROOF PLAN

**CH-  
A4.1**



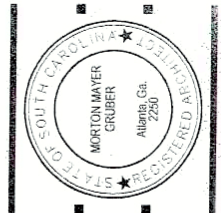
NOTE: 1. SEE A5.1 FOR DESCRIPTION OF SHEAR WALLS (SW) AND HOLD-DOWNS ▼  
 2. HEADERS AND BEAMS ARE TO BE SYP #2 U.N.O.  
 3. DECK ROOF W/ APA RATED SHEATHING ATTACHED TO FRAMING W/ 10d NAILS AT 4" O.C. AT DIAPHRAGM BOUNDARIES, 8" O.C. AT PANEL EDGES, AND AT 12" O.C. WITHIN THE FIELD OF THE PANEL. ALL UNSUPPORTED PANEL EDGES ARE TO BE BACKED BY 2" NOMINAL FRAMING.  
 4. PROVIDE DECKING IN ATTIC AT HVAC UNITS AND AT ACCESS STAIR. COORDINATE WITH HVAC CONTRACTOR. ▲

HEADER NOTES:  
 11'-0" HIGH WALL PROVIDE  
 (1) 2x6 JACK STUD  
 (2) 2x6 KING STUDS  
 (1) 2x6 SILL  
 10'-0" HIGH WALL PROVIDE  
 (1) 2x6 JACK STUD  
 (1) 2x6 KING STUD  
 14'-0" HIGH WALL PROVIDE  
 (1) 2x6 JACK STUD  
 (3) 2x6 KING STUD  
 UNLESS OTHERWISE NOTED

BEARING WALL LEGEND  
 (APPLIES TO THIS SHEET ONLY)

	2 x 6 SPF STUD GRADE STUDS AT 16" O.C. WALL HEIGHT = 14'-0" WITH BLOCKING AT MIDPOINT
	2 x 6 SPF STUD GRADE STUDS AT 16" O.C. WALL HEIGHT = 11'-0"
	2 x 6 SPF STUD GRADE STUDS AT 16" O.C. WALL HEIGHT = 10'-0"
	2 x 6 SPF STUD GRADE STUDS AT 16" O.C. WALL HEIGHT 15'-0"

**ROOF FRAMING PLAN** SCALE - 3/16"=1'-0"



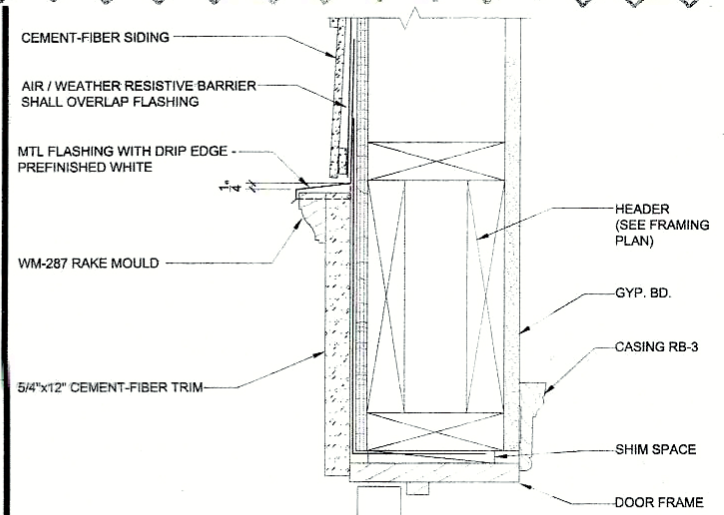
DATE: 10-19-04  
 REVISION: 12-02-05  
 01-11-06

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

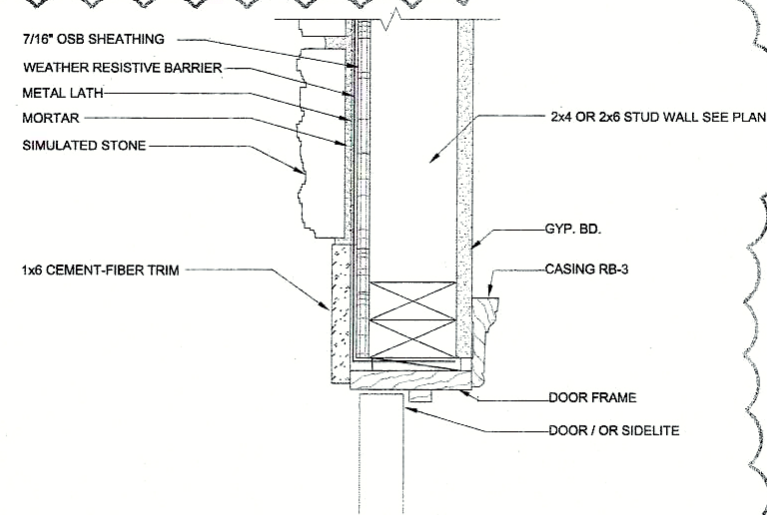
**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445, ATLANTA, GA. 30303 TEL. 404.884.1880 FAX. 404.884.1066

ROOF FRAMING PLAN

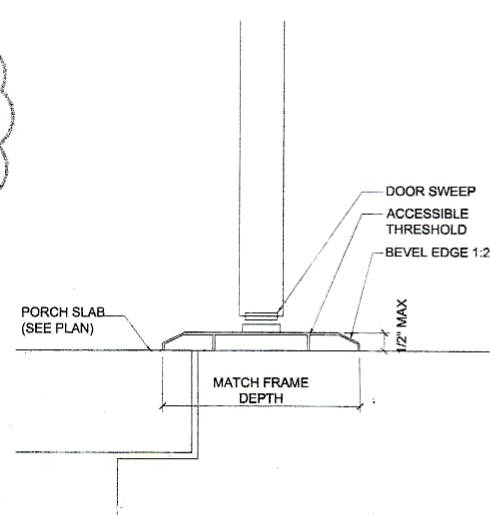
**CH-A5.1**



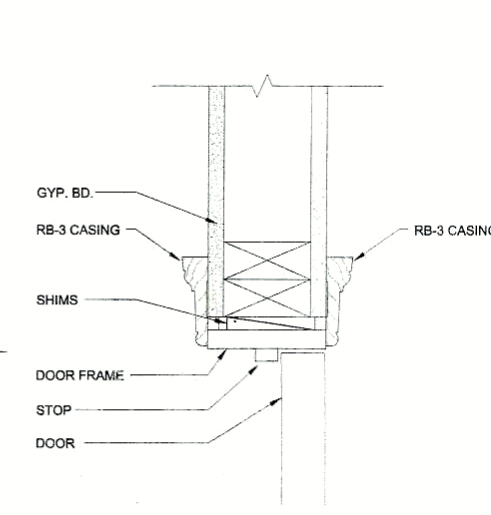
**1 | DOOR HEAD SIDING**  
3"=1'-0"



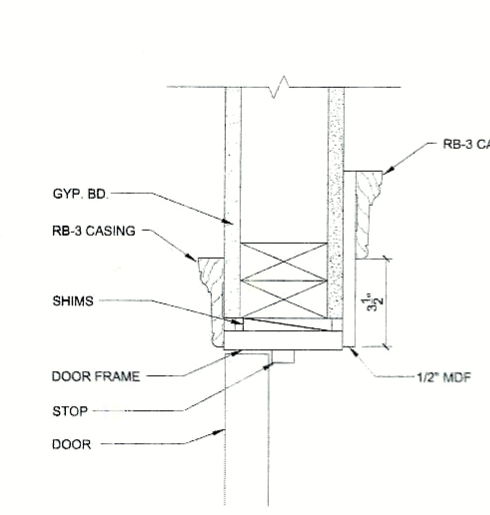
**2 | DOOR JAMB DETAIL AT STONE**  
3"=1'-0"



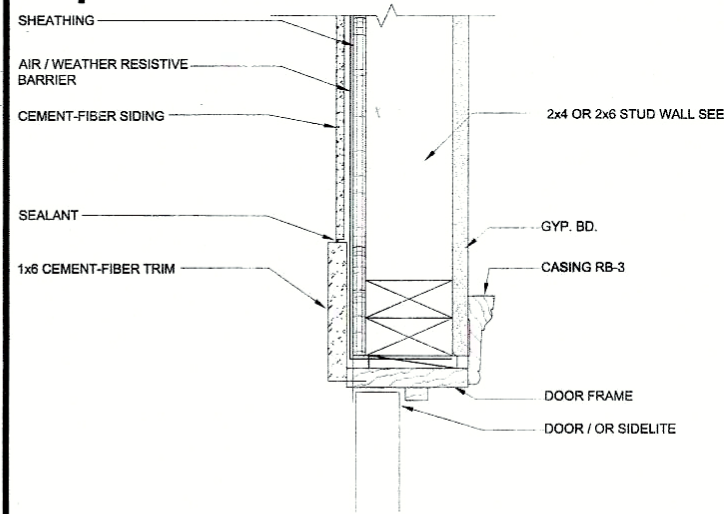
**3 | THRESHOLD DETAIL**  
3"=1'-0"



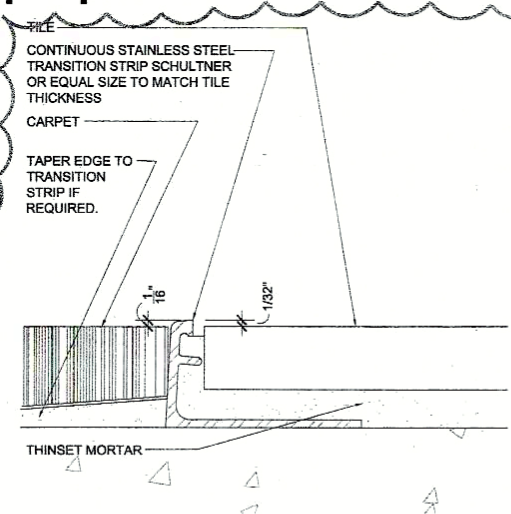
**4 | INTERIOR DOOR HEAD/JAMB**  
3"=1'-0"



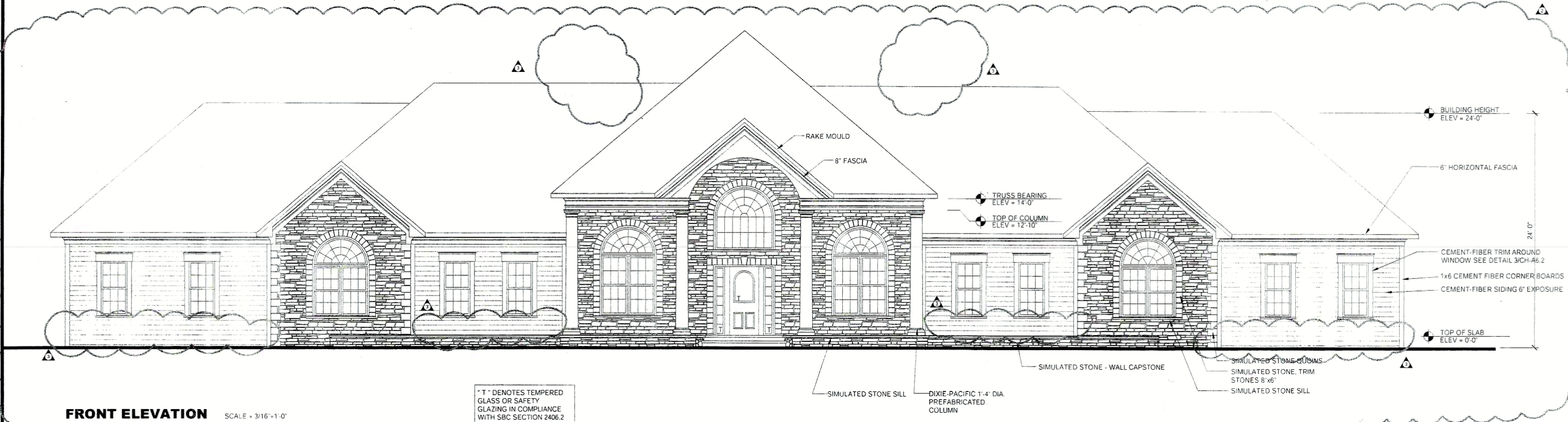
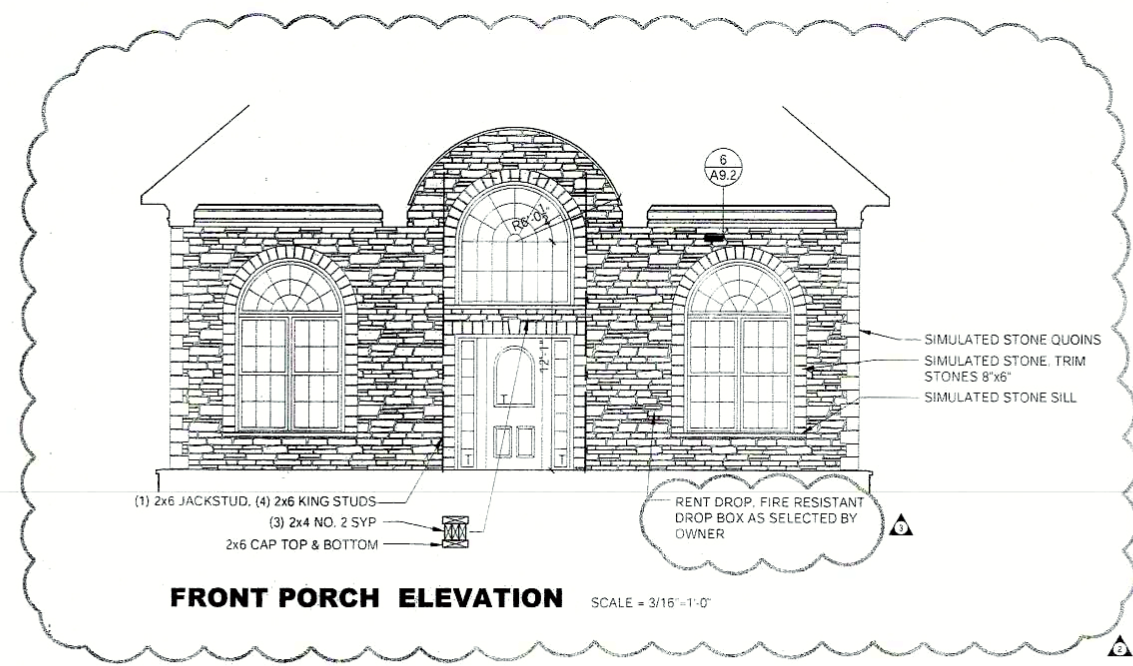
**5 | INTERIOR DOOR HEAD/JAMB**  
3"=1'-0"



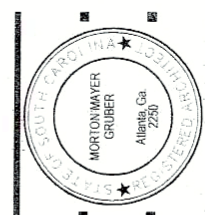
**6 | DOOR JAMB DETAIL AT SIDING**  
3"=1'-0"



**7 | TILE TRANSITION**



\* T \* DENOTES TEMPERED GLASS OR SAFETY GLAZING IN COMPLIANCE WITH SBC SECTION 2406.2



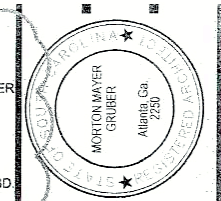
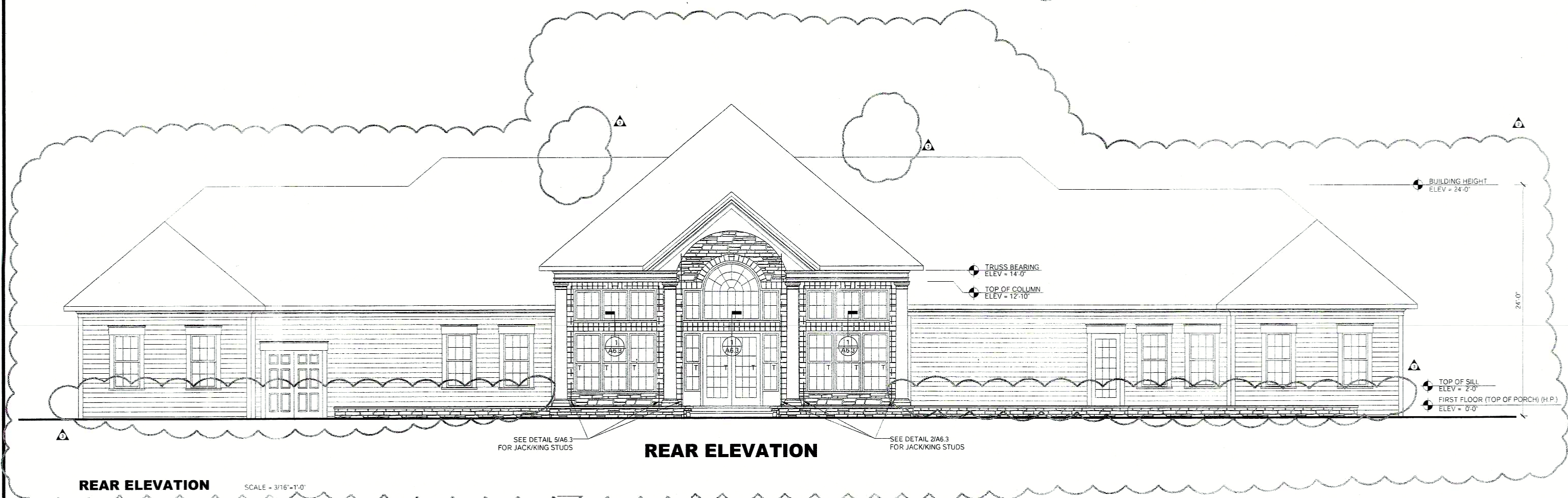
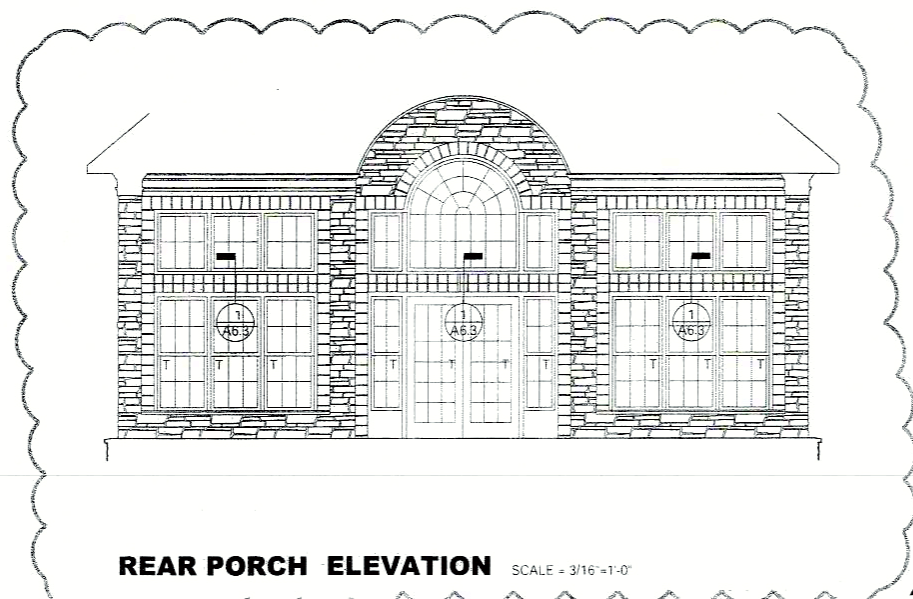
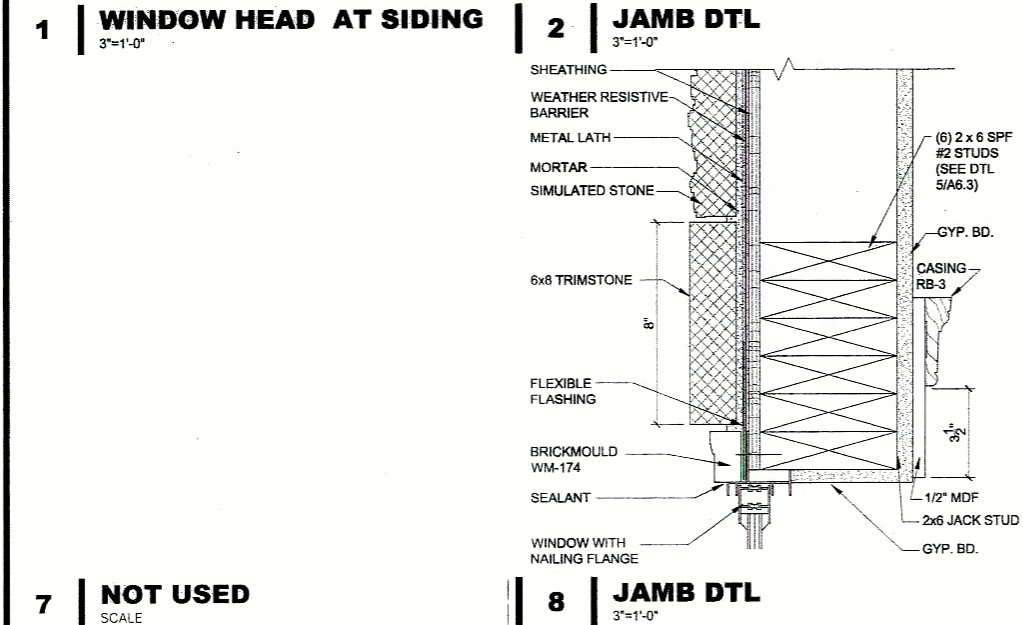
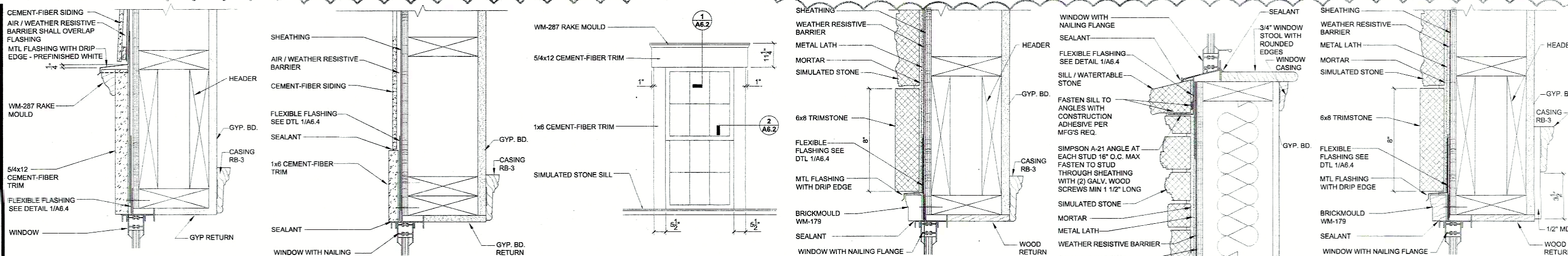
DATE: 10/13/04  
REVISION: 11/02/05  
01/11/06

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
246 PEACHTREE CENTER AVE, SUITE 2445 ATLANTA, GA 30303 TEL: 404/984-1885 FAX: 404/984-1695

FRONT ELEVATION DETAILS

**CH-A6.1**



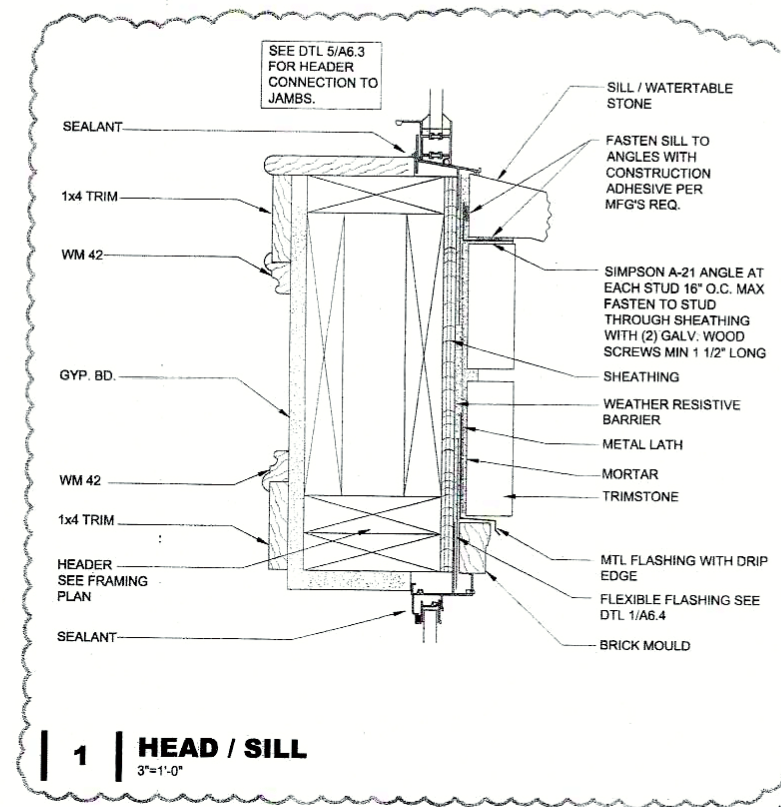
DATE: 10/19/04  
REVISION: 17/07/06  
01/11/08

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

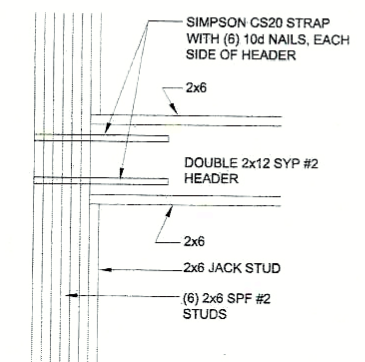
MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL. 404/594-1880 FAX 404/594-1885

REAR ELEVATION  
DETAILS

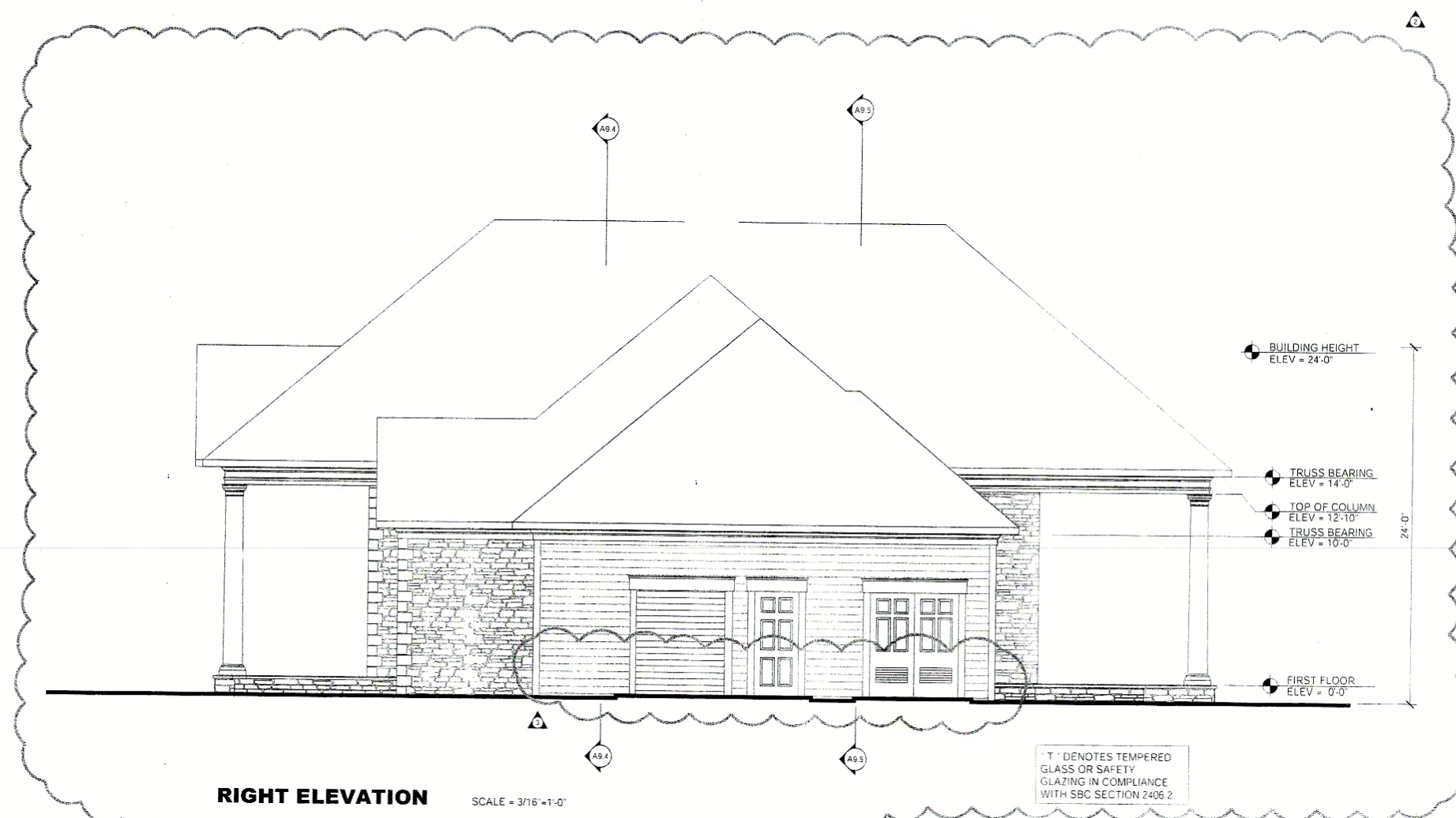
**CH-A6.2**



**1 | HEAD / SILL**  
3/4"=1'-0"



**2 | REAR WALL HEADER DETAIL**  
3/4"=1'-0"



**RIGHT ELEVATION** SCALE = 3/16"=1'-0"



DATE	REVISION
10/10/04	
12/07/05	
01/11/06	

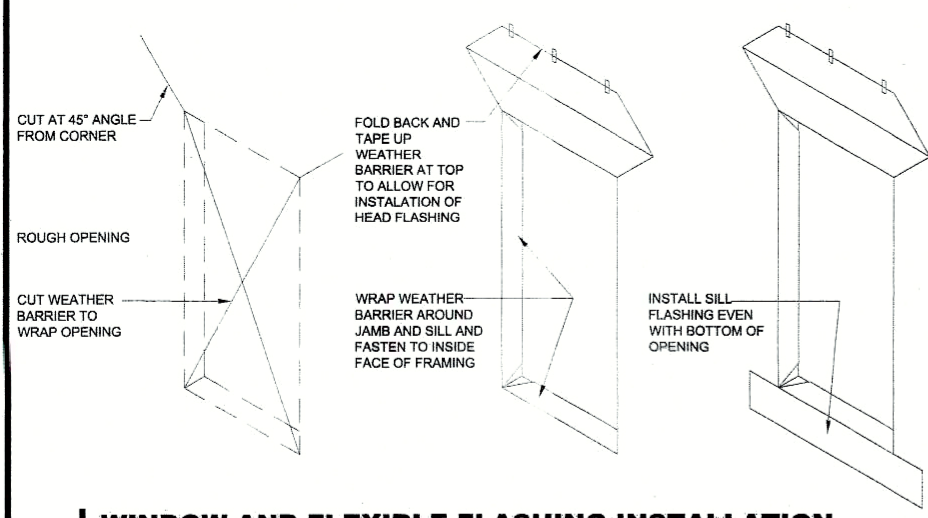
*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404.594.1891 FAX: 404.584.1895

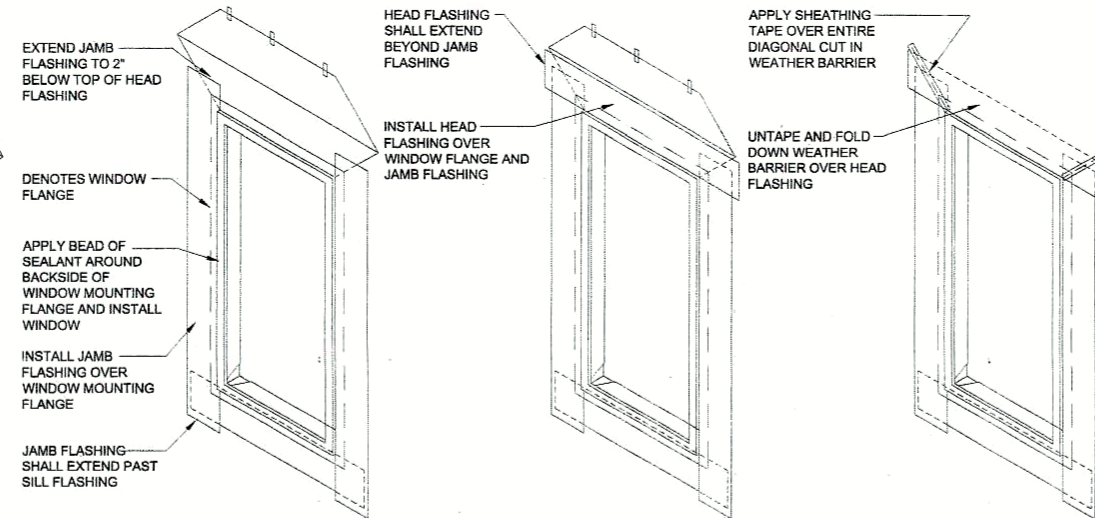
RIGHT ELEVATION  
DETAILS

**CH-  
A6.3**

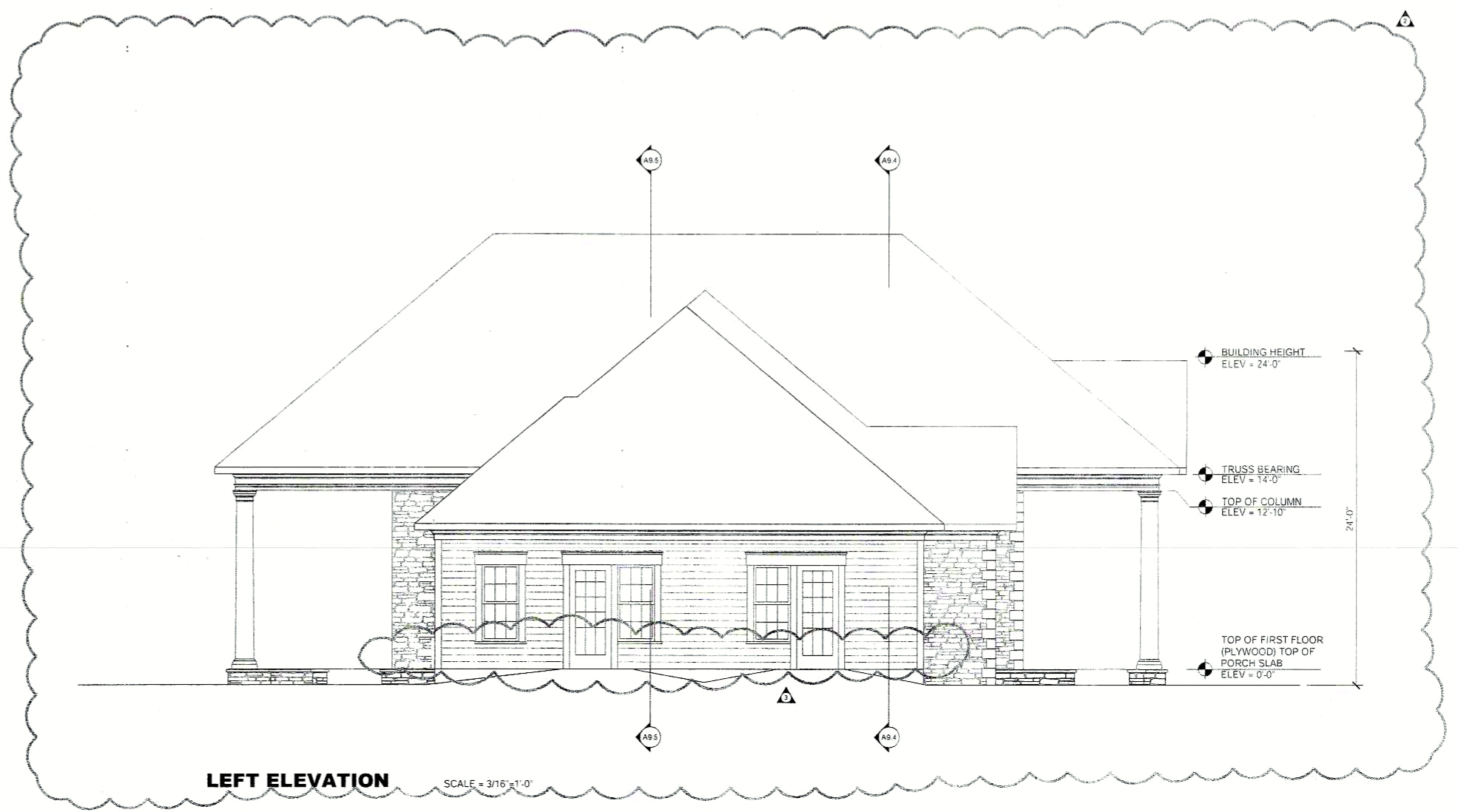
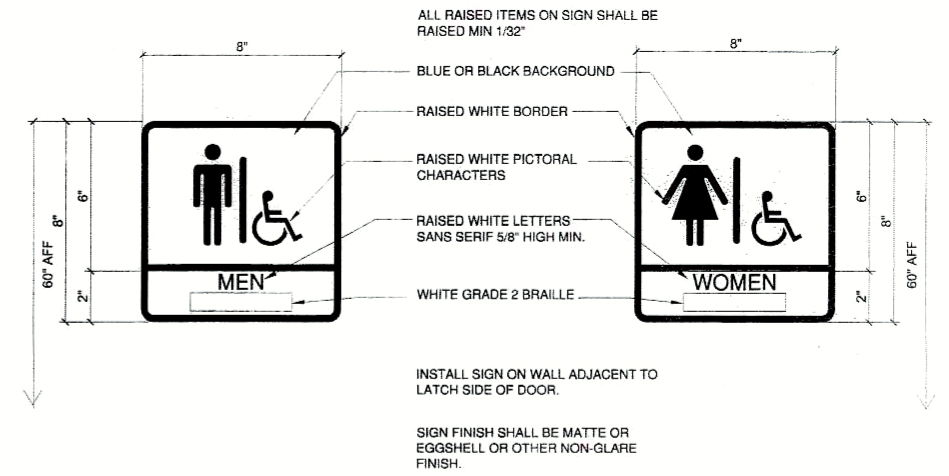




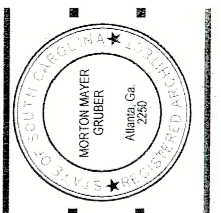
**1 | WINDOW AND FLEXIBLE FLASHING INSTALLATION**  
1/2"=1'-0"



**2 | HCAP RESTROOM SIGNS**  
3"=1'-0"



**LEFT ELEVATION** SCALE = 3/16"=1'-0"



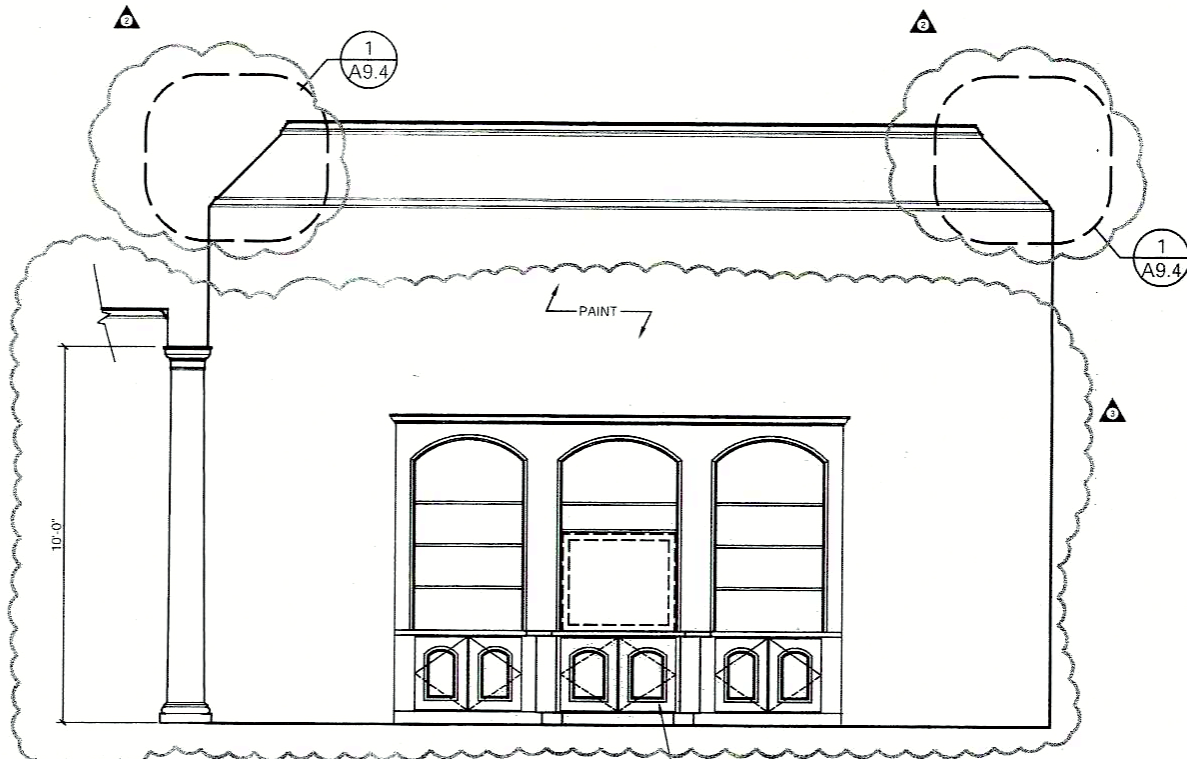
DATE: 10/19/04  
REVISION: 17/02/05  
11/11/06

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2448 ATLANTA, GA. 30305 TEL: 404-854-1680 FAX: 404-854-1685

LEFT ELEVATION  
DETAILS

**CH-  
A6.4**

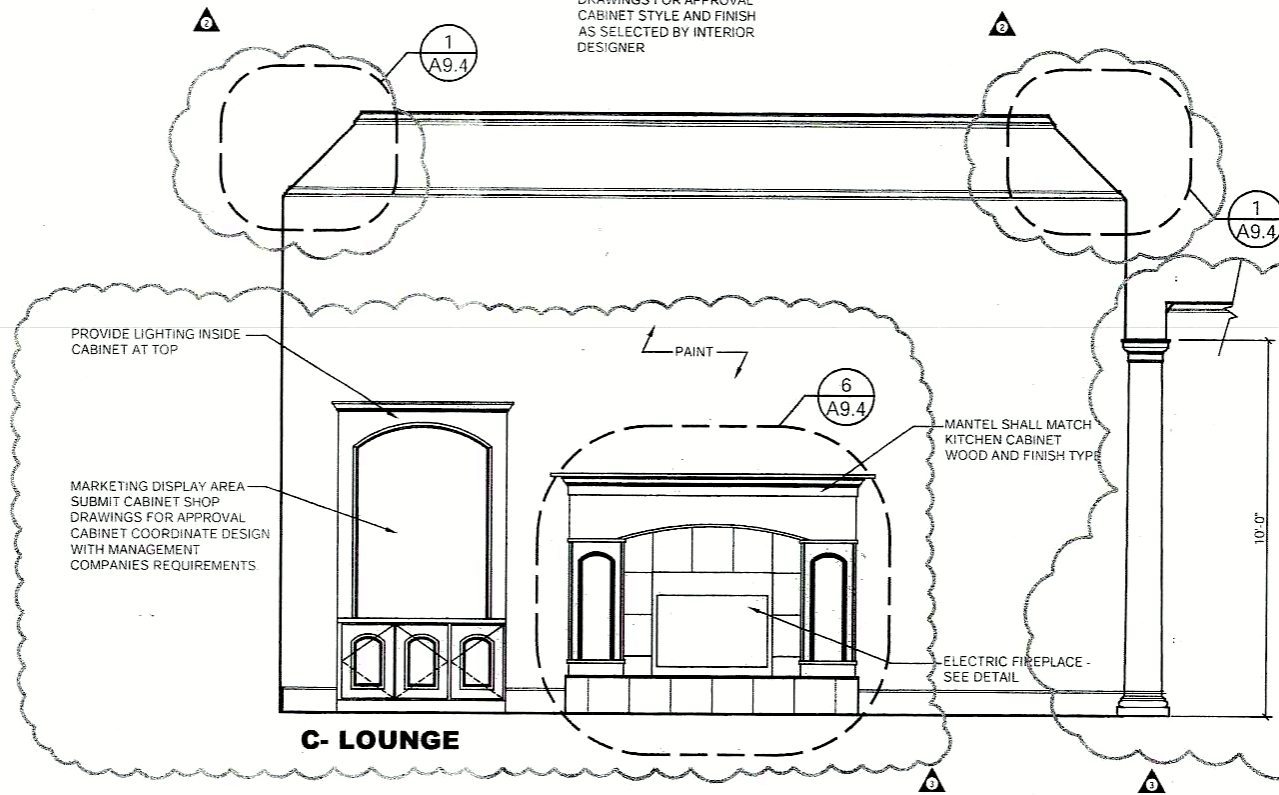


**A- LOUNGE**

SUBMIT CABINET SHOP DRAWINGS FOR APPROVAL CABINET STYLE AND FINISH AS SELECTED BY INTERIOR DESIGNER



**B- LOUNGE**



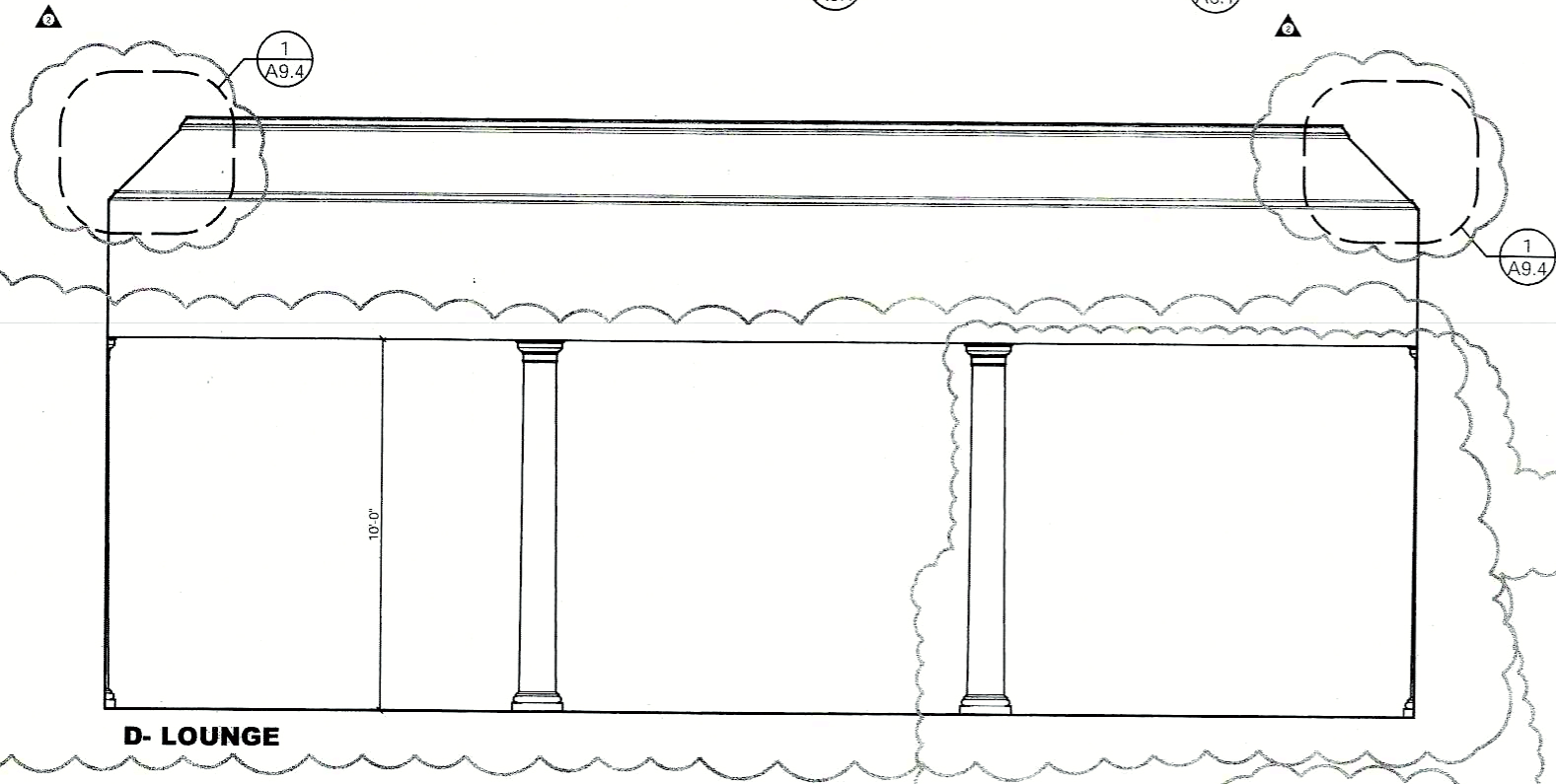
**C- LOUNGE**

PROVIDE LIGHTING INSIDE CABINET AT TOP

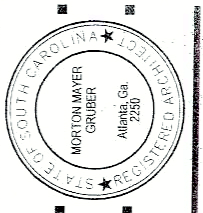
MARKETING DISPLAY AREA SUBMIT CABINET SHOP DRAWINGS FOR APPROVAL CABINET COORDINATE DESIGN WITH MANAGEMENT COMPANIES REQUIREMENTS

MANTEL SHALL MATCH KITCHEN CABINET WOOD AND FINISH TYPE

ELECTRIC FIREPLACE - SEE DETAIL



**D- LOUNGE**



DATE	REVISION
10-19-04	11-17-04
	12-02-05
	01-11-06

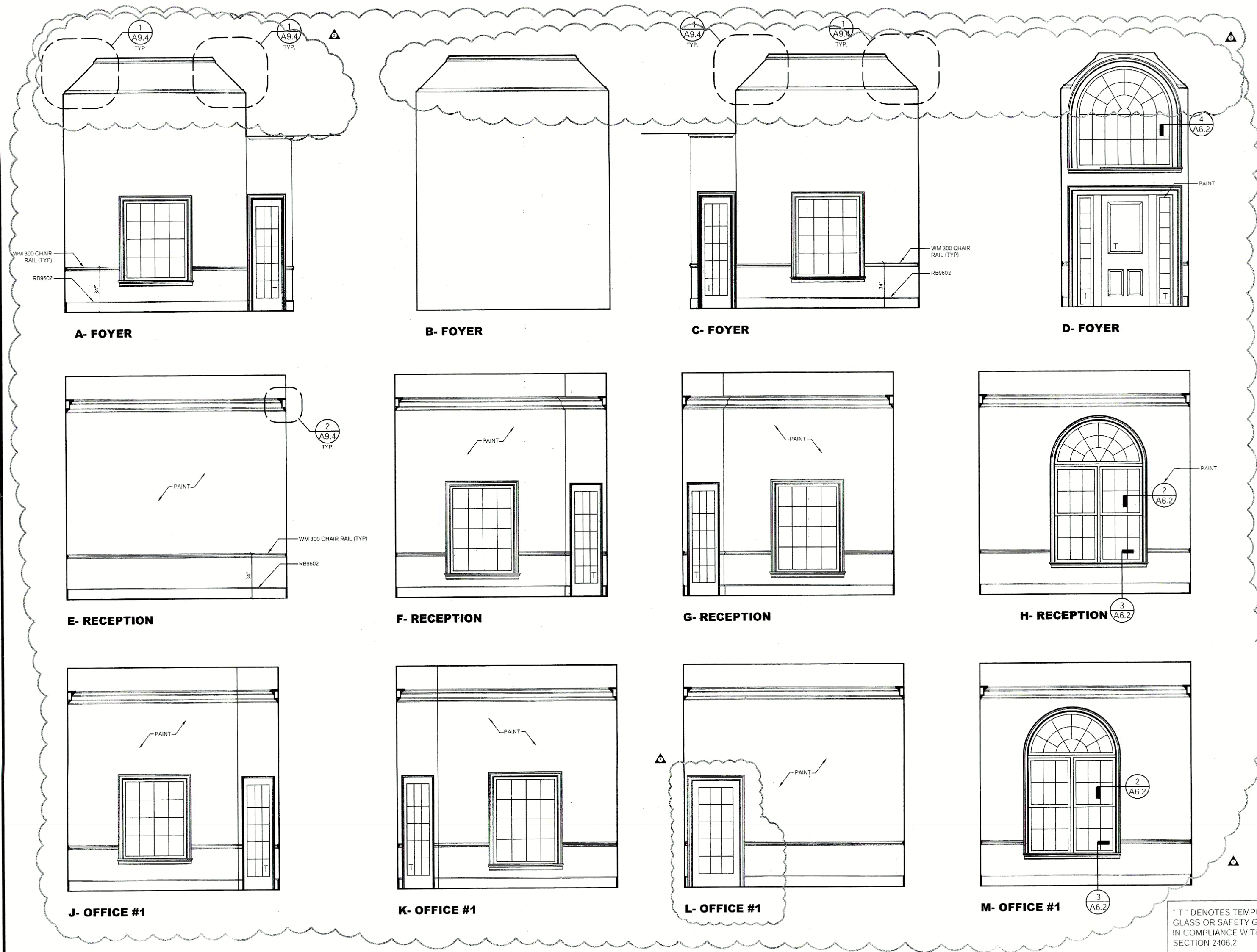
*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2446 ATLANTA, GA 30305 TEL. 404.684.1880 FAX. 404.684.1885

INTERIOR ELEVATIONS  
 LOUNGE  
 KITCHEN

\* T \* DENOTES TEMPERED GLASS OR SAFETY GLAZING IN COMPLIANCE WITH SBC SECTION 2406.2

**CH-A7.1**



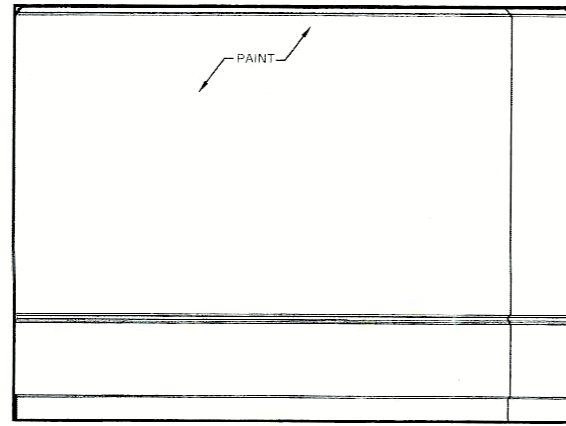
DATE: 10-19-04  
 REVISION: 12-02-05  
 01-11-05

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

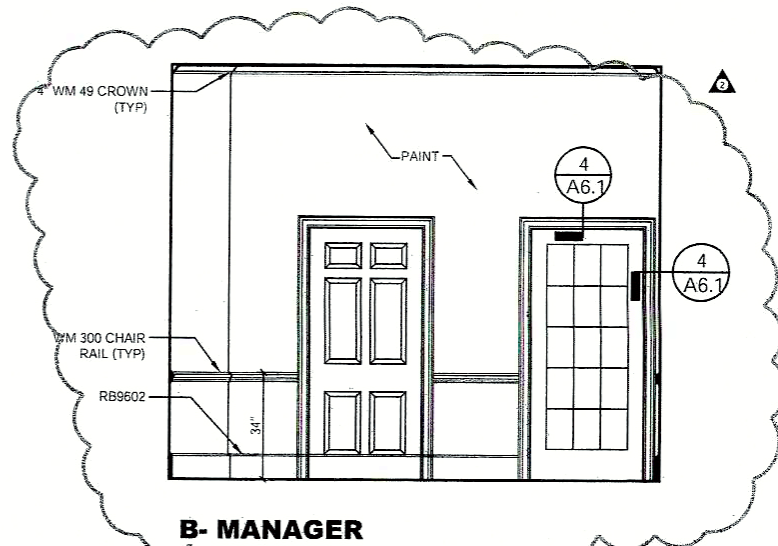
MORTON M. GRUBER, AIA, ARCHITECT  
 246 PEACHTREE CENTER AVE SUITE 2448 ATLANTA, GA 30305 TEL. 404/984-1880 FAX 404/984-1895

INTERIOR ELEVATIONS  
 OFFICE #1  
 FOYER  
 RECEPTION

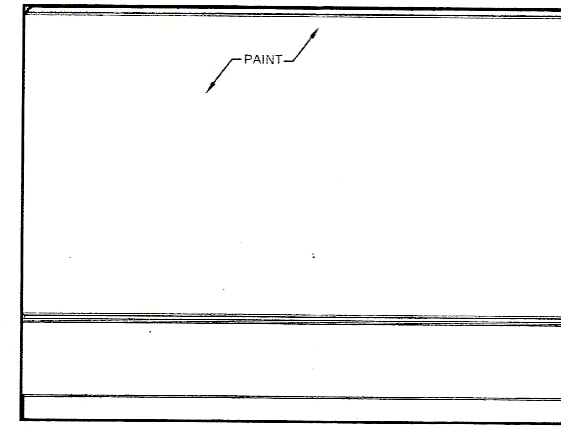
**CH-  
 A7.2**



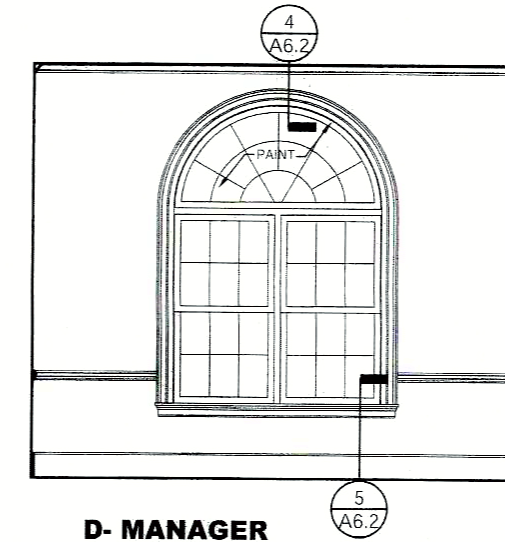
**A- MANAGER**



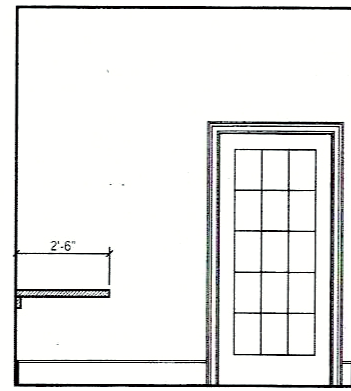
**B- MANAGER**



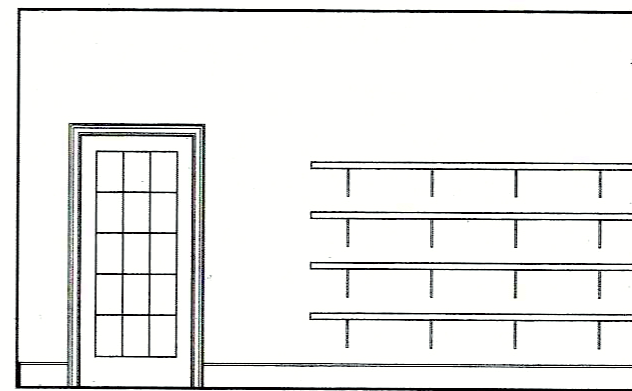
**C- MANAGER**



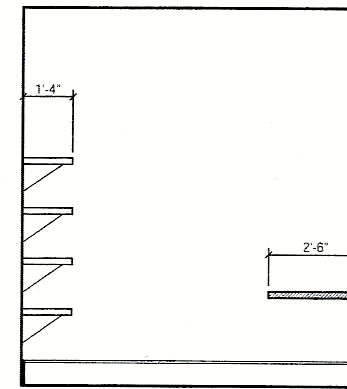
**D- MANAGER**



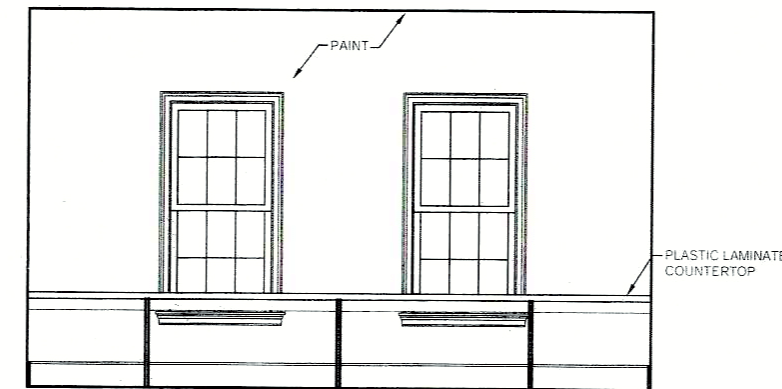
**E- WORK AREA**



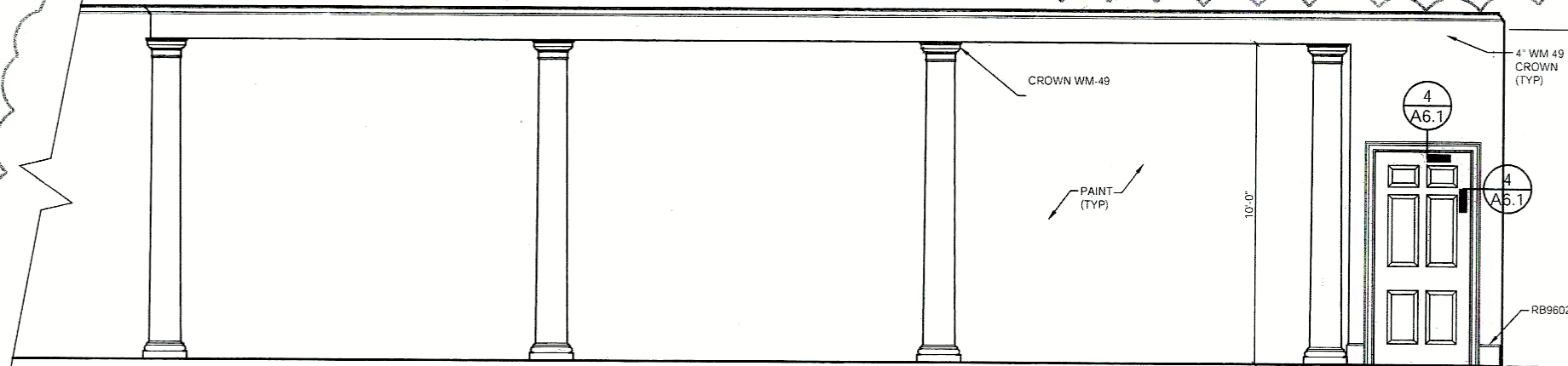
**F- WORK AREA**



**G- WORK AREA**



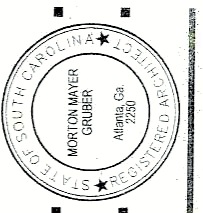
**H- WORK AREA**



**J- HALLWAY**



**K- HALLWAY**



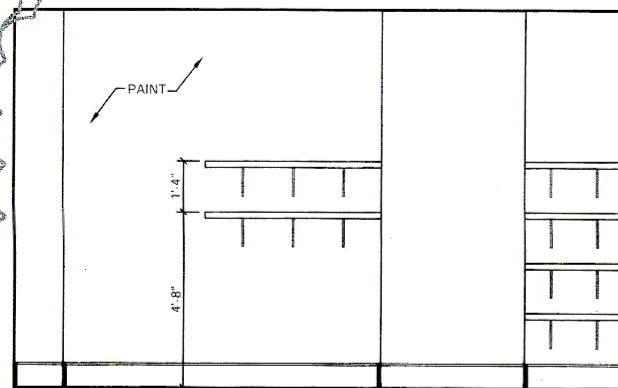
DATE: 10/10/04  
 REVISION: 12/02/05  
 01/11/06

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

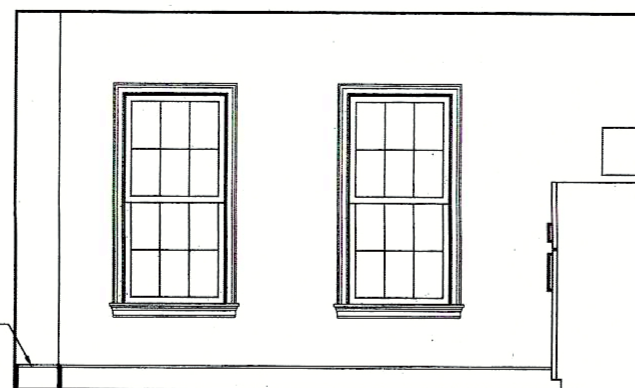
MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/884-1850 FAX: 404/884-1855

INTERIOR ELEVATIONS:  
 WORK AREA  
 MANAGER  
 HALLWAY

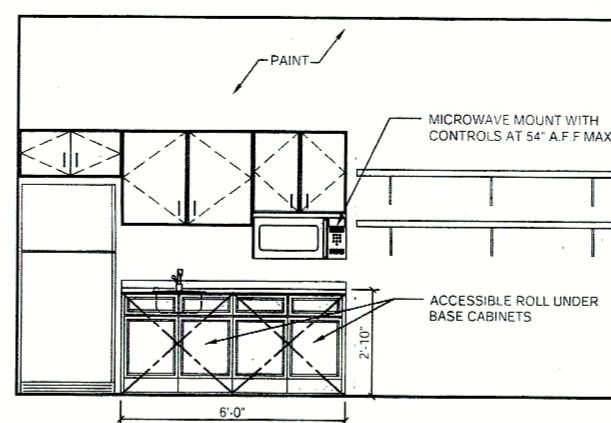
**CH-  
 A7.3**



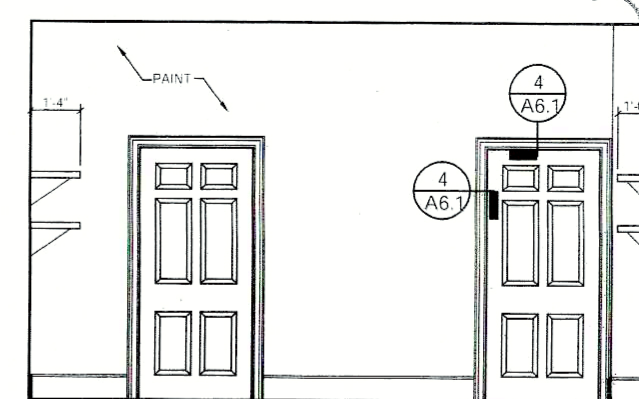
**A- FILE ROOM/BREAK ROOM**



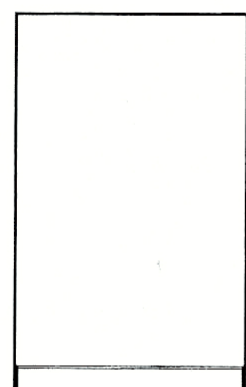
**B- FILE ROOM/BREAK ROOM**



**C- FILE ROOM/BREAK ROOM**



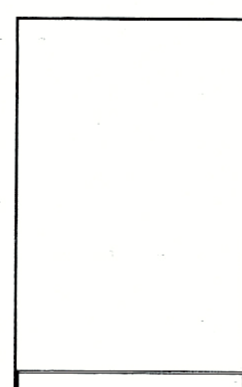
**D- FILE ROOM/BREAK ROOM**



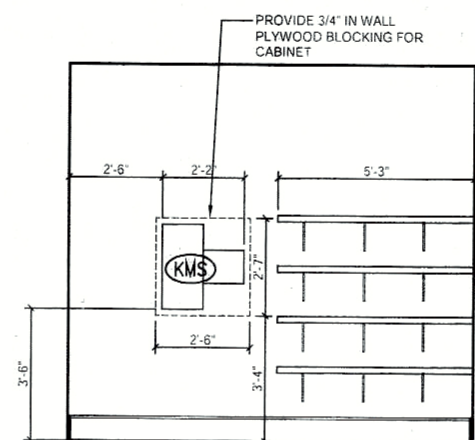
**E - KEY CLOSET**



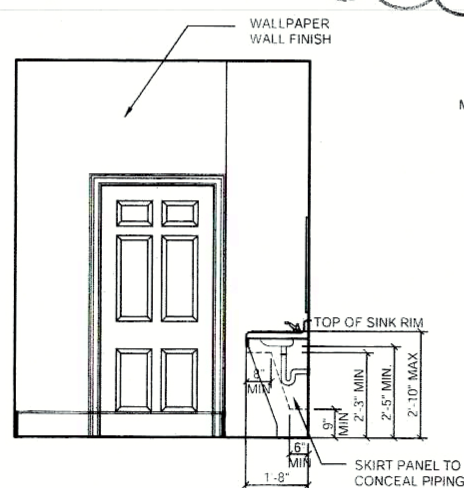
**F - KEY CLOSET**



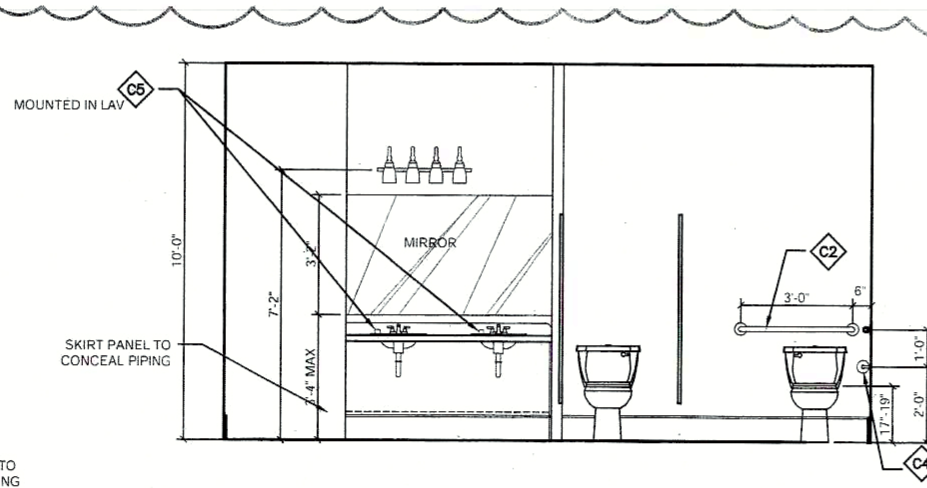
**G - KEY CLOSET**



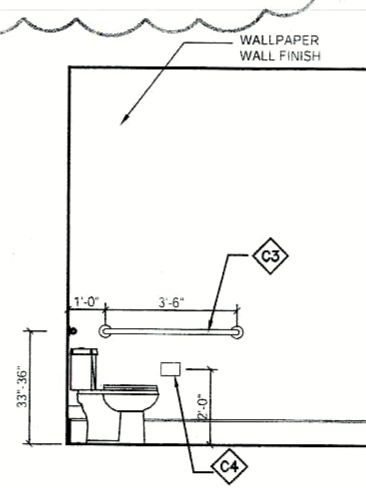
**H - KEY CLOSET**



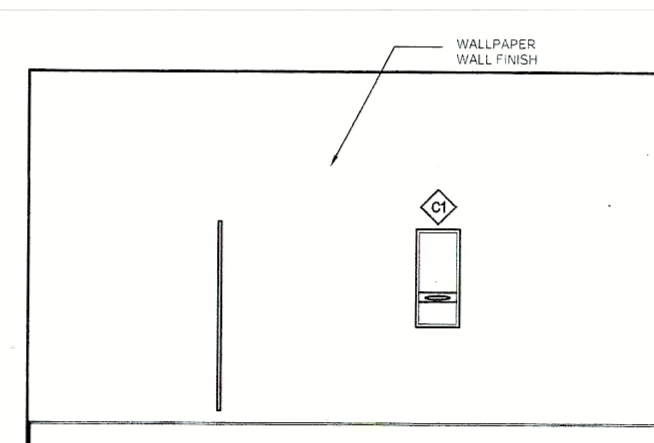
**J- WOMEN'S TOILET ROOM**



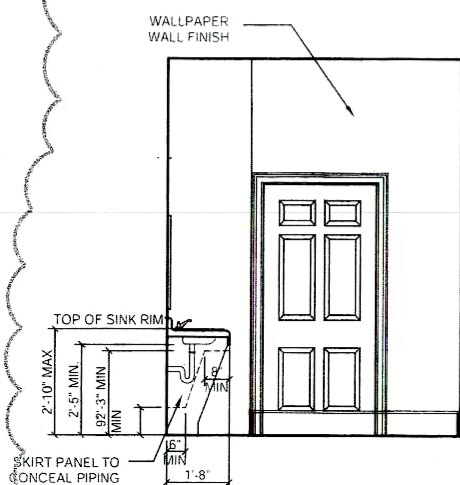
**K- WOMEN'S TOILET ROOM**



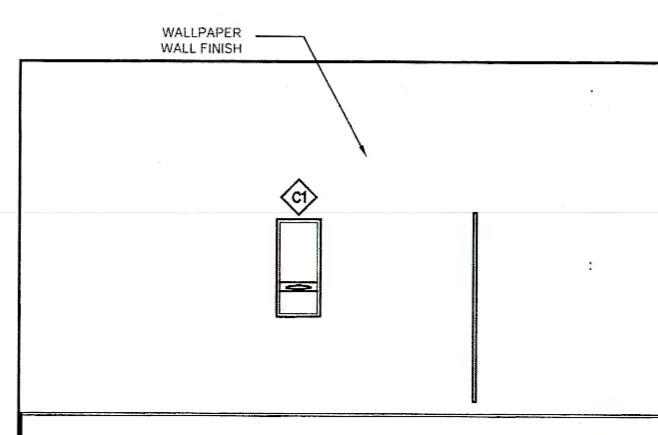
**L- WOMEN'S TOILET ROOM**



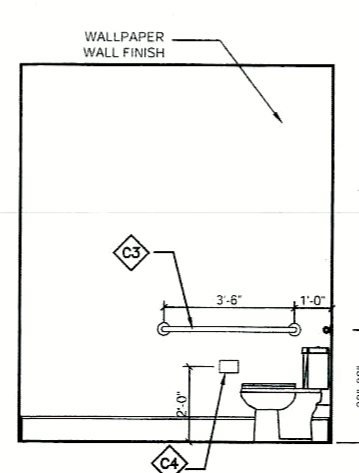
**M- WOMEN'S TOILET ROOM**



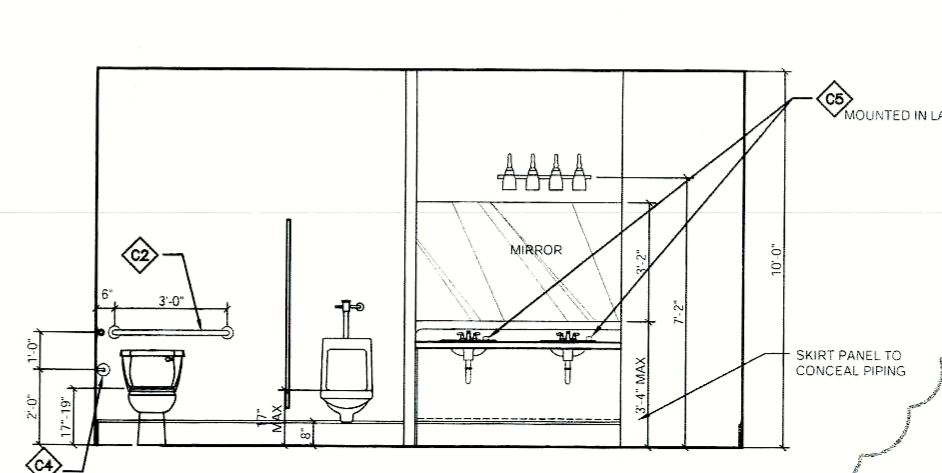
**N- MEN'S TOILET ROOM**



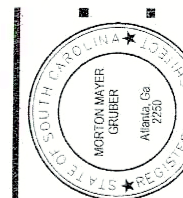
**O- MEN'S TOILET ROOM**



**P- MEN'S TOILET ROOM**



**Q- MEN'S TOILET ROOM**



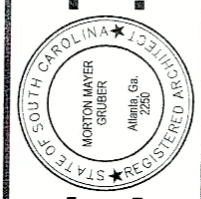
DATE  
10/19/04  
REVISION  
11/11/04  
12/02/05  
01/11/06

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2442, ATLANTA, GA. 30303, TEL. 404.554.1650, FAX. 404.554.1655

INTERIOR ELEVATIONS  
FILE ROOM/BREAK ROOM  
KEY CLOSET  
TOILETS

**CH-  
A7.4**



DATE: 10-18-04  
 REVISION: 12-02-05  
 01-11-06

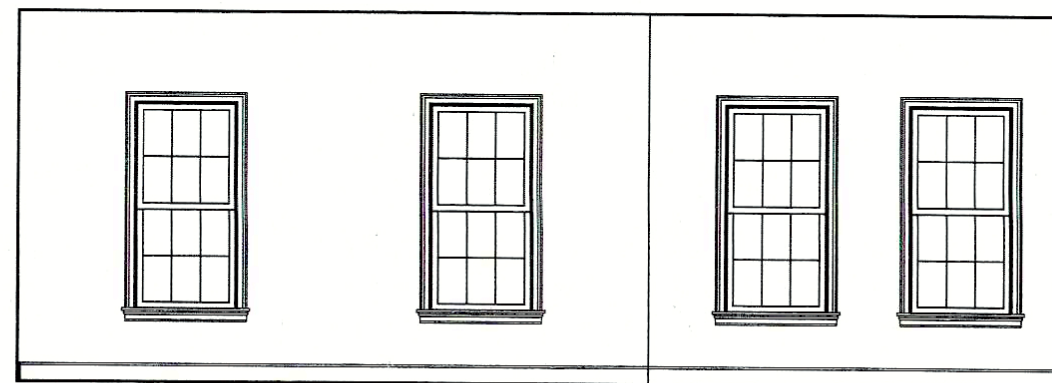
*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina  
 MORTON M. GRUBER, AIA, ARCHITECT  
 246 PEACHTREE CENTER AVE SUITE 2440 ATLANTA, GA 30303 TEL: 404/954-1800 FAX: 404/954-1895

INTERIOR ELEVATIONS  
 FITNESS CENTER  
 TECHNOLOGY CENTER  
 LAUNDRY

CH-A7.5



**A- FITNESS CENTER**

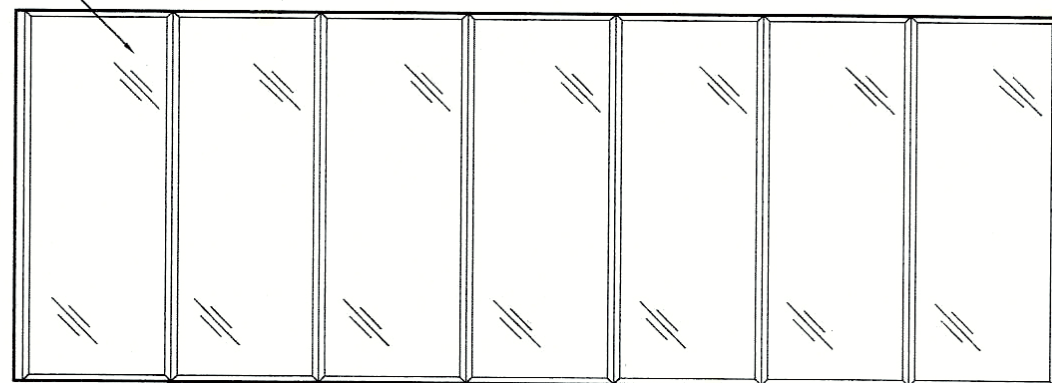


**B- FITNESS CENTER**



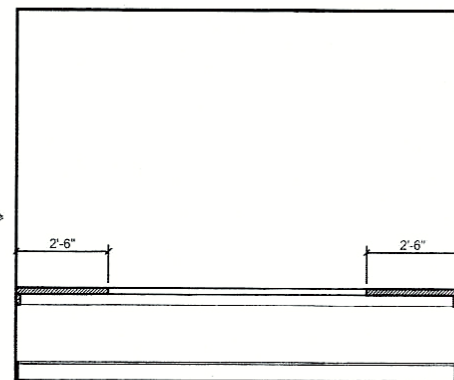
**C- FITNESS CENTER**

FLR-TO-CLG BEVELED  
 MIRRORS IN  
 EXERCISE ROOM

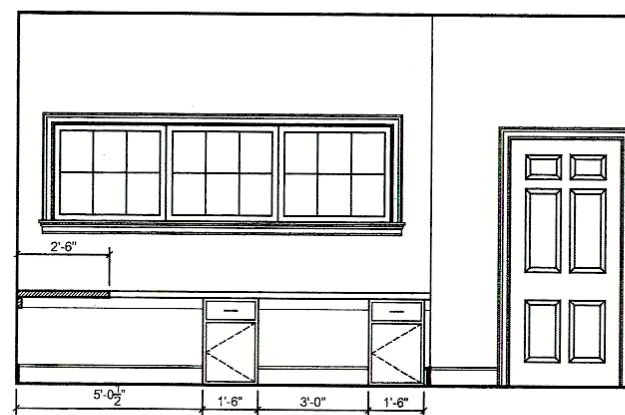


**D- FITNESS CENTER**

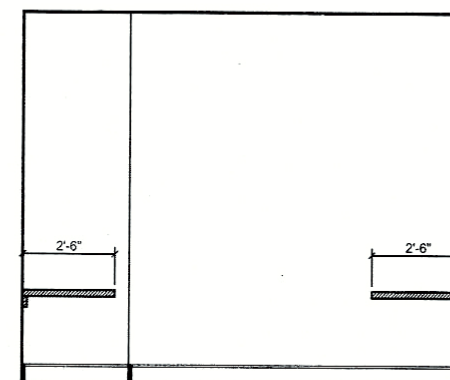
"T" DENOTES TEMPERED GLASS  
 OR SAFETY GLAZING IN  
 COMPLIANCE WITH SBC SECTION  
 2406.2



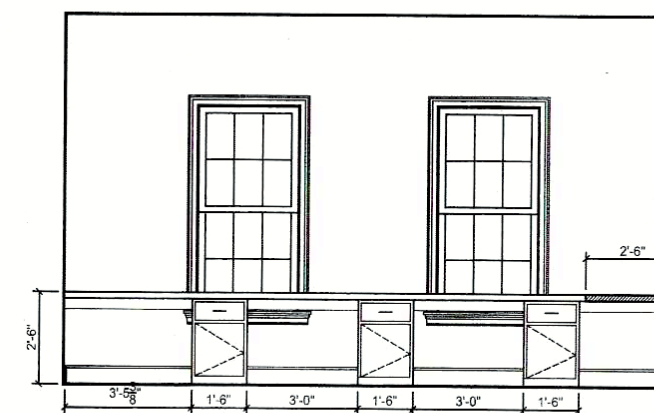
**G- TECHNOLOGY CENTER**



**G- TECHNOLOGY CENTER**



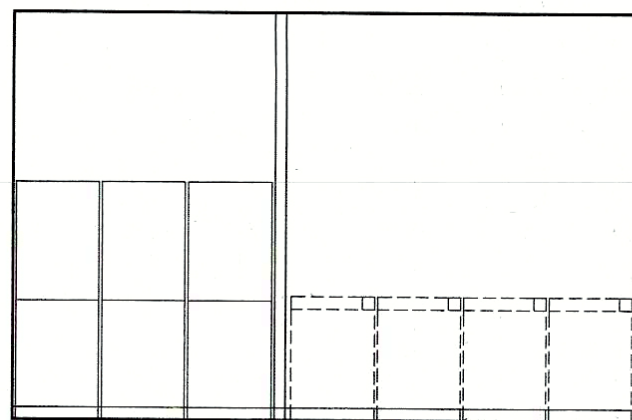
**G- TECHNOLOGY CENTER**



**H- TECHNOLOGY CENTER**



**J- LAUNDRY**



**K- LAUNDRY**



**L- LAUNDRY**

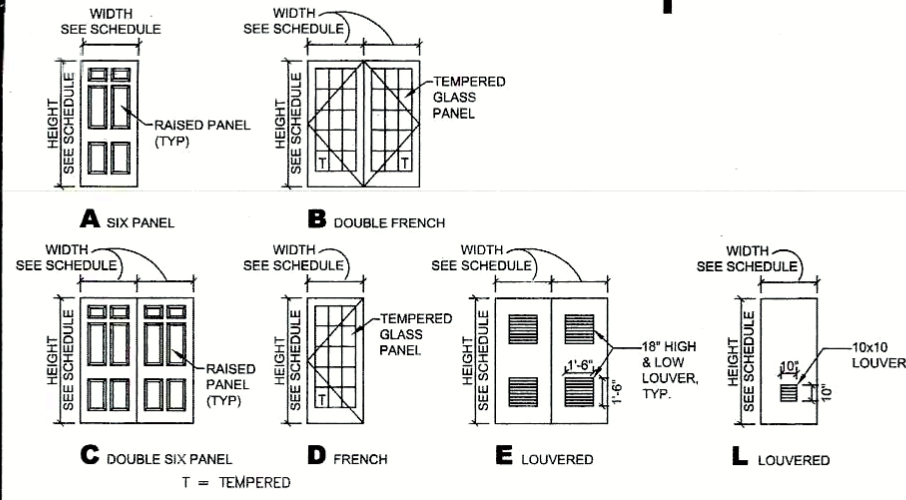


**M- LAUNDRY**

# DOOR SCHEDULE

DOOR NO.	SIZE	TYPE	LABEL	MATL.	FINISH	FRAME			DETAILS			HARDWARE												REMARKS														
						TYPE	MATL.	FINISH	HEAD	JAMB	SILL	LOCKSET - LEVER HANDLE	KEYCARD ENTRANCE LOCKSET	LATCHSET	PULL HANDLE - PUSH PLATE	SINGLE CYLINDER DEADBOLT W/ THUMB TURN	FLUSH BOLTS	PANIC HARDWARE LOCKSETS	THRESHOLD	THRESHOLD (ACCESSIBLE)	WEATHERSTRIPING	HINGES (PAIRS) PER LEAF	BALL BEARING HINGES WITH NON REMOVABLE PINS (EACH LEAF)		CLOSER	RICKDOWN HOLD OPEN	HINGE STOP	WALL STOP										
101	3'-0"x7'-0"x1 3/4"			WD	PAINT	WD	PAINT					3/A6.1																									SUSAN NICOLE 3/4 RECT DOOR WITH ANTIQUE BRONZE HINGES. RED MAHOGANY STAIN AND 1'-0" SIDELITES COORDINATE WITH WINDOW ABOVE	
102	PR 3'-0"x7'-6"x1 3/4" WITH 1'-8" SIDELITES	B		INSUL MTL.	PAINT	WD	PAINT	1/A6.3				3/A6.1																								COORDINATE WITH WINDOW ABOVE TO MATCH WIDTH		
103	3'-0"x7'-0"x1 3/8"	D		WD	PAINT	WD	PAINT	5/A6.1	5/A6.1	7/A6.1																												
104	3'-0"x7'-0"x1 3/8"	D		WD	PAINT	WD	PAINT	5/A6.1	5/A6.1	7/A6.1																												
105	3'-0"x6'-8"x1 3/8"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
106	3'-0"x6'-8"x1 3/8"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
107	3'-0"x6'-8"x1 3/8"	D		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
108	3'-0"x6'-8"x1 3/4"	A		HM	PAINT	WD	PAINT	4/A6.1	4/A6.1	7/A6.1																												
109	3'-0"x6'-8"x1 3/8"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
110	3'-0"x6'-8"x1 3/8"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
111	3'-0"x6'-8"x1 3/8"	D		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
112	3'-0"x6'-8"x1 3/4"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1	7/A6.1																												
113	3'-0"x6'-8"x1 3/4"	D		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
114	PR 3'-0"x6'-8"x1 3/4"	A		HM	PAINT	WD	PAINT	1/A6.1	2/A6.1	3/A6.1																												
115	3'-0"x6'-8"x1 3/4"	A		HM	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
116	PR 3'-0"x7'-0"x1 3/4"	E		HM	PAINT	WD	PAINT	1/A6.1	2/A6.1	3/A6.1																												
117	3'-0"x7'-10"x1 3/4"	D		HM	PAINT	WD	PAINT	1/A6.1	8/A6.1	3/A6.1																												
118	3'-0"x6'-8"x1 3/4"	D		HM	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
119	3'-0"x6'-8"x1 3/8"	A		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
120	3'-0"x6'-8"x1 3/4"	A		HM	PAINT	WD	PAINT	1/A6.1	2/A6.1	3/A6.1																												
121	3'-0"x6'-8"x1 3/4"	D		HC	PAINT	WD	PAINT	4/A6.1	4/A6.1																													
122	7'-0"x7'-0" OVERHEAD DOOR			ALUM.	PRE FIN.	WD	PAINT																															
123	3'-0"x7'-6"x1 3/4"	D		HM	PAINT	WD	PAINT	1/A6.1	2/A6.1 8/A6.1	3/A6.1																												
124	NOT USED																																					
125	3'-0"x7'-6"x1 3/4"	D		HM	PAINT	WD	PAINT	1/A6.1	2/A6.1 8/A6.1	3/A6.1																												
126	NOT USED																																					
127	3'-0"x6'-8"x1 3/4"	L		HM	PAINT	HM	PAINT																															

## DOOR TYPES



## WINDOW SCHEDULE

WINDOW MARK	SIZE	TYPE	DTLS			MTG HT.	REMARKS
			HEAD	JAMB	SILL		
A	2'-8"x5'-6"x1-1/2" DH		1/A6.2	2/A6.2	5/A6.2	7'-6"	
AT	2'-8"x5'-6"x1-1/2" DH		1/A6.2	2/A6.2	5/A6.2	7'-6"	WINDOW SHALL HAVE TEMPERED GLASS
B	DBL 2'-8"x6'-0"x1-1/2" DH W/ HALF ROUND TRANSOM		4/A6.2	4/A6.2	5/A6.2	8'-0"	MTG. HT. IS TO TOP OF DH WINDOW
C	DBL 2'-8"x5'-0"x1-1/2" DH W/ HALF ROUND TRANSOM		4/A6.2	4/A6.2	5/A6.2	7'-0"	MTG. HT. IS TO TOP OF DH WINDOW
D	6'-0"x6'-0"x2-1/2" PALP ROUND TOP		8/A6.2	8/A6.2	8/A6.2		MOUNT @ 12'-0" TO CENTER OF RADIUS TOP
E	TRPL 2'-8"x6'-0"x1-1/2" DH		8/A6.2	8/A6.2	5/A6.2	7'-6"	
F	TRPL 2'-8"x3'-0"x1-1/2" FIXED		8/A6.2	8/A6.2	1/A6.3	11'-10"	
H	1'-8"x3'-0"x1-1/2" FIXED		8/A6.2	8/A6.2	1/A6.3	11'-10"	
J	6'-0"x6'-0"x1-1/2" HALF ROUND TOP		8/A6.2		1/A6.3		
K	4'-0"x5'-6" FIXED					7'-0"	
L	(3) 3'-0"x3'-0" FIXED					7'-0"	

NOTES:  
1) SUBMIT SHOP DRAWINGS OF ALL WINDOWS, SURROUNDS, LINTELS TO ARCHITECT FOR APPROVAL.  
2) COORDINATE ALL WINDOWS OVER DOORS WITH DOOR/SIDE LIGHT.  
3) WINDOWS A-J ARE VINYL WINDOWS, WINDOWS K & L ARE WOOD.

## TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL #	FINISH	MOUNTING
C1	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	GAMCO	TW-6F	STAINLESS STEEL #4 SATIN FINISH	SEMI-RECESSED
C2	GRAB BAR	GAMCO	150S-36	STAINLESS STEEL #4 SATIN FINISH	SURFACE MOUNTED WITH SNAP FLANGE COVER
C3	GRAB BAR	GAMCO	150S-42	STAINLESS STEEL #4 SATIN FINISH	SURFACE MOUNTED WITH SNAP FLANGE COVER
C4	TOILET PAPER DISPENSER	ROYAL	T4027C	CHROME	SURFACE
C5	LAV MOUNTED SOAP DISPENSER	GAMCO	G64BMG	CHROME	LAV MOUNTED (MOUNT IN PRE-MADE HOLE IN LAV)
C6	SOAP DISPENSER	GAMCO	G58AP	STAINLESS STEEL SATIN FINISH	

## EQUIPMENT SCHEDULE

MARK	DESCRIPTION	REMARKS
SSR-2	SIDE BY SIDE REFRIGERATOR	AS SELECTED BY OWNER
MW-2	MICROWAVE OVEN	AS SELECTED BY OWNER
KMS	KEY MANAGEMENT SYSTEM	PROVIDED BY OWNER. INSTALLED BY GC
CW-1	CLOTHES WASHER (COIN OPERATED) (NIC)	MANAGEMENT TO PROVIDE
CW-2	CLOTHES WASHER (COIN OPERATED, FRONT LOADING) (NIC)	MANAGEMENT TO PROVIDE
CD-1	CLOTHES DRYER (COIN OPERATED) (NIC)	SEE SPECS SECTION 11451
FP-1	ELECTRIC FIRE PLACE	HEATILATOR 36-EBU

**STATE OF SOUTH CAROLINA**  
 MORTON MAYER GRUBER  
 Atlanta, Ga 30303  
 REGISTERED PROFESSIONAL ARCHITECT

DATE 10/19/04  
 REVISION 11/17/04  
 12/02/05  
 01/11/06

**Wyndham Pointe Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 215 PEACHTREE CENTER AVE SUITE 2448 ATLANTA, GA 30303 TEL: 404/584-1680 FAX: 404/584-1686

DOOR SCHEDULE  
 DOOR TYPES  
 WINDOW SCHEDULE

**CH-A8.1**

**Finish Schedule - Common Areas**

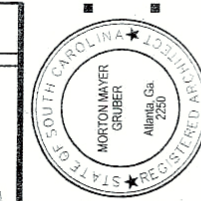
Room NO. Name	Floor							Wall (All walls are smooth finish)											Ceiling		Remarks
	Carpet	Tile			Grout	Coating	Paint	Trim Paint	Other Finish	Base	Chair	Crown	Window / Door	Surface	Paint						
	MFG. Cadence Style - Cha-Chu-Cha Color: Huckle MFG. Oberst Color: Bamboo Mat	MFG. Yutbay Color: Lava Sand (13' x 13' LAID STRAIGHT)	MFG. BCI Style: Firenze NO	MFG. Kaminon Color #1: 51808 Shaker Brown Color #2: 51804 Stone Green (LAY IN CHECKER BOARD PATTERN)	MFG. Custom #101 Quartz	Color: Battleship Grey Smooth Trowel Finish	MFG. Sherwin Williams Style: Super Paint Interior - Egg Color: Universal Blue SW 6150	Color: Sherwin Williams Style: Super Paint Interior - Satin Color: SW6156 Raines	Shankled Edges - Mitered - Full Height See Interior Elevation	6" Rubber / Vinyl Cove Base Wood: Randall Brothers RB-9802 Speckbase 1/4" x 3/4" TILE BASE TO MATCH T-1	WOOD: WM-300	Crown: WM-48 6/16 x 3/58 inch COVE CEILING SEE DETAIL 1/109.4 TRIM SHELF SEE DETAIL 2/108.4	Wood: Randall Brothers RB-3 CASING 1 1/2" x 3" SEE DETAILS AS NOTED ON INTERIOR ELEVATIONS	Surface: Gypsum Board - Smooth	MFG. Sherwin Williams Style: Super Paint Interior - Egg Color: SW 6156 Raines MFG. Sherwin Williams Style: Super Paint Interior - Flat Color: Oiler Paint SW 8067						
FILE ROOM / BREAK ROOM																					
FITNESS																					
FOYER															SEE DTL 3/CH-9.3						
HALLWAY #1																					
HALLWAY #3																					
KEY CLOSET																					
LAUNDRY																					
MAINTENANCE																					
MANAGER																					
MECH																					
MENS WASHROOM																					
POOL EQUIP																					
RECEPTION																					
TECHNOLOGY																					
WOMENS WASHROOM																					
WORK AREA																					

**CABINET / COUNTERTOP FINISHES**

ROOM NAME	CABINETS		COUNTERTOP			REMARKS
	MANUFACTURER	FINISH	MATERIAL	MANUFACTURER	FINISH	
FILE / BREAKROOM		WALNUT				SUBMIT CABINET COLORS & STYLES TO INTERIOR DESIGNER
MENS WASHROOM			PLASTIC LAMINATE	FORMICA	7704-58 Burnish Glaze MATTE FINISH	TOILET PARTITIONS, LAVATORY SKIRT AND SUPPORT PANELS SHALL FINISHED WITH LAMINATE TO MATCH COUNTER
WOMENS WASHROOM			PLASTIC LAMINATE	FORMICA	7704-58 Burnish Glaze MATTE FINISH	TOILET PARTITIONS, LAVATORY SKIRT AND SUPPORT PANELS SHALL FINISHED WITH LAMINATE TO MATCH COUNTER
TECH CENTER		WALNUT	PLASTIC LAMINATE	FORMICA	7704-58 Burnish Glaze MATTE FINISH	SUBMIT CABINET COLORS & STYLES TO INTERIOR DESIGNER
WORK AREA			PLASTIC LAMINATE	FORMICA	7704-58 Burnish Glaze MATTE FINISH	
LAUNDRY			PLASTIC LAMINATE	FORMICA	Color: 3508-58 Tatami Mat MATTE FINISH	

**EXTERIOR FINISHES**

MATERIAL	MANUFACTURER	FINISH
CEMENT FIBER SIDING		PAINT COLOR AS SELECTED BY OWNER
STONE VENEER	CENTURION STONE	CALIFORNIA RUSTIC
STAMPED CONC. PORCH		SLATE PATTERN COLOR AS SELECTED BY OWNER
ROOFING	ELK	PRESTIGE RAISED 30 YEAR ARCHITECTURAL COLOR: WEATHERWOOD
TRIM AND SOFFIT PAINT	SHERWIN WILLIAMS	EXTERIOR - GLOSS WHITE



DATE: 10.19.04  
REVISION: 12.02.05  
01.11.06

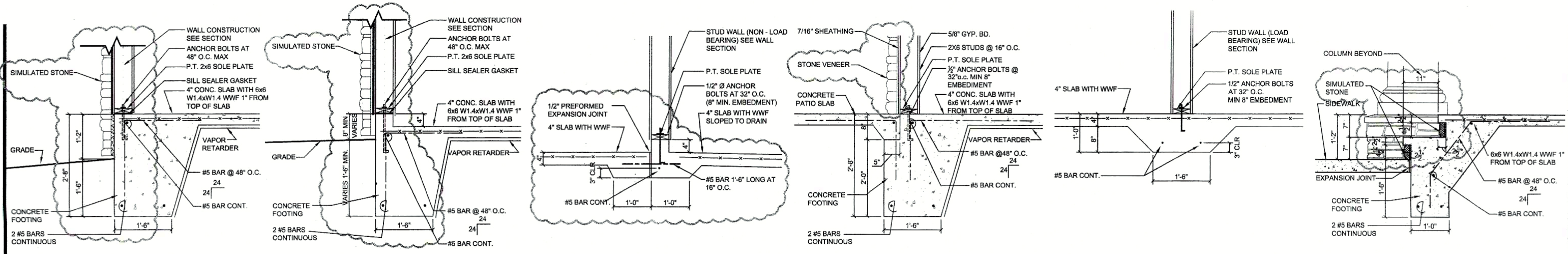
*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2415 ATLANTA, GA 30303 TEL: 404/984-1660 FAX: 404/984-1665

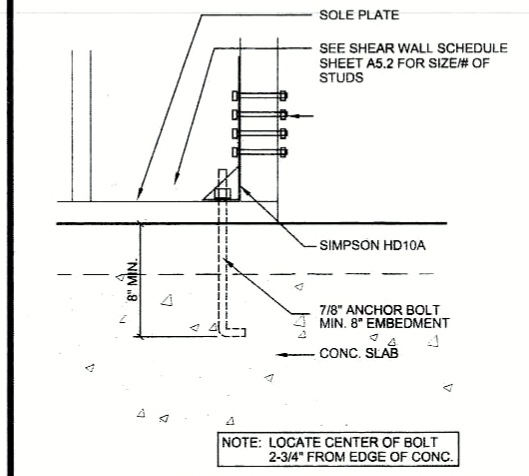
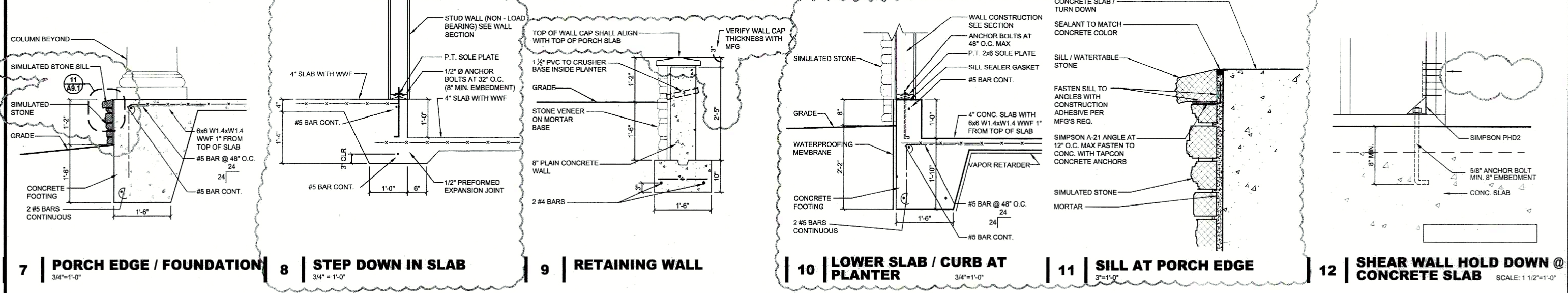
FINISH SCHEDULE  
EXTERIOR FINISHES  
CABINET FINISHES

**CH-A8.2**

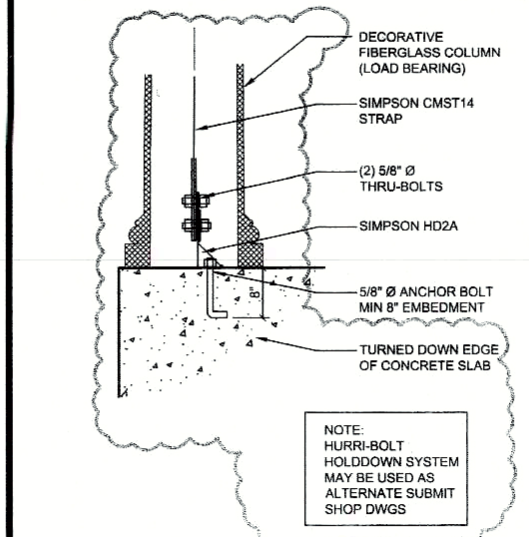




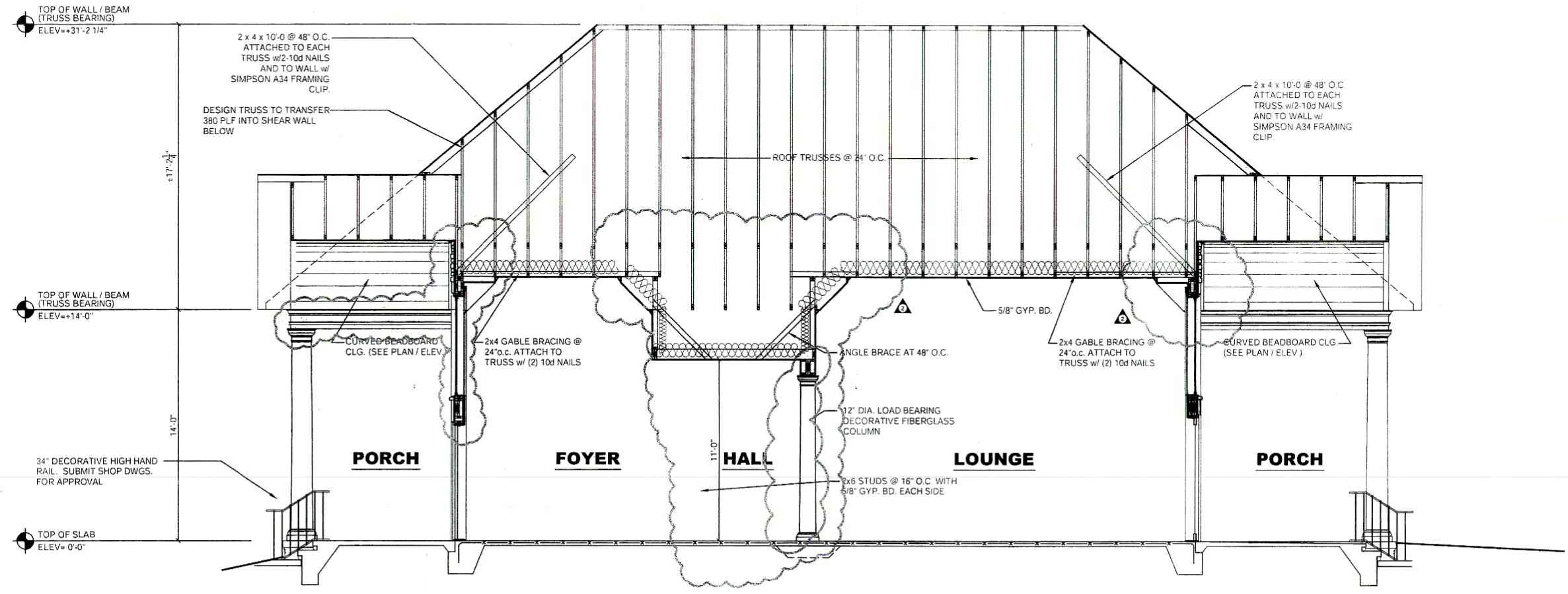
1 | TYP FOOTING / SLAB DTL | 2 | SLAB @ LAUNDRY / POOL | 3 | JNT @ POOL EQUIP SLAB | 4 | PORCH SLAB AT TURNDOWN | 5 | THKND SLAB AT INT. BRG | 6 | STAIRS AT PORCH



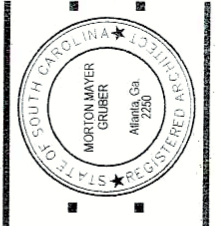
13 | SHEAR WALL HOLD DOWN | SCALE: 1 1/2\"/>



14 | COLUMN ANCHOR AT BASE |



BUILDING SECTION

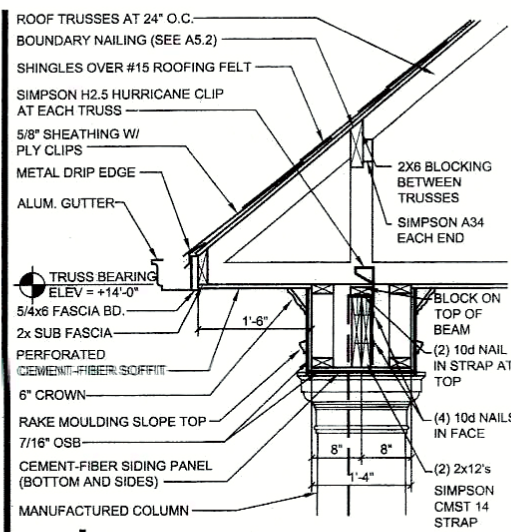


DATE: 10/19/04  
 REVISION: 11/11/05

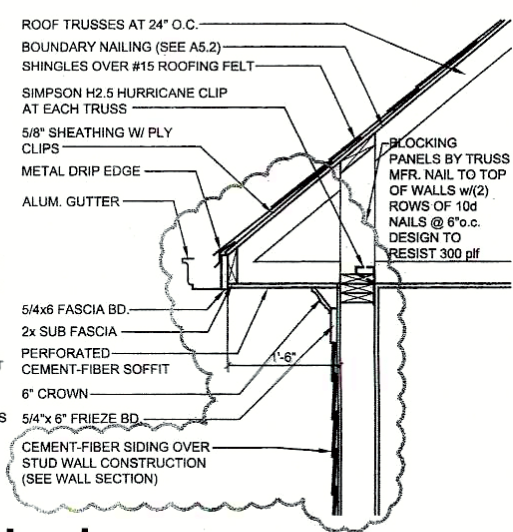
*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina  
 MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/884-1880 FAX 404/884-1895

BUILDING SECTION  
 DETAILS

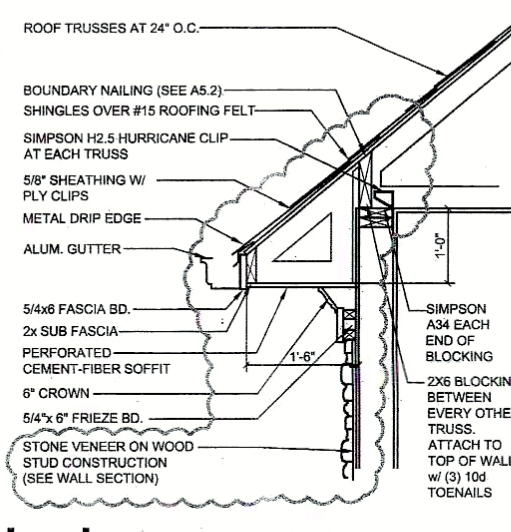
CH-A9.1



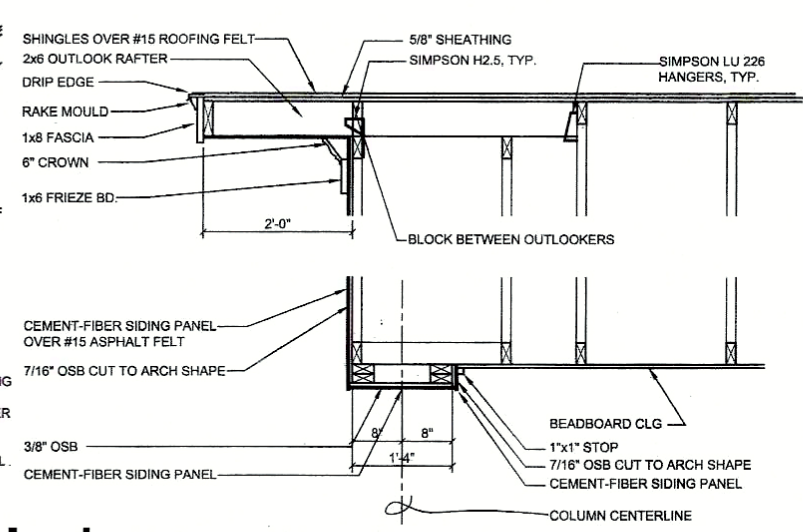
**1 | PORCH SOFFIT**  
3/4"=1'-0"



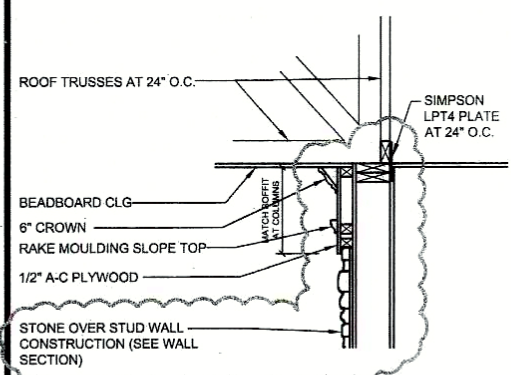
**2 | TYP. SOFFIT**  
3/4"=1'-0"



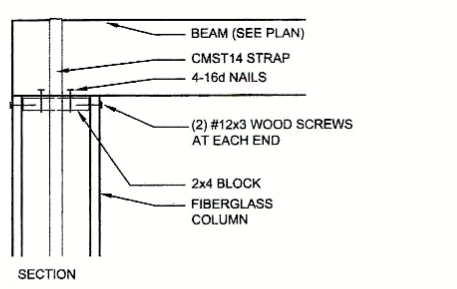
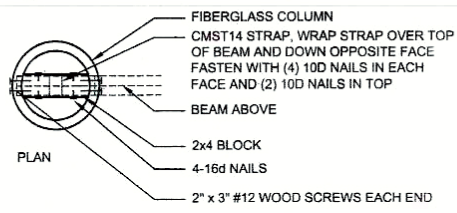
**3 | SOFFIT AT 11'-0" CLG**  
3/4"=1'-0"



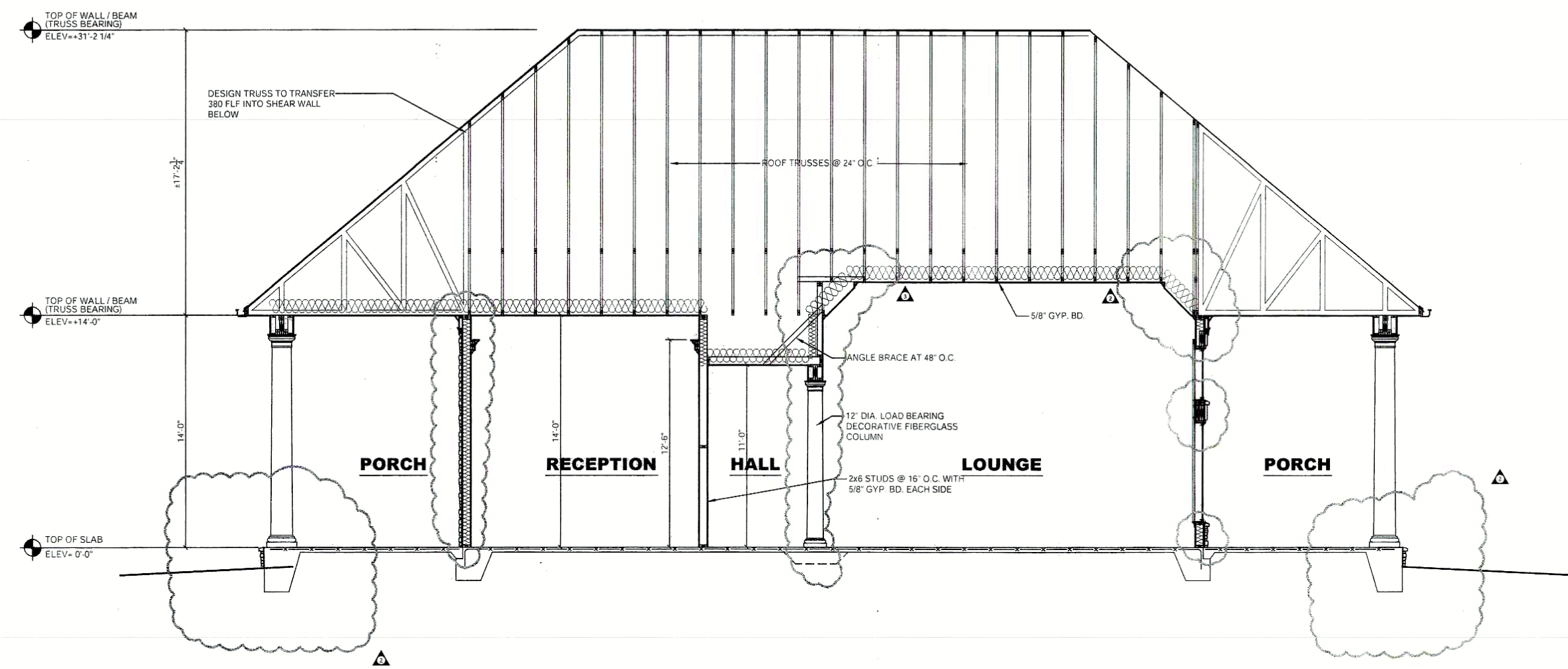
**4 | PORCH GABLE / ARCH SECTION**  
3/4"=1'-0"



**6 | FASCIA, TRUSS CONN**  
3/4"=1'-0"



**7 | PORCH BEAM/COL. CONN.**  
3/4"=1'-0"



**BUILDING SECTION**



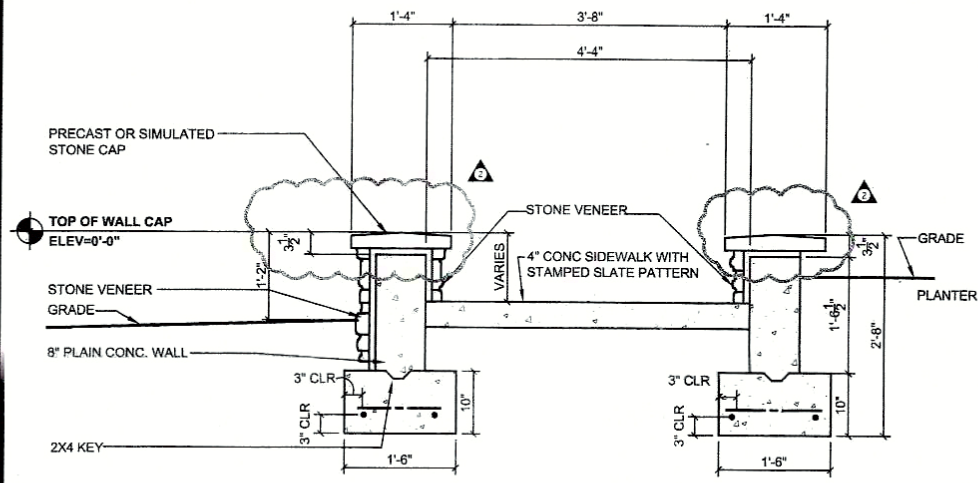
DATE	10/19/04
REVISION	
	12/02/05
	01/11/06

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

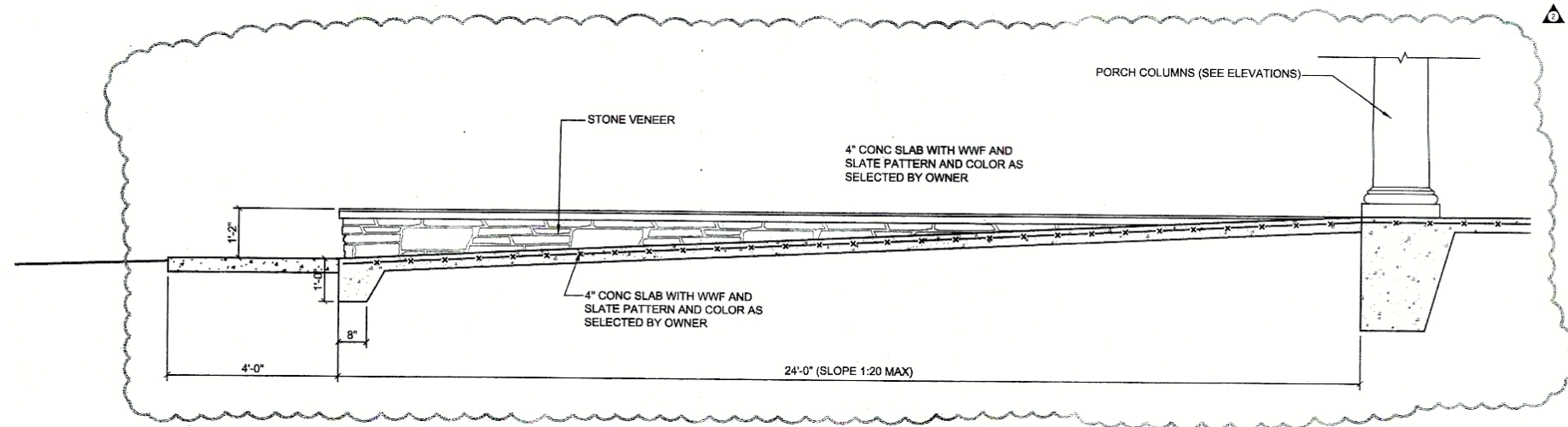
**MORTON M. GRUBER, AIA, ARCHITECT**  
246 PEACHTREE CENTER AVE. SUITE 245 ATLANTA, GA 30303 TEL. 404/584-1080 FAX 404/584-1695

BUILDING SECTION  
DETAILS

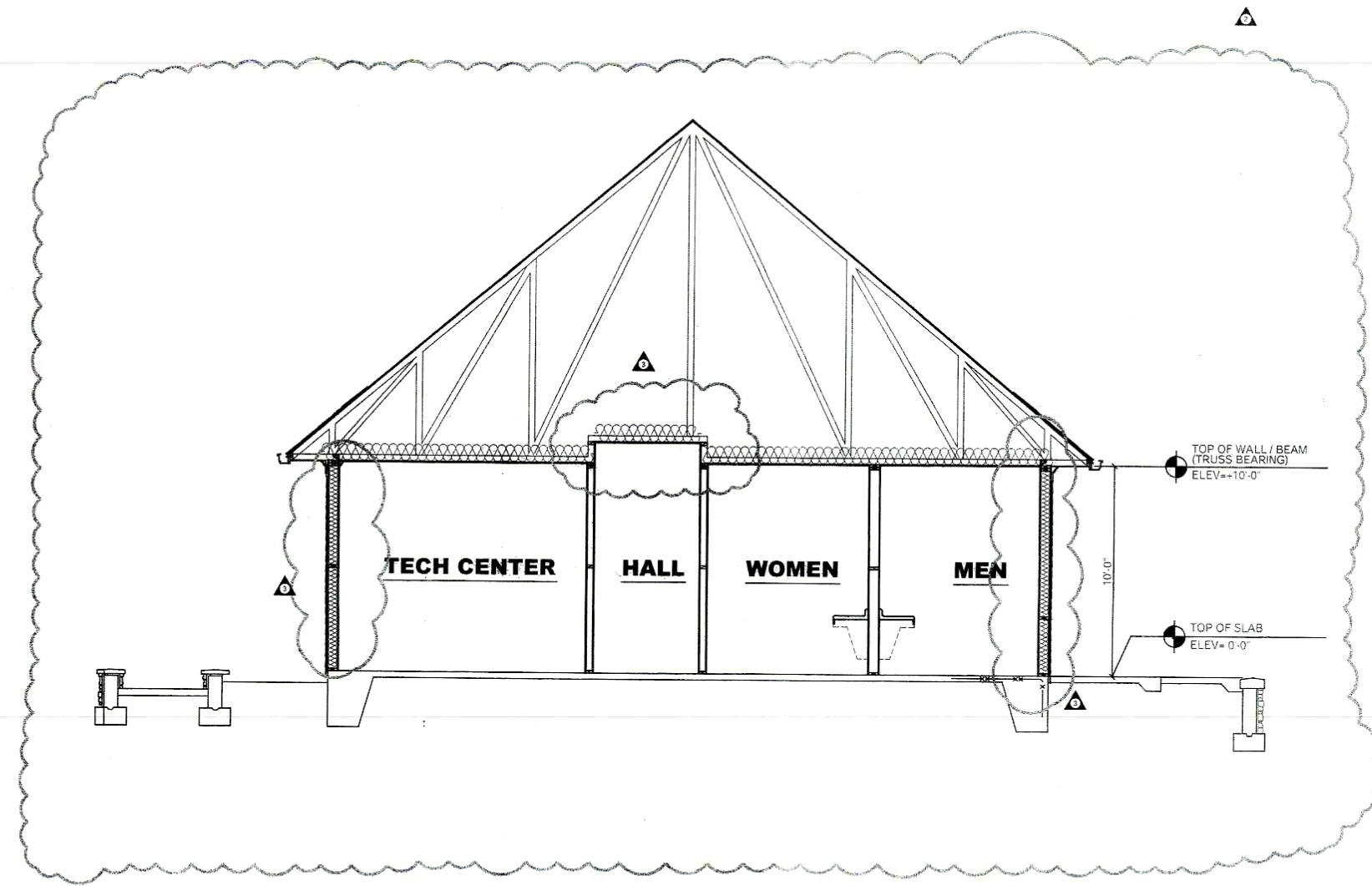
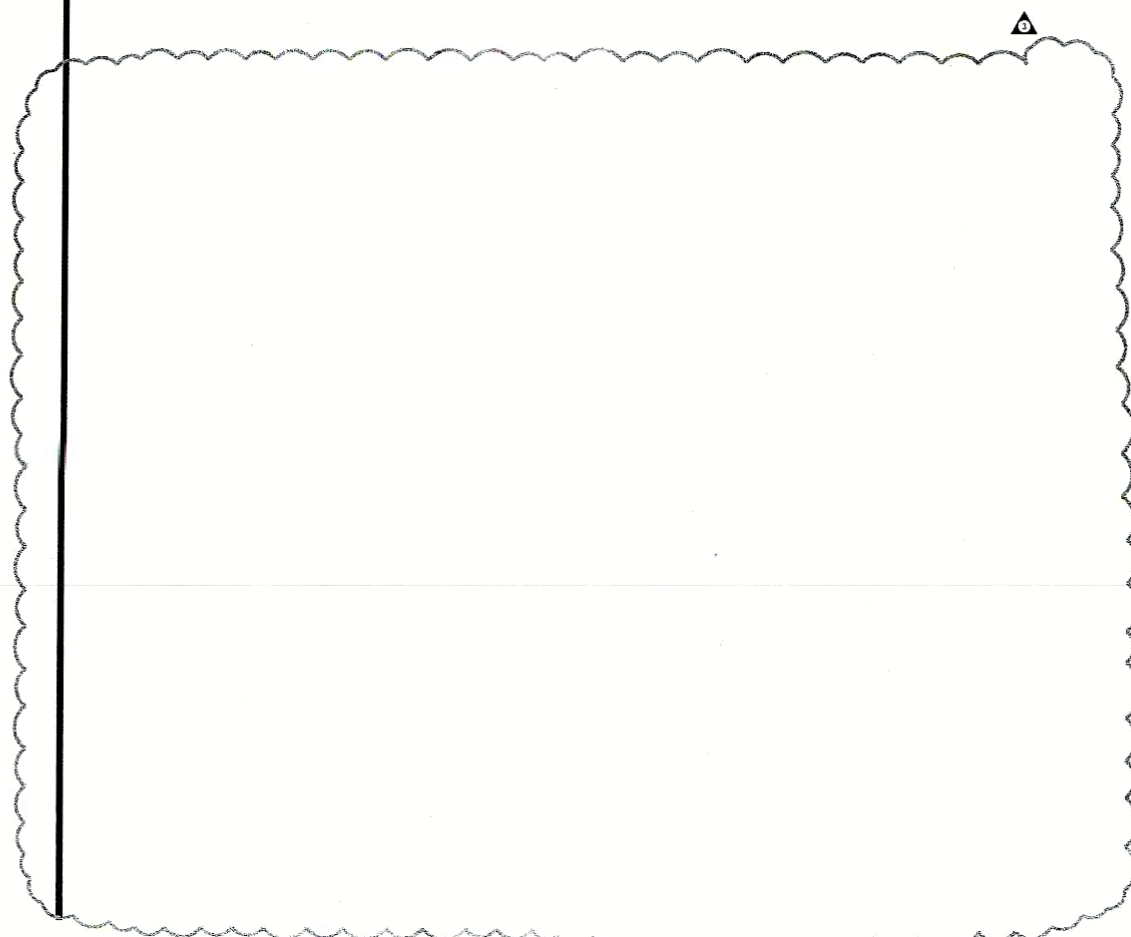
**CH-A9.2**



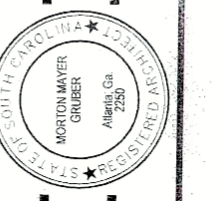
**1 | SLOPED SIDEWALK**  
SCALE: 3/4" = 1'-0"



**2 | SLOPED SIDEWALK SECTION**  
SCALE: 1/2" = 1'-0"



**BUILDING SECTION**



DATE	REVISION
10/19/04	
12/02/05	
01/11/06	

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

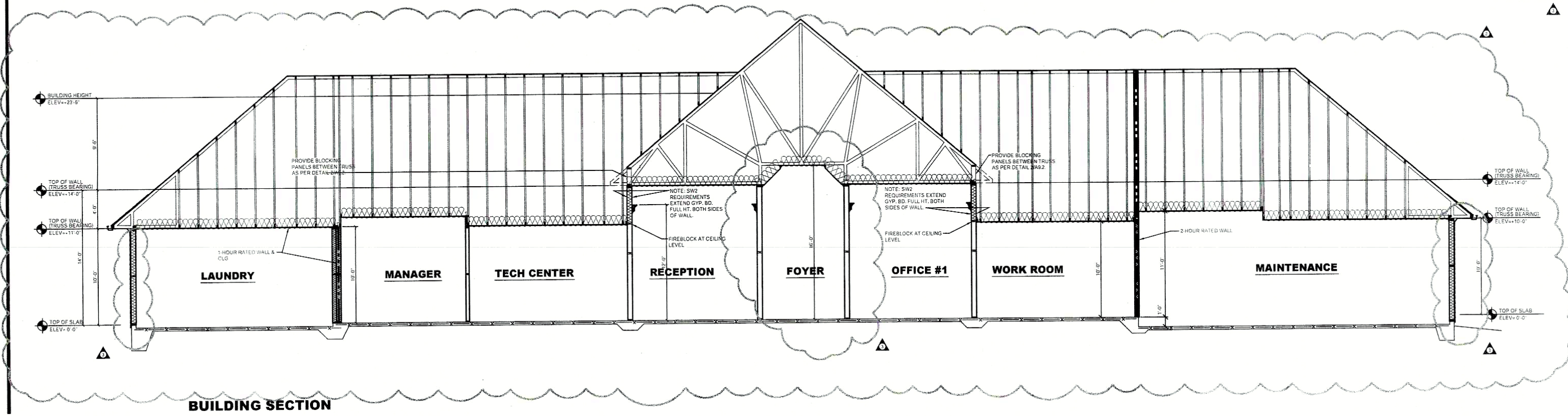
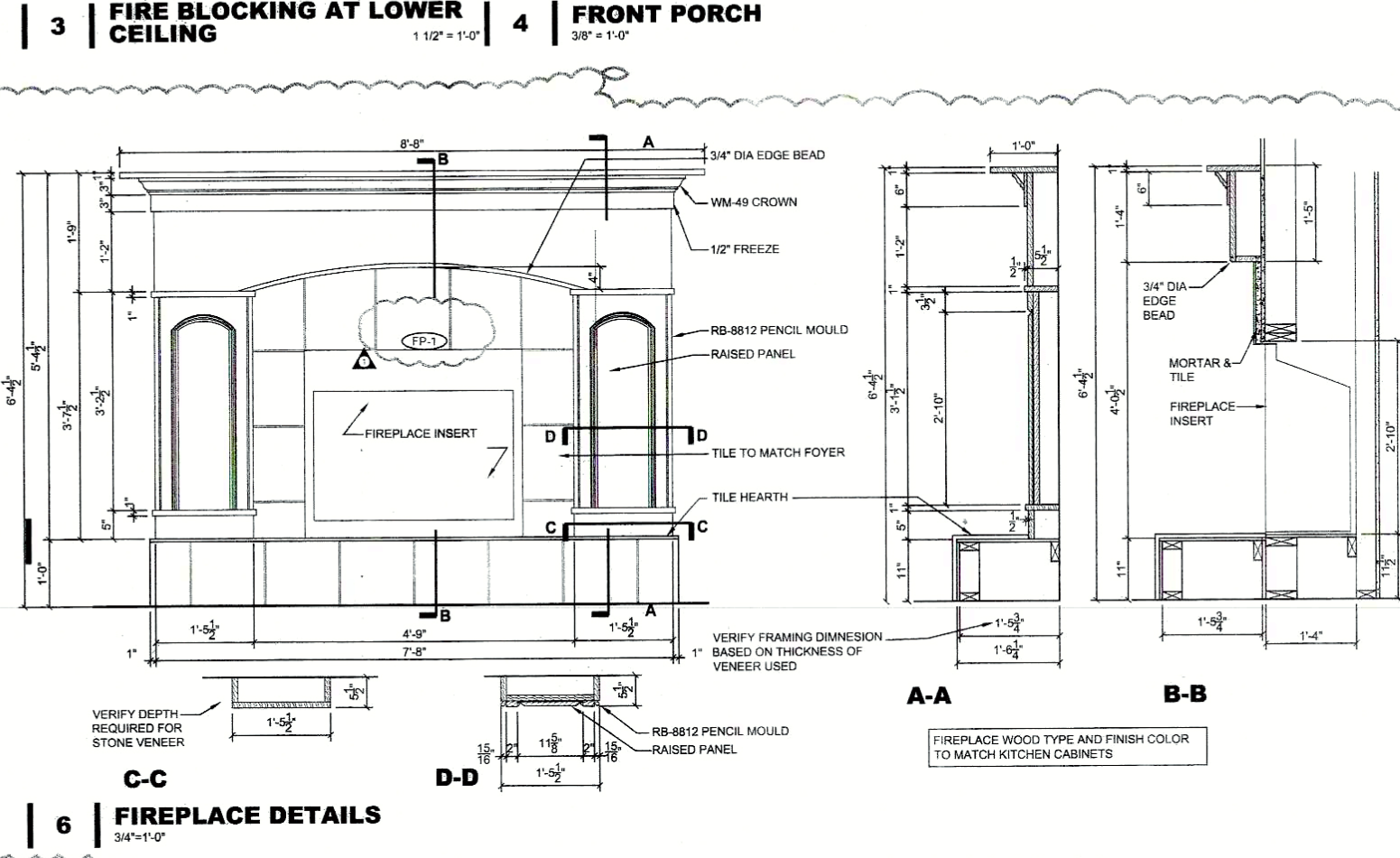
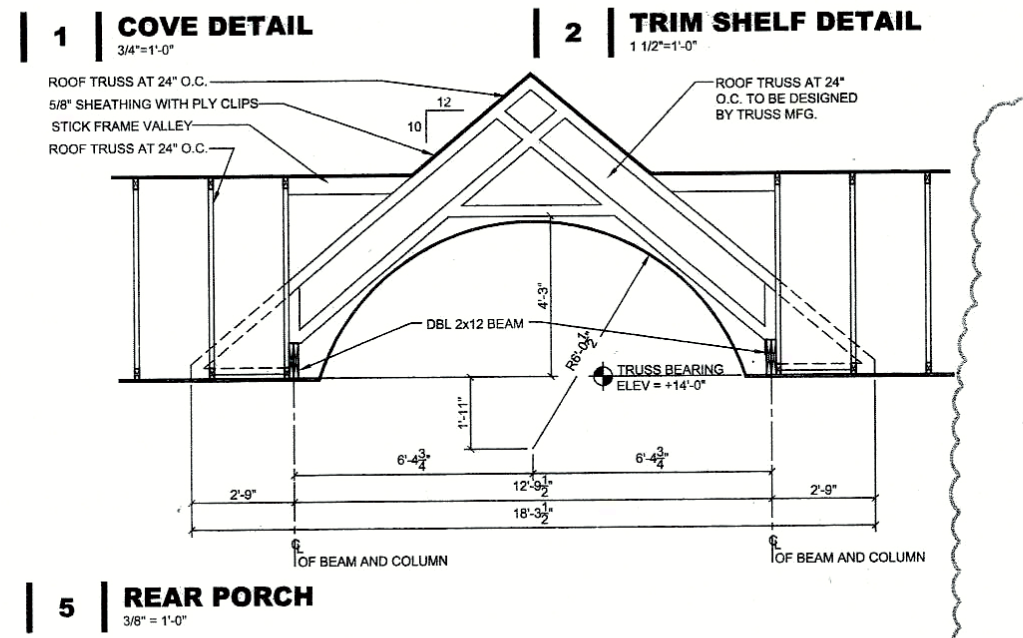
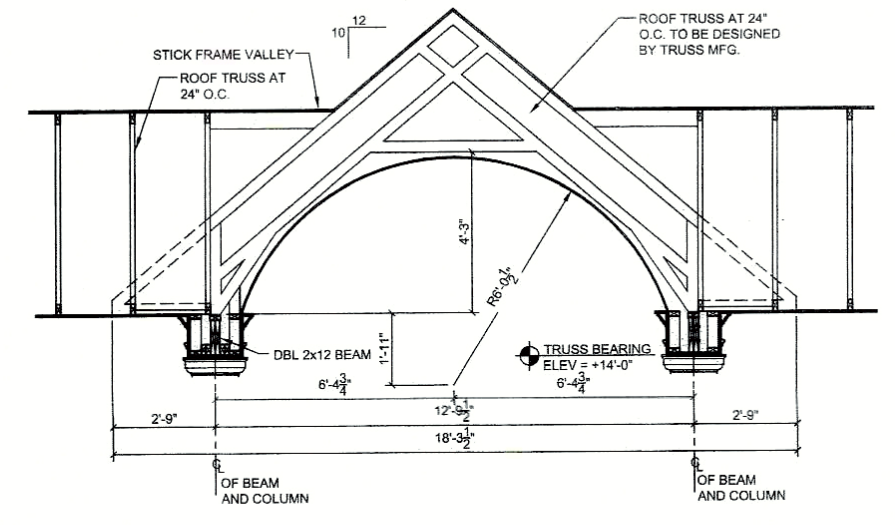
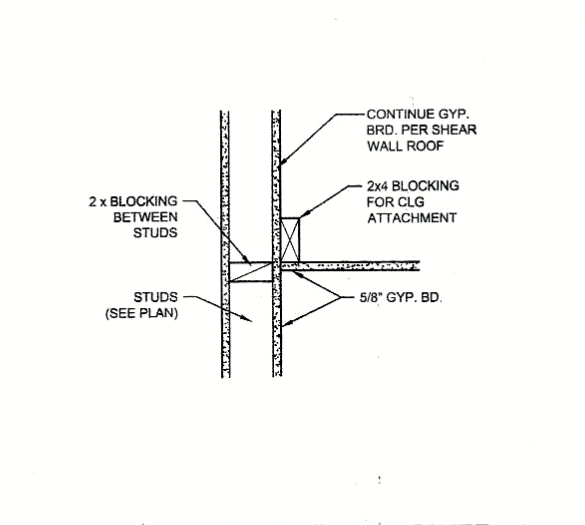
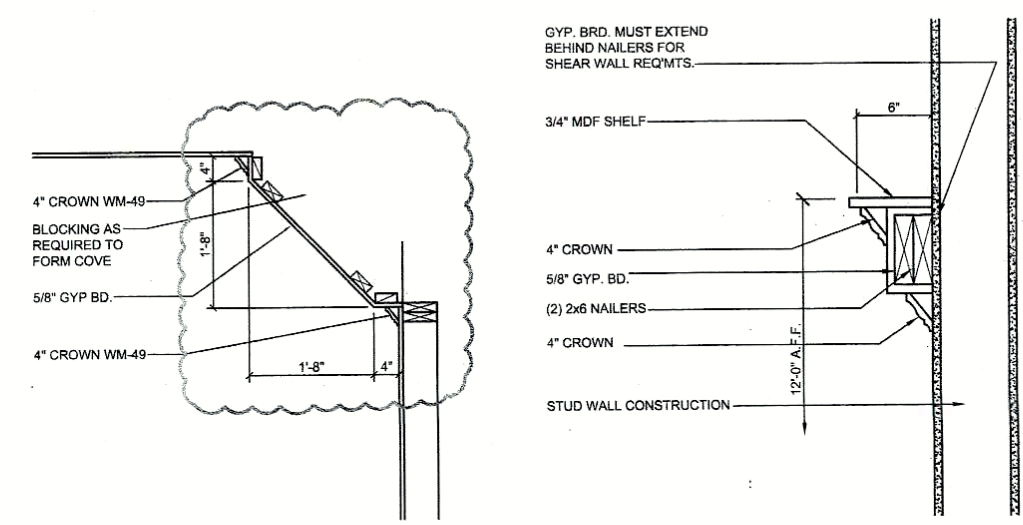
**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30303 TEL: 404.864.1460 FAX: 404.864.1465

BUILDING SECTION  
DETAILS

**CH-  
A9.3**



DATE 10-19-04  
 REVISION 11-17-04  
 12-02-05  
 01-11-06



*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

BUILDING SECTION  
 DETAILS

A9.4  
 CH

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA. 30309 TEL: 404/984-1880 FAX: 404/984-1896

**GA FILE NO. WP4135**

**GENERIC**

**GYPSUM WALLBOARD, WOOD STUDS**

Base layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of 2 x 4 wood studs 24" o.c. with 60 coated nails, 1 1/4" long, 3/16" diam. 1/4" heads, 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 60 coated nails, 2 1/2" long, 0.100" diam. 1/4" heads, 18" o.c.

Joints staggered 24" each layer and side. Sound tested with studs 16" o.c. and with nails for base layer spaced 17" o.c. (LOAD-BEARING)

Thickness: 5/8"  
Approx. Weight: 12 psf  
Fire Test: FM WP 300, 9-27-74  
Sound Test: NRC 2983, 4-1-70

**1 | 2-HOUR RATED WALL GYP. ASSOC. WP4135**

**2 | NOT USED | 3 | NOT USED | 4 | NOT USED**

**GA FILE NO. WP 3514**

**1 HOUR FIRE** | **35 to 39 STC SOUND**

**GYPSUM WALLBOARD, WOOD STUDS**

One layer 5/8" type X gypsum wallboard or veneer base applied parallel with or at right angles to each side of 2 x 4 wood studs spaced 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. Stagger joints each side. (LOAD-BEARING)

Thickness: 4/4"  
Approx. Weight: 7 psf  
Fire Test: SWR101-4511-619, 8-19-92  
Sound Test: See WP 3520

**5 | 1-HOUR RATED INTERIOR WALL - GYP. ASSOC. FILE #WP 3514**

**CEMENT-FIBER SIDING**

**WEATHER RESISTIVE BARRIER**

**STONE VENEER**

**BATT. INSULATION**

**40 MIN. 5/8" TYPE "X" GYP. BD.**

**(20 MIN) WOOD STUDS @ 16" O.C.**

**60 MIN TOTAL DESIGN TIME**

**60 MIN OSB SHEATHING**

**RATING TIME TAKEN FROM SBC TABLES 720.6.2(1), 720.6.2(2)**

**6 | 1-HR FIRE RATED EXTERIOR WALL (EXPOSURE FROM INSIDE)**  
1 1/2" = 1'-0"

**TABLE 720.6.2(1)**  
**TIME ASSIGNED TO WALLBOARD MEMBRANES<sup>a,b,c,d</sup>**

DESCRIPTION OF FINISH	TIME <sup>e</sup> (minutes)
1/2-inch wood structural panel bonded with exterior glue	5
1/2-inch wood structural panel bonded with exterior glue	10
1/2-inch wood structural panel bonded with exterior glue	15
1/2-inch gypsum wallboard	10
1/2-inch gypsum wallboard	15
1/2-inch gypsum wallboard	30
1/2-inch Type X gypsum wallboard	25
1/2-inch Type X gypsum wallboard	40
Double 1/2-inch gypsum wallboard	25
1/2 + 1/2-inch gypsum wallboard	35
Double 1/2-inch gypsum wallboard	40

For SI: 1 inch = 25.4 mm.

a. These values apply only when membranes are installed on framing members which are spaced 16 inches o.c.

b. Gypsum wallboard installed over framing or furring shall be installed so that all edges are supported, except 1/2-inch Type X gypsum wallboard shall be permitted to be installed horizontally with the horizontal joints staggered 24 inches each side and unsupported but finished.

c. On wood-frame floor/ceiling or roof/ceiling assemblies, gypsum board shall be installed with the long dimension perpendicular to framing members and shall have all joints finished.

d. The membrane on the unexposed side shall not be included in determining the fire resistance of the assembly. When dissimilar membranes are used on a wall assembly, the calculation shall be made from the least fire resistant (weaker) side.

e. The time assigned is not a finite rating.

**TABLE 720.6.2(2)**  
**TIME ASSIGNED FOR CONTRIBUTION OF WOOD FRAME<sup>a,b</sup>**

DESCRIPTION	TIME ASSIGNED TO FRAME (minutes)
Wood studs 16 inches o.c.	20
Wood floor and roof joists 16 inches o.c.	10

For SI: 1 inch = 25.4 mm.

a. This table does not apply to studs or joists spaced more than 16 inches o.c.

b. All studs shall be nominal 2 x 4 and all joists shall have a nominal thickness of at least 2 inches.

c. Allowable spans for joists shall be determined in accordance with Sections 2303.6, 2303.10.3 and 2303.10.3.

**GA FILE NO. RC 2601**

**1 HOUR FIRE**

**GYPSUM BOARD, WOOD JOISTS, ROOF COVERING**

Base layer 1/2" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 1/4" Type S drywall screws 12" o.c. at joints and intermediate joists and 1 1/4" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for wood framing, including trusses.

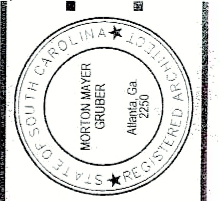
Approx. Ceiling Weight: 5 psf  
Fire Test: FM FC 172, 2-25-72

**GYPSUM ASSOC FILE #RC 2601**

**BUILDING SECTION**

**DETAILS**

**CH-A9.5**

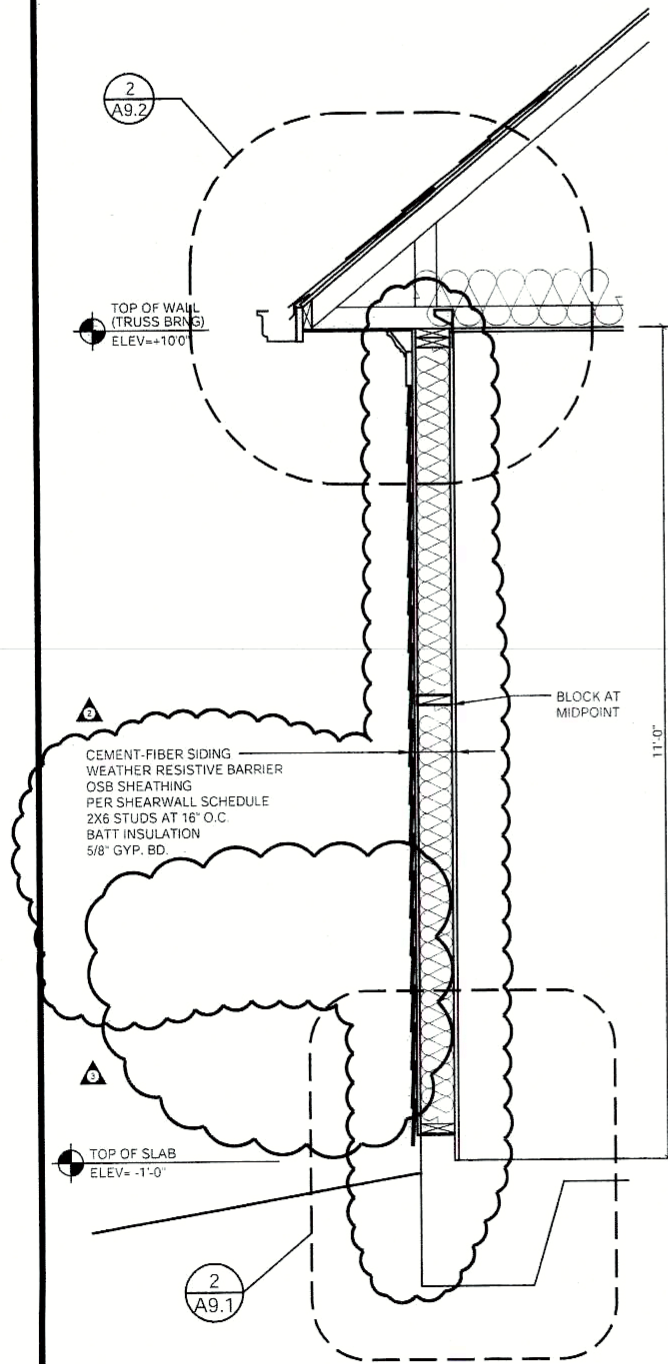


**DATE** 10/19/04  
**REVISION** 12/02/05  
01/11/06

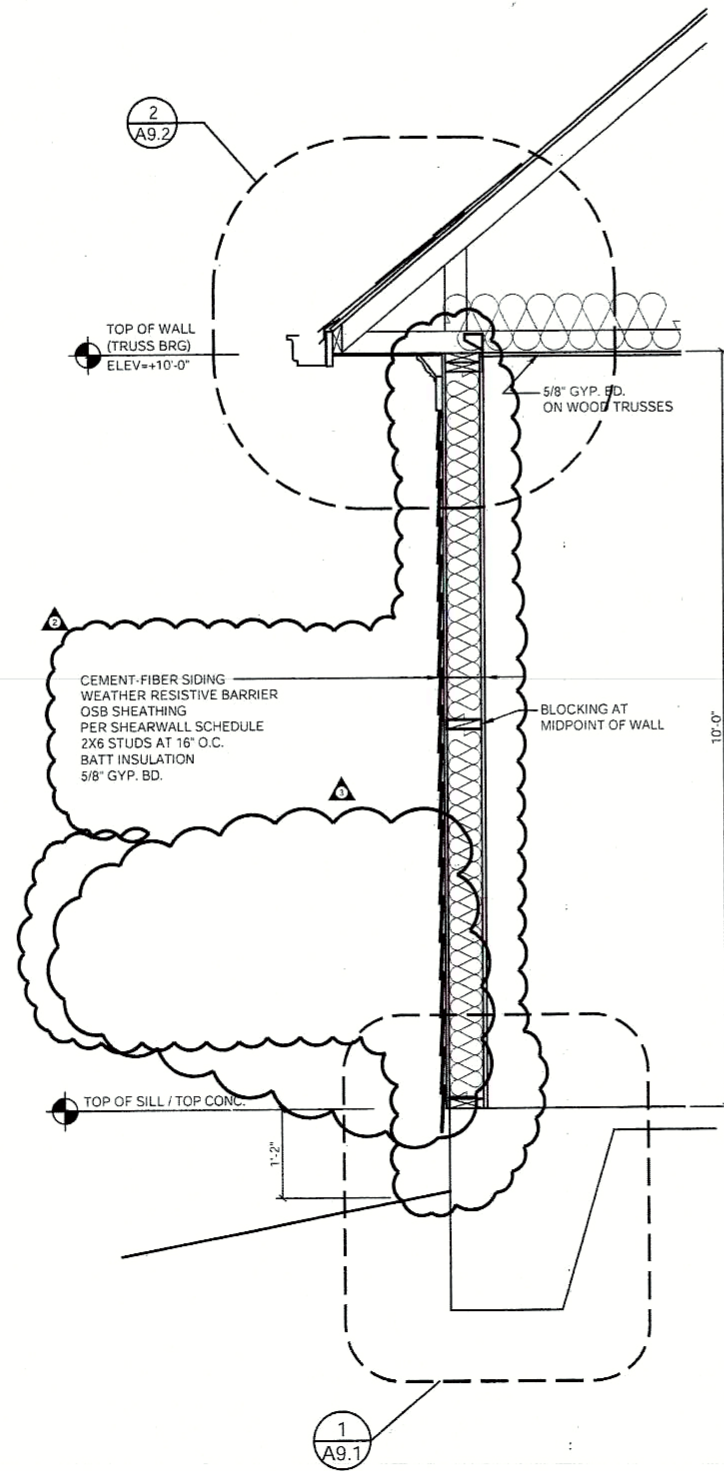
**Wyndham Pointe Clubhouse**  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/584-1880 FAX 404/584-1885

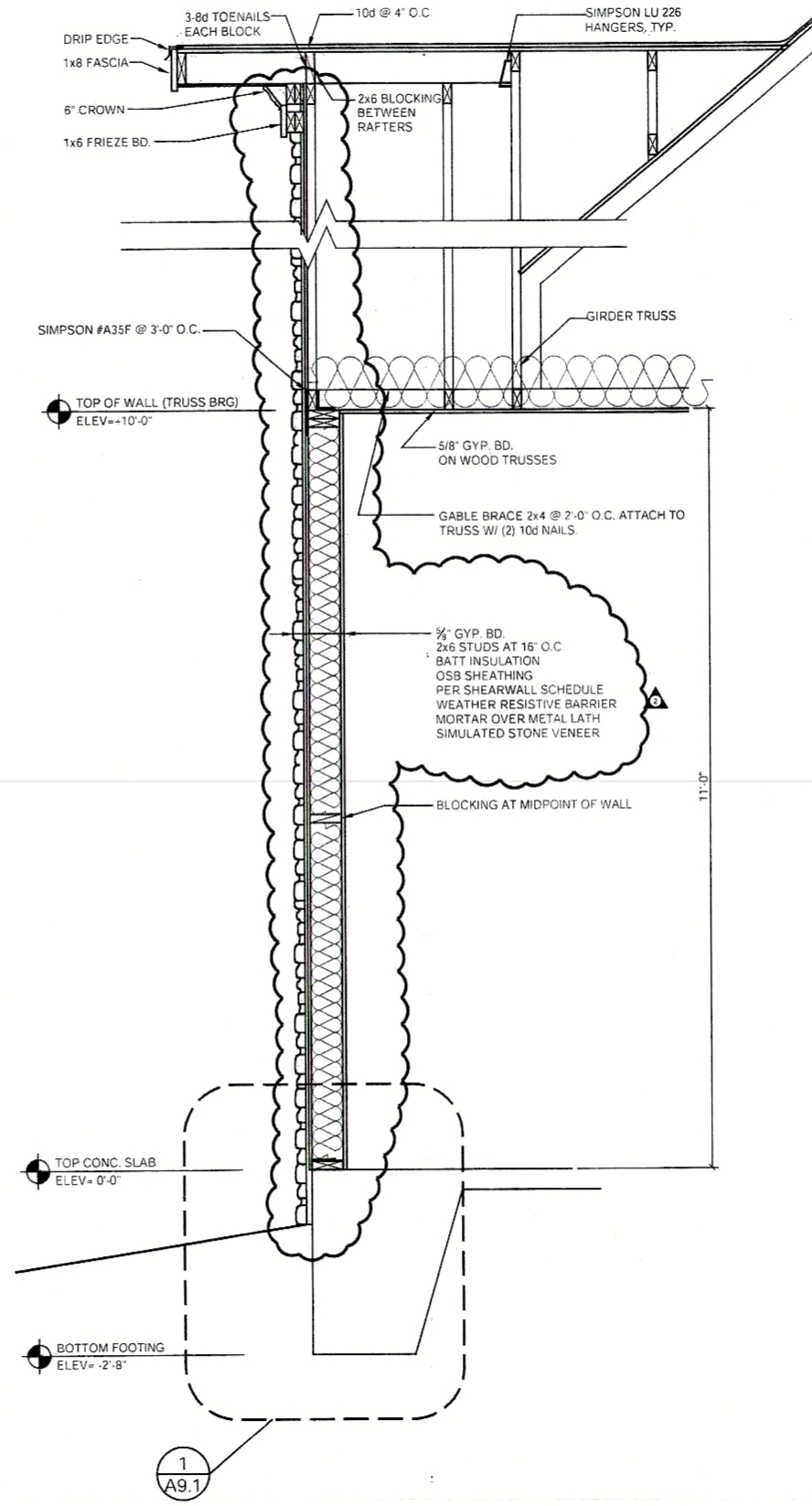
BUILDING SECTION  
DETAILS



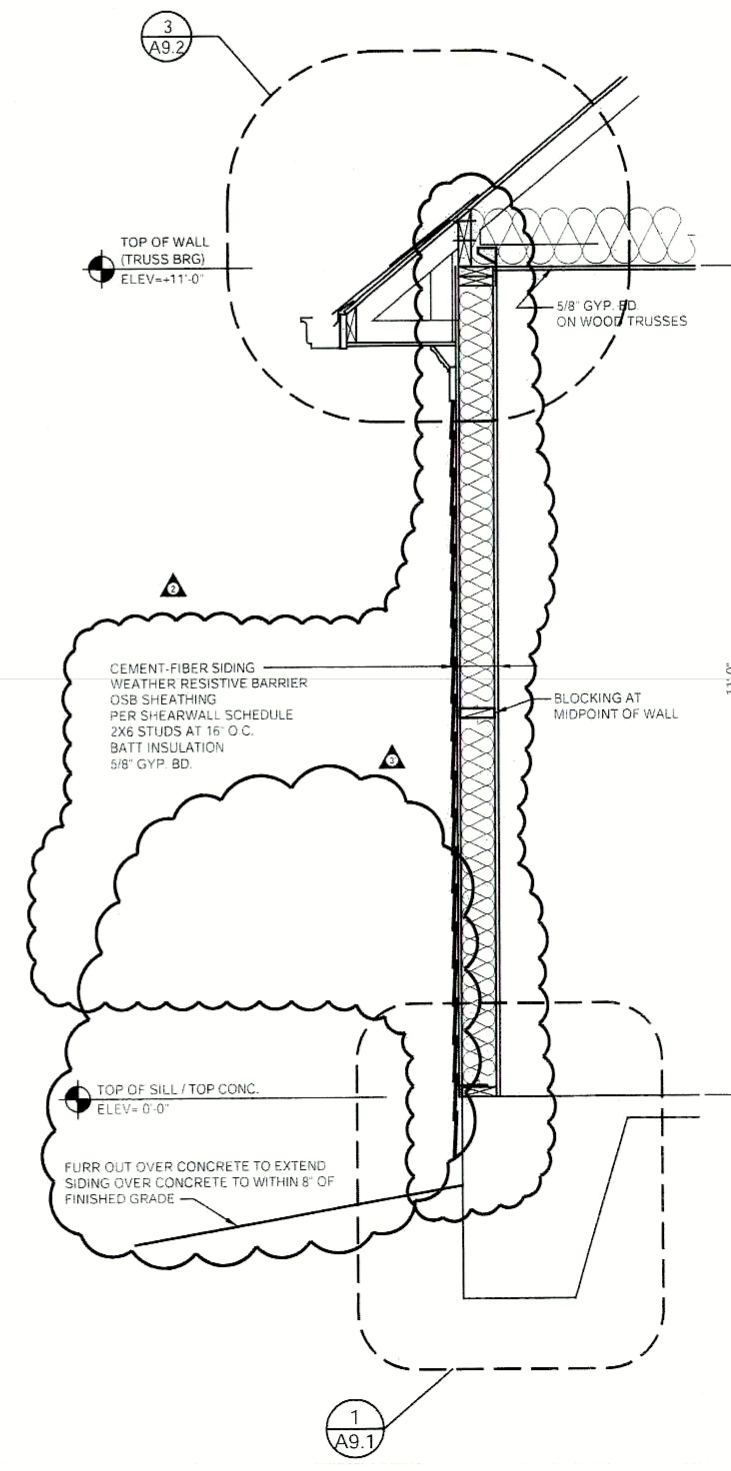
1 | WALL SECTION  
SCALE: 3/4"=1'-0"



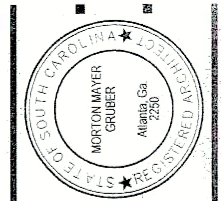
2 | WALL SECTION  
SCALE: 3/4"=1'-0"



3 | WALL SECTION  
SCALE: 3/4"=1'-0"



4 | WALL SECTION  
SCALE: 3/4"=1'-0"



DATE	REVISION
10-19-04	
12-02-05	1
01-11-06	2

*Wyndham Pointe*  
Clubhouse  
80 Brighton Hill Road  
Richland County, South Carolina

MORTON M. GRUBBIER, IAA, ARCHITECT  
245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404/984-1880 FAX 404/984-1895

WALL SECTIONS

CH-  
A10.1

**GENERAL NOTES AND REQUIREMENTS**

- Coordinate and verify all dimensions and details with the architectural drawings. Notify the Architect immediately of any discrepancies.
- If field conditions vary from those indicated on the drawings and necessitate changes to the drawings, contact the Engineer before proceeding.
- Submit shop drawings for review prior to fabrication for the following items:
  - Wood Roof and Floor Trusses (sealed by registered engineer)
  - Concrete mix design
  - Concrete Reinforcing
  - Wrought Iron Guardrails (sealed by registered engineer)
- Submit concrete tests performed by an ACI certified testing laboratory for seven and twenty-eight day concrete test cylinder breaks.
- Concrete test reports will be available at job site.
- Contractor shall be responsible for bracing and shoring of the structure during construction to ensure stability.
- All truss plans shall be available on job site during the times of inspections.
- Proof of welder certification shall be available at the job site during times of inspection.

**FOUNDATION NOTES**

- Foundations are designed to bear on residual soil or compacted fill with an allowable bearing capacity of 2000 psf. Bearing capacity must be verified by a Geotechnical Engineer prior to concrete placement. If soil test disclose a lesser bearing capacity, this foundation system is void and must be re-designed.
- Footings shall bear 30" minimum into undisturbed earth or mechanically compacted engineered fill. Exterior wall footings shall bear a minimum of 30" below finished grades. Fill soils shall have compaction tests performed by a geotechnical engineer before pouring foundations.
- Soils under footings to be at 98% Standard Proctor Density, soils under slab to be at least 95% Standard Proctor Density.
- All anchor bolts shall have min. 8" embedment into concrete.

**GENERAL CONCRETE NOTES**

- All materials and workmanship shall conform to project specifications. All detailing, fabrication accessories, and placement of reinforcing shall conform to the ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures. Design is in accordance with ACI 318-99 "Building Code Requirements for Reinforced Concrete".
- Concrete shall be normal weight gray concrete and develop a minimum compressive strength of 3000 psi at 28 days, unless otherwise specified.
- Reinforcing bars shall be deformed bars conforming to ASTM A 615:
  - Grade 40 - #3 bars
  - Grade 60 - #4 bars and larger.
- Welded wire fabric reinforcing shall conform to ASTM A 185.
- Where the length of a bar is given, and it is to be hooked, the hook shall be in addition to the length given.
- Depths of the footing shown on the drawings are minimum. Footing elevation may be lowered if found necessary by the Engineer.
- No horizontal construction joints will be permitted in slabs or walls.
- All construction joints shall be rough surface and cleaned before the next concrete pour.
- Where openings occur in slabs, place the reinforcing that normally occurs in line with the opening equally to either side of the opening. Cut no steel in the field.
- Mechanical, electrical and architectural drawings shall be checked for embedded items and penetrations before pouring.
- Minimum Lap Splice Lengths
 

Compression	#4	15"
	#5	19"
	#6	23"
Tension	#4	29"
	#5	36"
	#6	43"

LINTEL SCHEDULE	
OPENING WIDTH	LINTEL SIZE
	BRICK VENEER
0'-4"	L 3 x 3 x 3/16
OVER 4'-8"	L 4 x 3-1/2 x 5/16 LLV
OVER 8'-11"	L 7 x 4 x 3/8 LLV

NOTE: Provide 8" min. bearing each end  
 LLV = Long Leg Vertical  
 LLH = Long Leg Horizontal  
 COORDINATE LINTEL ANGLE SIZE WITH CAST LINTELS

**STRUCTURAL WOOD FRAMING NOTES**

- All workmanship shall conform to the National Design Specification For Wood Construction, published by the National Forest Products Association, and the Building Code.
- Lumber sizes specified on the plans are minimum nominal dimensions.
- All lumber shall be identified by an affixed grade mark of a lumber grading or inspecting agency.
- Unless noted otherwise, lumber for beams, headers, and joists shall be Southern Yellow Pine #2. Lumber for rafters shall be Spruce-Pine-Fir #2, and lumber for studs shall be Spruce-Pine-Fir Stud Grade.
- Finger jointed Spruce-Pine-Fir #2 lumber meeting product standard SP51 and C/QC101.97 can be used for rafters. Finger jointed Stud Grade Spruce-Pine-Fir lumber meeting product standard SP53 and C/QC101.97 can be used for studs.
- All lumber and wood structural panel members, including preservative-treated, 2 inch thick and less, shall contain not more than 19% moisture at the time of installation.
- Provide pressure treated lumber at all locations specified on the drawings.
- Provide Simpson Strong-Tie, or approved equal, connectors at all locations shown on the plans.
- Laminated Veneer Lumber (LVL) shall be Microlam beams as manufactured by Trus Joist Mccormick, or equal.
- Glulam beams are to be 24F-V3 lamination combination with camber radius of 1600 feet, unless noted otherwise on the plans. Members shall be marked in accordance with ANSI Standard A190.1. No holes or notches are to be cut in glulams without written approval from the engineer.
- Wood I-joists shall be the size and manufacturer indicated on the plans, or approved equal. Installation shall be in accordance with the manufacturer's recommendations.
- Number of posts indicated are "jack studs" below header or beam. Provide, also, (1) full height "king stud" in addition to jack studs.
- Provide 1/2" plywood fill between multiple beams/headers where required for finish.
- Load bearing walls must align at each level, typ. all units.
- Shear walls noted will extend entire length or width of bldg., as applicable.
- Double studs at end of shear walls.
- Use a doubled top plate and stagger all splices 4'-0" min. Secure plates together with 6-16d nails on each side of each splice at all party walls. Drive all nails through and clinch. Use longest pieces of wood from outside inward, to splice near center of panel.
- All gyp. bd. & OSB indicated in the shear wall schedule shall be applied vertically or, if applied horizontally, shall be fully blocked with purlins so that all edges are supported and nailed.

**PRE-ENGINEERED WOOD ROOF TRUSSES**

- Truss diagrams are for conceptual chord configurations only. Member configuration and sizes are to be determined by manufacturer.
- Trusses shall be designed by a professional engineer registered in the State and the drawings and calculations shall bear their seal.
- Submit shop drawings for all trusses to the Architect for review prior to fabrication. Drawings shall show truss profile, web and chord member sizes, member forces, and reaction forces.
- Web and chord members shall be a minimum size of 2 x 4.
- Provide connection and installation details for all trusses, showing temporary and permanent bracing and bridging locations in accordance with truss plate Institute's "Handling, Installation and Bracing Metal Plate Connected Wood Trusses", H1B-01.
- Where trusses bear on another truss, truss manufacturer shall provide all required connection hardware, of inspection and shall bear clear indication that they have been reviewed and approved for construction by the Project Engineer.
- Roof framing is not designed to support mechanical equipment.
- All pre-engineered truss shop drawings shall be available on job site during the times of inspection and shall bear clear indication that they have been reviewed and approved by the structural engineer of record.

**GENERAL MASONRY NOTES**

- BRICK: QUEEN SIZE, RUNNING BOND
- CMU: 4" x 8" x 16 CMU F'm = 1,500 PSI CONFORMING TO ASTM C90 TYPE II GRADE "N" MORTAR: TYPE N PER ASTM C270
- Reinforcing bars shall be deformed bars conforming to ASTM A 615:
  - Grade 40 - #3 bars
  - Grade 60 - #4 bars and larger.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR STRUCTURAL MASONRY ACI 530-99.
- GROUT: COMPRESSION STRENGTH = 2000 PSI PER ASTM C476
- ALL MASONRY VENEER SHALL BE ATTACHED WITH 9-GAUGE CORRUGATED METAL TIES @16" O.C. VERT. & 32" O.C. HORIZONTAL MAX.

**ROOF DECK (PER TABLE 2306.3.1)**

5/8" OSB, NAILING PATTERN: 10d NAILS AT 6" O.C. AT PERIMETER EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. USE PLY-CLIPS AT UNSUPPORTED EDGES.

**SUBFLOOR (PER TABLE 2306.3.1)**

3/4" T&G OSB, NAILING PATTERN: 10d NAILS AT 6" O.C. AT BOUNDARY & PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

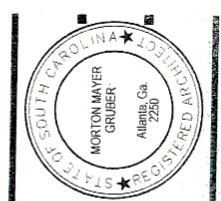
**DESIGN CODES & REGULATIONS**

**GENERAL STRUCTURAL NOTES**

- Design Codes and Criteria:
  - The structural design is based on the 1994 Standard Building Code
- Design loads are as follows:
  - Dead And Colateral Loads:
    - Rafters = 10 psf (Superimposed)
    - Roof Trusses
      - Top Chord Dead Load = 4 psf (Superimposed)
      - Top Chord Collateral Load = 1.5 psf (Superimposed)
      - Bot Chord Dead Load = 4.5 psf (Superimposed)
      - Bot Chord Collateral Load = 1.5 psf (Superimposed)
    - Roof Live Loads: Roof = 20 psf (With applicable reductions)
    - Roof Conc. Loads: Indicated on plan.
    - Rain Loads: Roof Slope = Not Applicable
    - Handrails and guards:
      - 50 pif applied in any direction at top
      - 200 lb concentrated load applied in any direction and at any location at top
      - 50 lb applied horizontally over 1 sf to intermediate components
    - Snow Loads:
      - Ground Snow Load Pg = 20 psf
      - Stepped Roof Snow Load Ps = 14 psf
      - Snow Exposure Factor Ce = 1.0
      - Thermal Factor Ct = 1.0
      - Snow Load Importance factor Is = 1.0
    - Wind Loads:
      - Basic Wind Speed V=80 mph
      - Wind Load Importance Factor Iw = 1.0
      - Wind Exposure Category = B
      - Internal Pressure Coefficient = ± 0.18 (With Applicable Reductions)
      - Component Wind Pressures:
        - Component Roof Design Pressure = 18 psf
        - Component Wall Design Pressure = 16 psf
  - Earthquake Loads:
    - Peak velocity - rated acceleration: Av = 0.12
    - Peak acceleration Aa = 0.10
    - Seismic Hazard Exposure Group = I
    - Seismic Performance Category = C
    - Soil-Profile Type/Site Coefficient = S4/2.0
    - Basic Structural System and Seismic-Resisting System =
    - Bearing Wall Systems
      - Light Framed Walls with Wood Shear Panels
      - Response Modification Coeff. R = 6.5, Cd = 4
      - Analysis Procedure = Equivalent Lateral Force Procedure
  - Structural drawings indicate typical and certain specific conditions only. Shop drawings shall detail all conditions in accordance with specified standards and the specific requirements of this project as indicated on the drawings.
  - Furnish and install all necessary attachments, anchorage's and accessories to provide a complete structurally sound building with a continuous load path. Bring any discontinuities to the attention of the Structural Engineer immediately.
  - FIELD VERIFY existing conditions prior to commencement of fabrication or construction. Bring any discrepancies to the attention of the Structural Engineer immediately.
  - Stairs including hand and guardrails shall be Vendor designed per the above loads, code and current NAAMM Standards unless otherwise indicated on the drawings.

Table 2306.1 Fastening Schedule		
Connection	Fastener	Number or Spacing
Joist to band joist, face nail	16d common	3
Joist to sill or girder, toe nail	8d common	3
Bringing to joist, toe nail each end	16d common	2
Ladder step	16d common	3 at each joist
1x6 or less subfloor to each joist, face nail	8d common	3
Over 1x6 subfloor to each joist, face nail	8d common	3
2-inch subfloor to joist or girder, blind and face nail	16d common	2
Sole plate to joist or blocking, face nail	16d common	16" o.c.
Top of sole plate to stud, end nail	16d common	2
Stud to sole plate, toe nail	8d common	4
Doubled studs, face nail	10d common	24" o.c.
Doubled top plates, face nail	10d common	16" o.c.
Top plates, lap and intersections face nail	-	2-16d or 3-10d common
Continuous header, two pieces	16d common	16" o.c. along each edge
Ceiling joists to plate, toe nail	8d common	3
Continuous header to stud, toe nail	-	3
Ceiling joists, laps over partitions, face nail	-	3-16d or 4-10d common
Ceiling joists to parallel rafters, face nail	-	3-16d or 4-10d common
Rafter to plate, toe nail	8d common	3
1-inch brace to each stud and plate, face nail	8d common	2
1x8 or less sheathing to each bearing, face nail	8d common	2
Over 1x8 sheathing to each bearing, face nail	8d common	2
Build-up corner studs	16d common	24" o.c.
Build-up girders and beams, of three members	20d common	32" o.c. at top and bottom and staggered 2 ends and at each splice.
Connection	Fastener	Number or Spacing
2-inch planks	16d common	2 each bearing
Studs to sole plate, end nail	16d common	2 each end
Wood Structural Panel and Particleboard Subflooring?		
15/32", 1/2"	6d common, annular or spiral thread	6" o.c. edges and 12" o.c. intermediate
19/32"-3/4"	8d common or 6d annular or spiral thread	6" o.c. edges and 12" o.c. intermediate
1", 1 1/8"	10d common or 8d annular or spiral thread	6" o.c. edges and 6" o.c. intermediate
15/32", 1/2"	16 ga galvanized wire staples, 3/8" minimum crown 1 5/8" length	4" o.c. edges and 7" o.c. intermediate
19/32", 5/8"	16 ga galvanized wire staples, 3/8" minimum crown 1 5/8" length	2 1/2" o.c. edges and 4" o.c. intermediate
Wood Structural Panel and Particleboard Roof & Wall Sheathing		
1/2" or less	6d common	6" o.c. edges and 12" o.c. intermediate
19/32" or greater	8d common	6" o.c. edges and 12" o.c. intermediate
5/16" - 1/2"	16 ga galvanized wire staples, 3/8" min. crown. Length of 1" plus wood structural panel or particleboard thickness	4" o.c. edges and 8" o.c. intermediate
Connection	Fastener	Number or Spacing
19/32" - 3/4"	16 ga galvanized wire staples, 3/8" min. crown. Length of 1" plus wood structural panel or particleboard thickness	2" o.c. edges and 5" o.c. intermediate
Fiberboard Sheathing <sup>1</sup>		
1/2"	1 1/2" galvanized roofing nail	3" o.c. at edges
25/32"	1 3/4" galvanized roofing nail	3" o.c. at edges
	8d common nail	6" o.c. at other bearings
Gypsum Sheathing		
1/2"	11 ga 1 1/2" galvanized 7/16" head	4" o.c. at edges
5/8"	11 ga 1 3/4" galvanized 7/16" head	4" o.c. at other bearings
Gypsum Wallboard		
1/2"	1 3/8" drywall nail <sup>2</sup>	8" o.c. at other bearings
5/8"	1 1/2" drywall nail <sup>2</sup>	7" o.c. on ceilings
Particleboard Siding		
5/16" - 1/2"	6d	8" o.c. on walls
3/4"	8d	8" o.c. on walls
Hardboard Lap Siding Direct to Stud <sup>5</sup>	8d corrosion-resistant with minimum shank diameter of 0.099 inch and minimum head diameter of 0.240 inch	16 inch o.c. at top and bottom edges
Connection	Fastener	Number or Spacing
Hardboard Lap Siding Over Sheathing	10d corrosion resistant with minimum shank diameter of 0.099 inch and minimum head diameter of 0.240 inch	16 inch o.c. at top and bottom edges
Hardboard Panel Siding Direct to Stud <sup>5</sup>	6d corrosion-resistant with minimum shank diameter of 0.092 inch and minimum head diameter of 0.225 inch	6 inch o.c. at edges and 12 inch o.c. at intermediate supports
Hardboard Panel Siding Over Sheathing	8d corrosion resistant with minimum shank diameter of 0.092 inch and minimum head diameter of 0.225 inch	6 inch o.c. at edges and 12 inch o.c. at intermediate supports

- 1 in = 25.4 mm  
 Notes:  
 1. Fiberboard sheathing may be stapled using 16 ga galvanized staples 1 1/8" long for 1/2" sheathing and 1 1/2" long for 25/32" sheathing. Staples have minimum crown of 7/16" and spaced 3" o.c. at edges and 6" o.c. at other bearings.  
 2. Drywall nails shall conform to ASTM C 514.  
 3. Siding applied to 5/8" net wood sheathing, 15/32" wood structural panel or 1/2" particleboard sheathing.  
 4. Corrosion-resistant nails spaced 6" on center at edge and 8" on center at intermediate supports. Nails shall have a minimum edge distance of 3/8".  
 5. Siding applied to studs spaced 24" on center maximum.  
 6. Siding applied directly to studs spaced 24" on center maximum.  
 7. Use annular or spiral thread nails for combination subfloor/underlayment.  
 8. Nail must be of sufficient length to accommodate thickness of siding and sheathing, if used, and allow minimum stud penetration of 1 1/2 inches.



DATE: 10/19/04  
 REVISION: 11/17/04  
 01/11/06

*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

STRUCTURAL

**CH-A11.1**

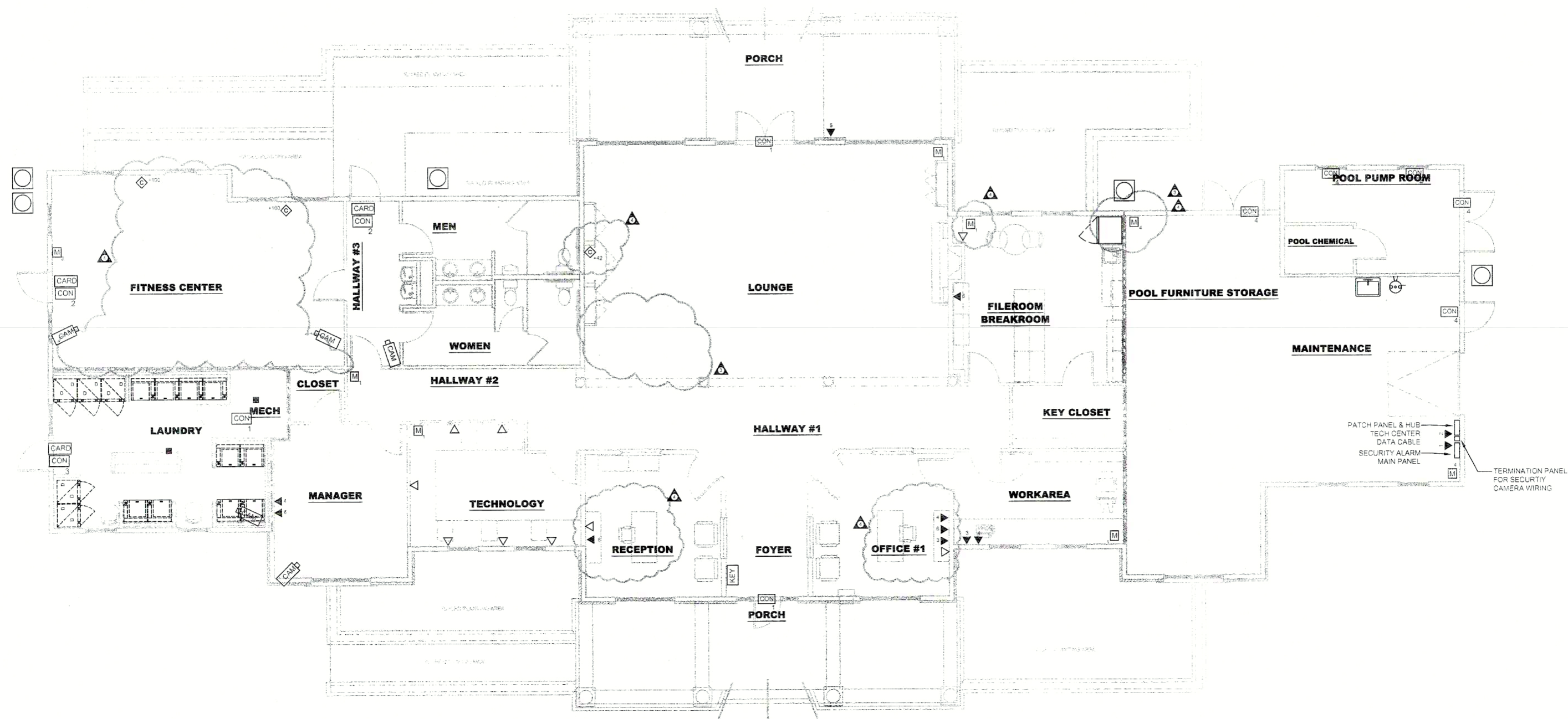
MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1860 FAX: 404/584-1866

**SECURITY SYSTEM NOTES**

SECURITY SYSTEM SHALL BE ZONED AS FOLLOWS:  
 ZONE 1: LOUNGE, RECEPTION, OFFICE, FOYER, CONFERENCE, TECHNOLOGY CENTER, MANAGER, ASSISTANT MANAGER, ACTIVITY ROOM, MECHANICAL ROOM, AT LAUNDRY, POOL EQUIPMENT, HALLWAY 1-2-3-5, FAX/COPY/FILE  
 ZONE 2: FITNESS ROOM, HALLWAY 3, MENS BATHROOM, WOMEN'S BATHROOM  
 ZONE 3: LAUNDRY

**LOW VOLTAGE LEGEND**

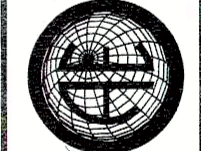
- ▲ TELEPHONE OUTLET 18" A.F.F. UDN INDICATES LINE TYPE. SEE BELOW
- 1 FIRE ALARM
- 2 ENTRY GATES
- 3 FAX MACHINE
- 4 DATA LINK TO CORPORATE
- 5 EMERGENCY PHONE AT POOL (B1 CALLS ONLY)
- 6 MAIN PHONE
- 7 TECH CENTER (INTERNET ACCESS)
- ▽ WALL DATA JACK RJ45 (10-BASE-T) 18" A.F.F. WIRE TO PATCH PANEL IN ELECTEL ROOM
- ◇ CABLE TV COAX JUNCTION BOX
- M MOTION DETECTOR FOR SECURITY SYSTEM INDICATES SECURITY ZONE
- CON DOOR CONTACTOR FOR SECURITY SYSTEMS INDICATES SECURITY ZONE
- KEY KEYPAD FOR SECURITY SYSTEM
- CARD KEY CARD MAG LOCK (PROVIDE WHERE INDICATED AND AT ALL POOL AND ENTRANCE GATES)
- CAM SECURITY CAMERA (PROVIDE WHERE INDICATED AND AT POOL AND ENTRY GATES TO PROPERTY)



NOTE:  
 ADDITIONAL KEY CARD ACCESS REQUIRED AT POOL GATES AND PEDESTRIAN ENTRY GATE TO PROPERTY

**LOW VOLTAGE PLAN** SCALE = 3/16"=1'-0"

DATE: 10-19-04  
 REVISION: 08-21-05  
 01-11-06



**A&E DESIGNERS, INC.**  
 615 Dalton Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (859) 223-1000  
 FAX: (859) 223-1657  
 EMAIL: derrick@aedeigners.net  
 WEBSITE: www.aedeigners.net

LOW VOLTAGE PLAN

**CH-E3.1**

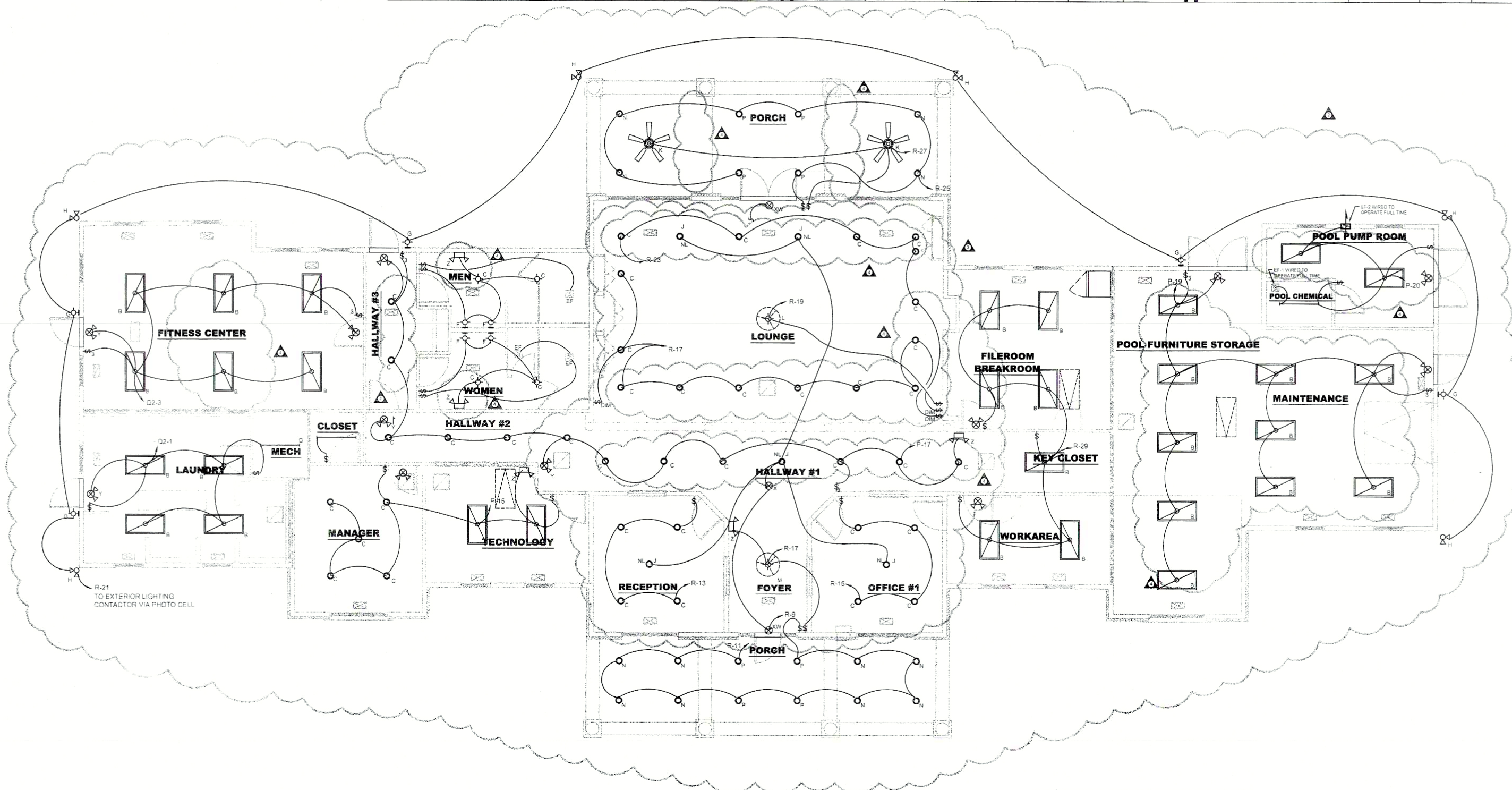
**Wyndham Pointe Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVENUE, SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1800 FAX: 404/584-1885



**LIGHTING FIXTURE SCHEDULE**

MARK	TYPE	MANUFACTURER	MODEL	LAMP	REMARKS	MARK	TYPE	MANUFACTURER	MODEL	LAMP	REMARKS	MARK	TYPE	MANUFACTURER	MODEL	LAMP	REMARKS
A	NOT USED					K	EXTERIOR 5 BLADE CEILING FAN	ROYAL	ROY 1014 HS			Xc	EXIT SIGN XC = CLG MTD XW = WALL MTD	BST	BST EZXTEU2RW EM	(1) 4W	
B	SURFACE MTD 2x4 FLUORESCENT	TEXAS FLUORESCENT	PUP-432-17-120	(2) F32T8		L	CHANDELIER	QUZ	QUZ AML 5160ML	(15) 100W		Xy	EXIT SIGN WITH EMERGENCY LIGHTS	BST	BST CXTEU2RW	(2) 5.6W	
C	RECESSED FLUORESCENT	FIXTURE: ROYAL TRIM: ROYAL	8106H 8507CL	(2) 13W	IC RATED FIXTURE	M	CHANDELIER	QUZ	QUZ AML 1790ML	(8) 60W CTC		Z	2 LAMP EMERGENCY LIGHT WITH BATTERY BACK UP	BST	BST R1	(2) 5.6W	
D	SURFACE MTD STRIP FLUORESCENT	TEXAS FLUORESCENT	C-232-120	(2) F32T8		N	RECESSED FLUORESCENT	FIXTURE: ROYAL TRIM: ROYAL	8150H 8690CL	(1) 26 W		LIGHTING AVAILABLE FROM ALLEN CARLQUIST VALUE LIGHTING (770) 874-2192					
F	BATH BRACKET FIXTURE (2 LIGHT)	MFS	MFS VS 8102 CB	(2) 60W A19		Op	SLOPE RECESSED FLUORESCENT	FIXTURE: ROYAL TRIM: ROYAL	ROY 8109H ROY 8575 CL	(1) 26 W							
G	EXTERIOR COACH LANTERN WALL MTD.	TRA	TRA 44835 BK	(1) 60W A19													
H	EXTERIOR FLOOD LIGHT	SAT	SAT SF76 514	(1) 500W													
J	RECESSED FLUORESCENT WITH EMERGENCY BATTERY BACK-UP	FIXTURE: ROYAL TRIM: ROYAL BATTERY BACK-UP: B94C	8106H 8507CL B94C	(2) 13W	IC RATED FIXTURE												



**FIRST FLOOR LIGHTING PLAN** SCALE = 3/16"=1'-0"

NOTE:  
EMERGENCY LIGHTING SHALL BE WIRED INTO THE SAME BRANCH CIRCUIT AS THAT SERVING THE AMBIENT LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.

FIRST FLOOR LIGHTING PLAN

**CH-E2.1**

**A & E DESIGNERS, INC.**  
 615 Deaton Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (609) 723-1000  
 FAX: (609) 723-1657  
 EMAIL: derrick@aedesigners.net  
 WEBSITE: www.aedesigners.net



**Wyndham Pointe Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404-584-1686 FAX: 404-584-1685

DATE: 10/19/04

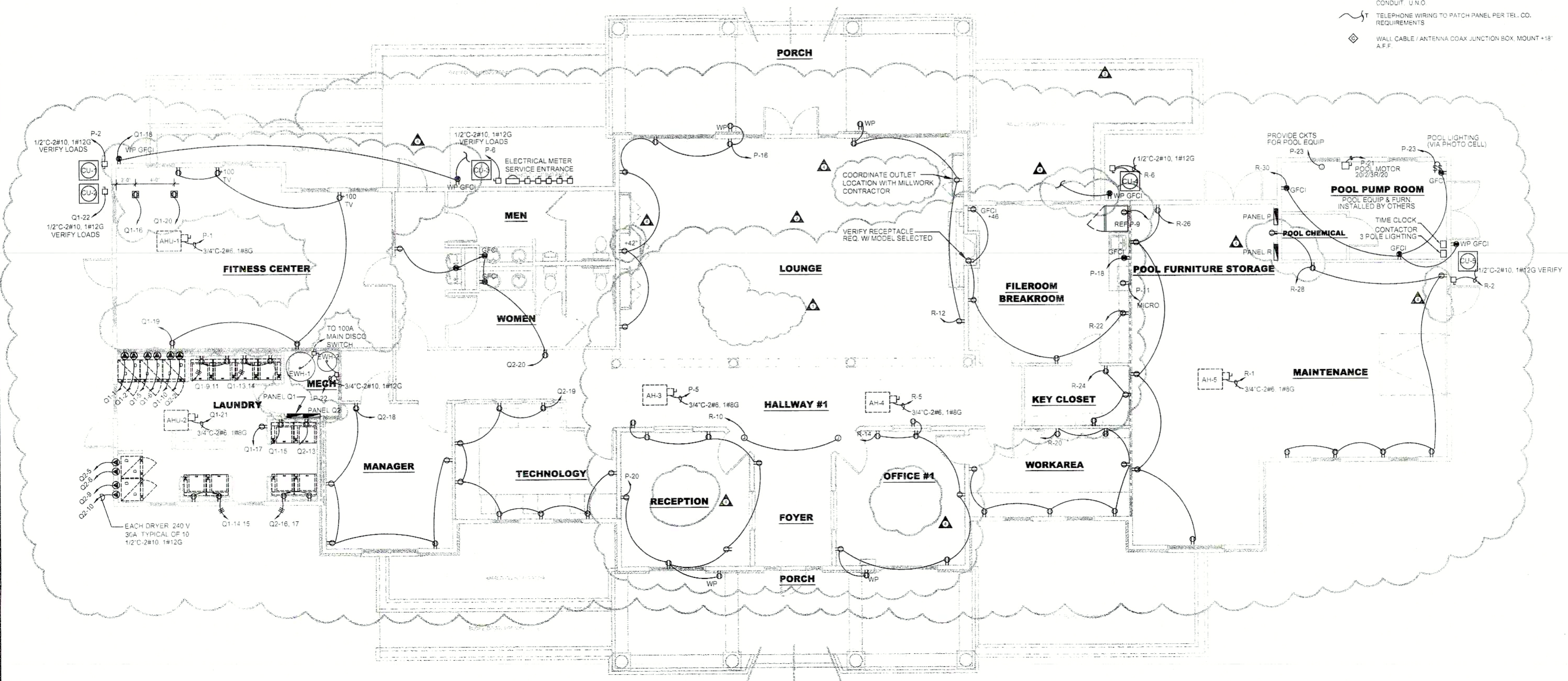
REVISION: 08/21/05

08/21/05

11/11/05

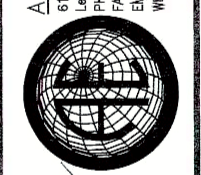
**ELECTRICAL KEY**

- PANEL
- SIMPLEX RECEPTACLE NEMA 5-20 R AT 42" A.F.F. (SLATER OR EQUAL QUALITY)
- DUPLEX RECEPTACLE NEMA 5-20R AT 20" A.F.F. U.N.O. (SLATER #5352-WH OR EQUAL)
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX RECEPTACLE AT 48" A.F.F. U.N.O.
- 120V GROUNDED QUAD RECEPT. MOUNT 18" A.F.F. U.N.O.
- SIMPLEX 1-PHASE TWIST-LOCK RECEPTACLE AT 15" A.F.F. U.N.O. (SLATER L6-30R OR EQUAL)
- SIMPLEX 3-PHASE TWIST-LOCK RECEPTACLE AT 15" A.F.F. U.N.O. (SLATER #L15-20R OR EQUAL)
- SINGLE POLE SWITCH MOUNT @48" MAXIMUM U.N.O.
- THREE WAY SWITCH MOUNT @48" MAXIMUM
- DIMMER SWITCH MOUNT @48" MAXIMUM
- JUNCTION BOX FOR HARDWIRE CONNECTION
- SPECIAL RECEPTACLE AS NOTED
- WALL TELEPHONE JACK MOUNT +18" A.F.F. U.N.O.
- WALL TELEPHONE JACK FOR DEDICATED FAX LINE MOUNT +18" A.F.F. U.N.O.
- WALL DATA JACK +18" A.F.F. U.N.O. (10BASE-T) RJ45
- PANEL DISCONNECT
- #12 WIRE IN CODE SIZE CONDUIT
- CONDUIT HOME RUN TO PANEL(S). CONCEAL IN WALL OR ABOVE CEILING. ARROWS INDICATE NUMBER OF PHASE CONDUCTORS. MINIMUM #12 A.W.G. THHN IN 1/2" EMT CONDUIT. U.N.O.
- TELEPHONE WIRING TO PATCH PANEL PER TEL. CO. REQUIREMENTS
- WALL CABLE / ANTENNA COAX JUNCTION BOX. MOUNT +18" A.F.F.



**FIRST FLOOR POWER PLAN** SCALE = 3/16"=1'-0"

DATE: 10/19/04  
 A & E DESIGNERS, INC.  
 615 Delton Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (609) 223-1000  
 FAX: (609) 223-1607  
 EMAIL: derrick@aedesigners.net  
 WEBSITE: www.aedesigners.net

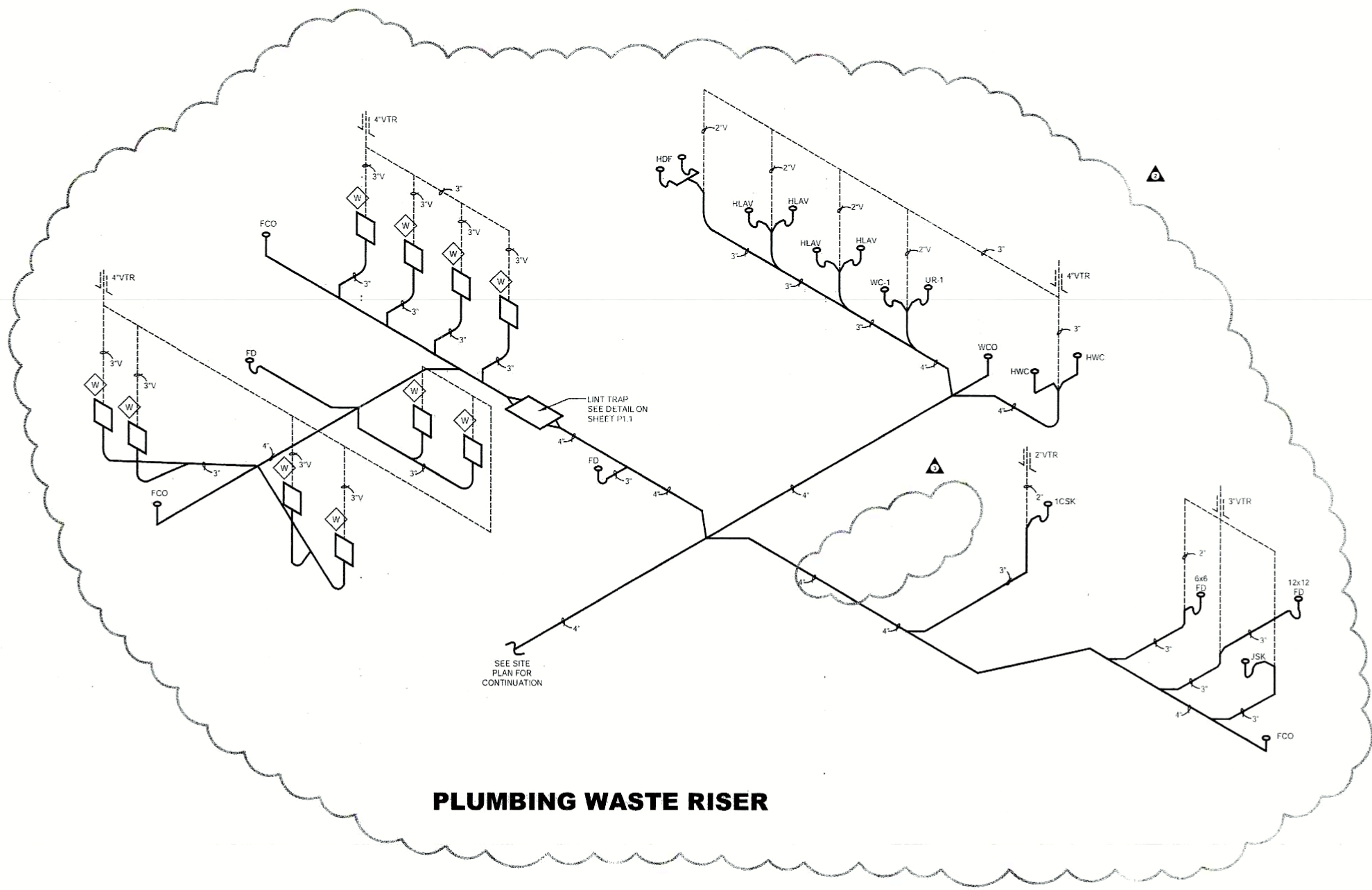


*Wyndham Pointe*  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

MORTON M. GRUBER, AIA, ARCHITECT  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/554-1890 FAX: 404/554-1058

POWER PLAN

CH-E1.1

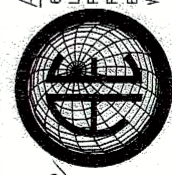


**PLUMBING WASTE RISER**

**CH-  
P2.2**

PLUMBING WATER RISER

*Wyndham Pointe*  
**Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina



**A & E DESIGNERS, INC.**  
 615 Dalzon Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (859) 223-1000  
 FAX: (859) 223-1657  
 EMAIL: derrick@aedesigners.net  
 WEBSITE: www.aedesigners.net

**DATE**  
10/19/04

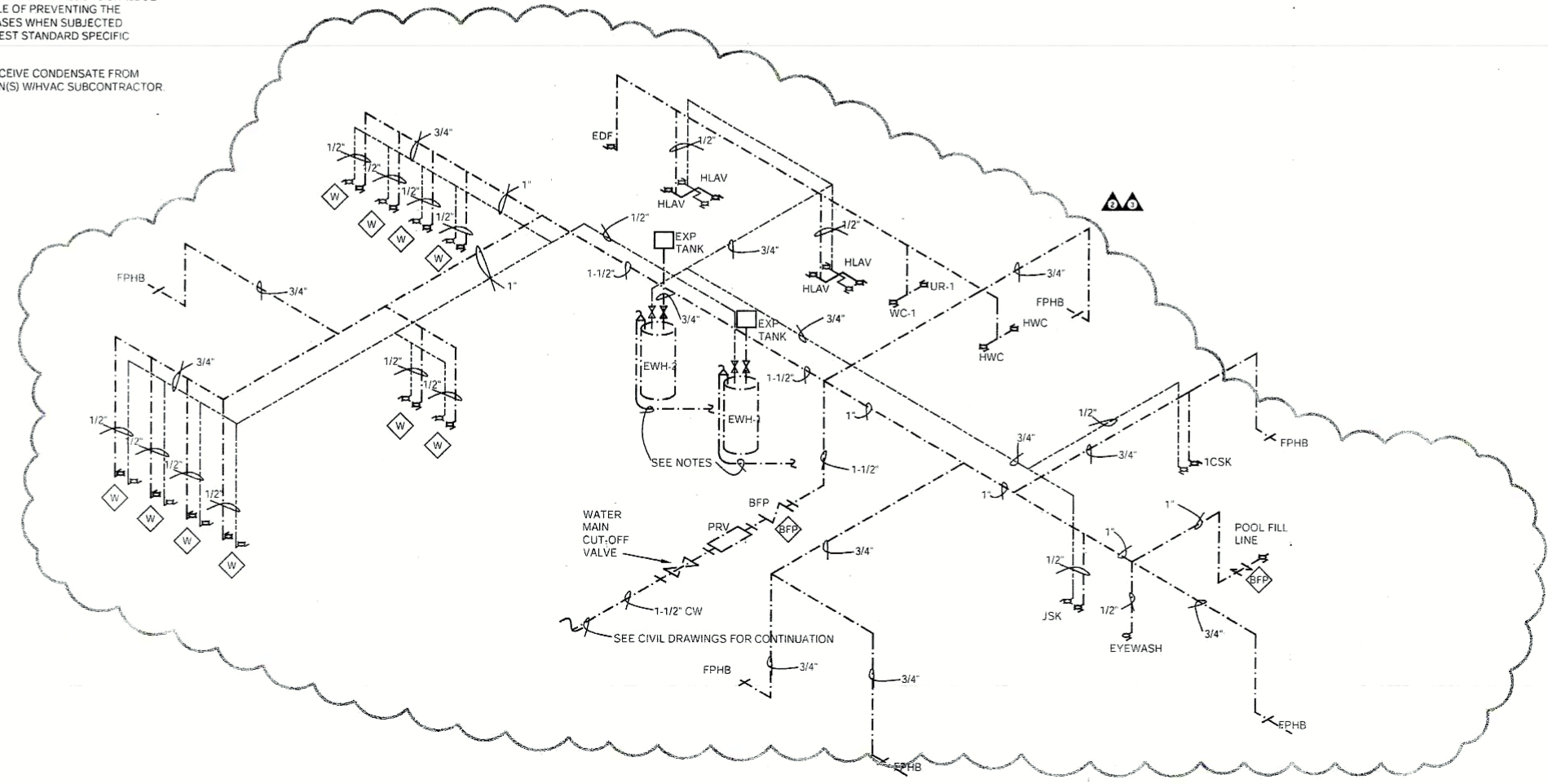
**REVISION**  
 17/02/05  
 (0)11/05

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE SUITE 2445 ATLANTA, GA 30303 TEL: 404/694-1880 FAX: 404/694-1895

**PLUMBING NOTES**

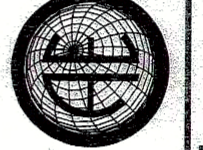
1. COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND CAST OR WROUGHT FITTINGS. JOINTS SHALL BE MADE W/ LEAD FREE SOLDER. 1/2" HARRIS' BRIDGIT OR EQUAL. COLD WATER PIPING BELOW GRADE SHALL BE TYPE K COPPER TUBING WITH CAST OR WROUGHT FITTINGS AND JOINTS SAME AS ABOVE GRADE. JOINTS SHALL NOT BE PERMITTED UNDER FLOOR SLABS. WATER PIPING BELOW GRADE THROUGH CONCRETE SHALL BE PROTECTED WITH PLASTIC SLEEVES. IF PERMITTED BY CODE, CPVC GOLD PIPING MAY BE SUBSTITUTED FOR COPPER.
2. SANITARY WASTE AND VENT. PIPING ABOVE GROUND SHALL BE NO-HUB CAST-IRON WITH STAINLESS STEEL COUPLINGS, OR SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS IF APPROVED BY LOCAL CODE. OFFICIAL. PVC PIPING SHALL NOT BE LOCATED IN RETURN AIR PLENUM SPACES.
3. SANITARY WASTE PIPING BELOW GROUND SHALL BE CAST-IRON WITH PUSH-ON JOINTS, OR SCHEDULE 40 DWV PVC WITH SOLVENT JOINTS.
4. ALL HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH 1/2" NOMINAL THICKNESS PIPE INSULATION WITH VAPOR BARRIER JACKET. OWENS-CORNING AS/JSSLIH OR EQUAL.
5. ALL COLD WATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH SELF-SEAL ARMAFLEX 2000 OR EQUAL 1/2" WALL THICKNESS. INSULATION SHALL BE WHITE IN COLOR AND SHALL FIT SNUGGLY AROUND PIPING.
6. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE STANDARD PLUMBING CODE AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
7. ALL PIPING PENETRATING CEILINGS & WALLS SHALL BE INSTALLED WITH CHROME PLATED ESCUTCHEONS AT THE PENETRATION. ALL PIPING PENETRATING EXTERIOR WALLS AND ROOFS SHALL BE FLASHED IN AN APPROVED MANNER & SHALL BE PROTECTED AS REQUIRED BY LOCAL CODE AUTHORITY.
8. TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR.
9. ROUTE RELIEF VALVE DISCHARGE FROM WATER HEATER TO NEAREST FLOOR DRAIN.
10. ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED BY THE BUILDING STRUCTURE & SHALL NOT REST ON CEILING TILES OR STRUCTURE.
11. SHOP DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY MECHANICAL EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE ALL EQUIPMENT SCHEDULED ON THE DRAWINGS: PLUMBING FIXTURES & TRIM, WATER HEATERS & ACCESSORIES, PIPE, VALVES, & FITTINGS, SANITARY & WATER RISER DIAGRAMS, INSULATION.
12. CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN THEREIN.
13. WATER PIPING ROUTED ABOVE CEILINGS AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UNDERSIDE) OF CEILING INSULATION AND HEATED SIDE (INSIDE) OF WALL INSULATION. DO NOT ROUTE PIPE LARGER THAN 3/4" Ø HORIZONTALLY IN INTERIOR LOAD BEARING OR ANY EXTERIOR WALLS. PIPE MUST BE CENTERED. ROUTE LARGER PIPES THROUGH CEILING/FLOOR SPACES AND AND DOWN OR UP TO REQUIRED LOCATION.
14. ALL PLUMBING EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
15. ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER START-UP.
16. ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE OWNER TO SUIT HIS OPERATING CONDITIONS.
17. ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE & COMBUSTIBILITY.
18. ALL PLUMBING EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUSED OR NON-FUSED) W/ ELECTRICAL DRAWINGS.
19. PENETRATIONS THRU RATED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPS ASTM-E-814.
20. PROVIDE HUB DRAIN(S) TO RECEIVE CONDENSATE FROM A/C UNITS. COORDINATE LOCATION(S) W/ HVAC SUBCONTRACTOR.

LEGEND	
COLD WATER	-----
HOT WATER	-----



**PLUMBING WATER RISERS** N.T.S.

**A & E DESIGNERS, INC.**  
 615 Deaton Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (606) 223-1000  
 FAX: (606) 223-1657  
 EMAIL: denick@aedesigners.net  
 WEBSITE: www.aedesigners.net



**Wyndham Pointe Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL. 404.584.1880 FAX 404.584.1885

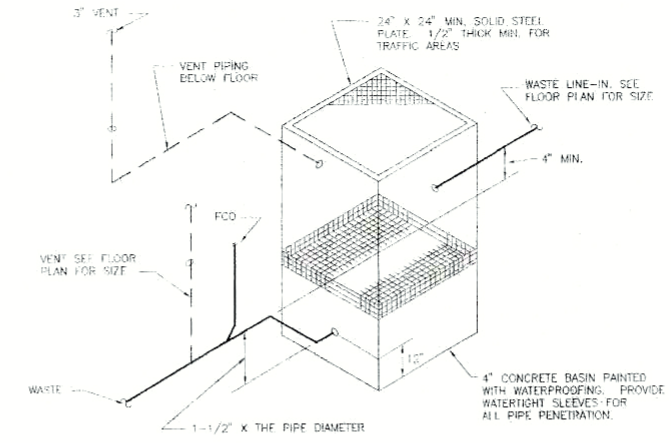
PLUMBING WATER RISER

**CH-P2.1**

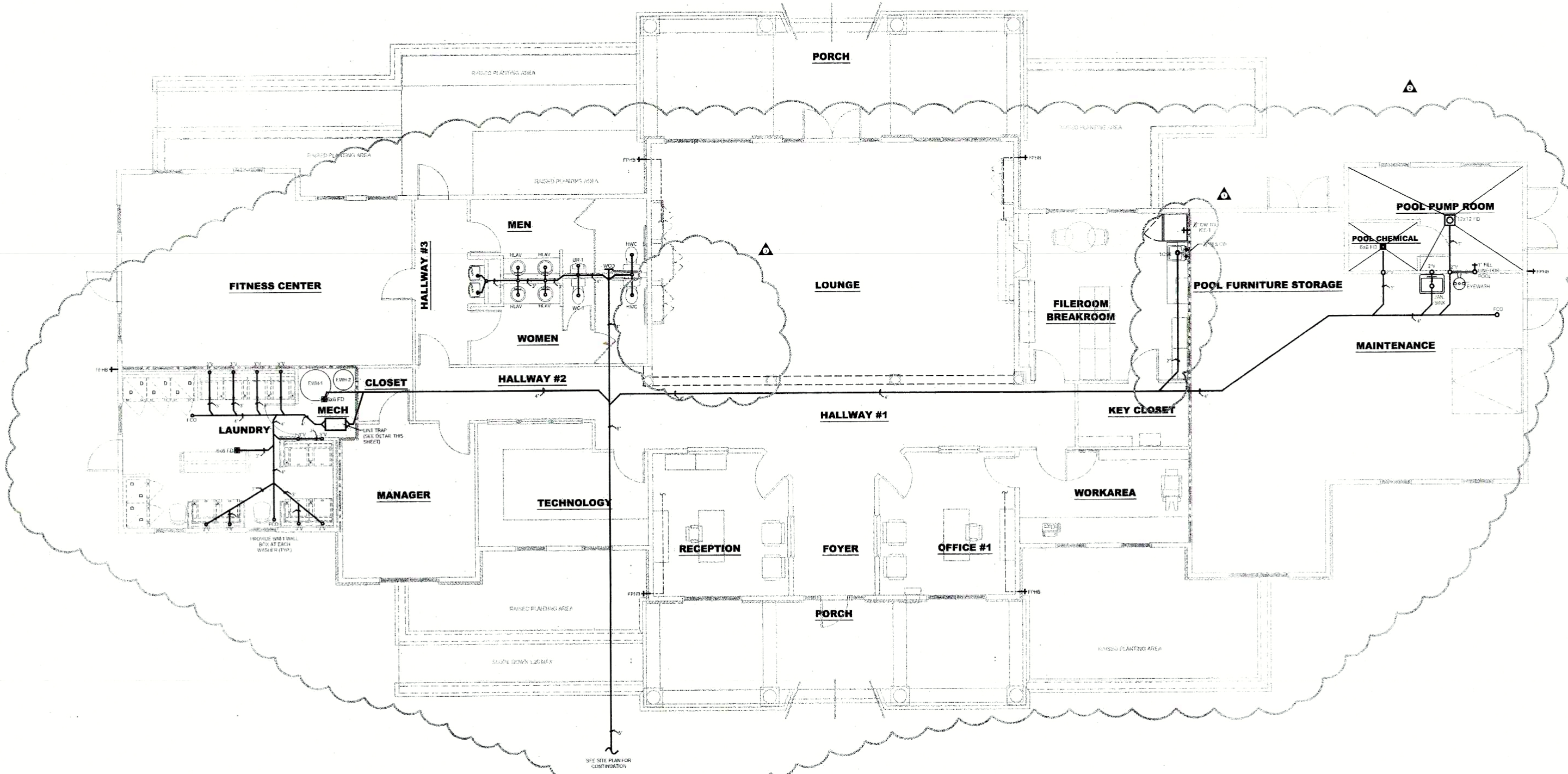
**FIXTURE SCHEDULE**

FIXTURE TYPE	MINIMUM SIZE UTILITY TO FIXTURE			MANUFACTURER	MODEL NUMBER	FINISH/COLOR	REMARKS
	WASTE CONNECTION	HOT WATER SUPPLY	COLD WATER SUPPLY				
HWC	HANDICAPPED WATER CLOSET	4"	1/2"				
HUR	HANDICAPPED ACCESS URINAL	3"	1/2"				
HLAV	HANDICAPPED ACCESS LAVATORY & FITTINGS	1-1/4"	1/2"				
HDF	ACCESSIBLE HIGH (SPOUT 48") LOW (SPOUT 36" AFF) DRINKING FOUNTAIN OR INVERTED 'J' SPOUT WITH A PAPER CUP DISPENSER ANCHORED TO THE WALL	1-1/4"	1/2"				
FD	FLOOR DRAIN WITH DEEP SEAL TRAP AND TRAP PRIMERS EQ. TO PRECISION MDL PG 500	3"	---				
HB	HOSE BIBB	---	3/4"				
FPHB	FROST PROOF HOSE BIBB	---	3/4"				
W	WASHER WALL BOX	1-1/2"	1/2"				
CO	CLEAN OUT	3"	---				
2CSK	STAINLESS STEEL 2 COMPARTMENT SINK	1-1/2"	1/2"				
EW-1	80 GALLON ELECTRIC WATER HEATER	INDIRECT	3/4"				
EW-2	40 GALLON ELECTRIC WATER HEATER	INDIRECT	3/4"				
ICE-1	ICEMAKER BOX	---	1/2"	IPS WATERTITE	WC9701	CHROME	
EYEWASH	EYEWASH	---	---				
UR-1	URINAL	4"	---	MANSFIELD	475	WHITE	MOUNT AT ADA HEIGHT
WC-1	TOILET	4"	---	MANSFIELD	135-180	WHITE	

NOTE:  
THE TOTAL COMMUNITY CONTAINS 200 UNITS. ONLY 83 OF THESE UNITS ARE MORE THAN 300 FEET FROM THE POOL.

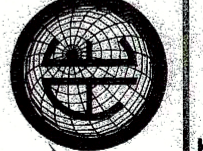


**LAUNDRY TRAP DETAIL**  
1/4" SCALE



**PLUMBING PLAN** SCALE = 3/16"=1'-0"

DATE: 10/16/04  
REVISION: 12/02/05  
A & E DESIGNERS, INC.  
615 Deaton Place Suite #100  
Lexington, Kentucky 40503  
PHONE: (859) 223-1000  
FAX: (859) 223-1657  
EMAIL: derrick@aedesigners.net  
WEBSITE: www.aedesigners.net



**Wyndham Pointe Clubhouse**  
80 Brighton Hill Road  
Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
225 PEACHTREE CENTER AVE. SUITE 2445 ATLANTA, GA 30303 TEL: 404/584-1880 FAX: 404/584-1895

PLUMBING PLAN

**CH-P1.1**

FACTORY FABRICATED SPLIT HEAT PUMP SYSTEMS																	
DESIGNATION	LOCATION	CFM	INDOOR UNIT (AHU)				OUTDOOR UNIT (CU)										
			EXT. S.P. INCHES W.C. (1)	MAX. MOTOR H.P. (2)	SENSIBLE CAPACITY BTUH (3)	AIR TEMP. IN DEG. F (4)	ELEC. HEAT KW (5)	OUTSIDE AIR CFM (6)	COOLING TOTAL CAPACITY (7)	AMBIENT AIR DEG. F (8)	HEATING TOTAL CAPACITY (9)	AMBIENT AIR DEG. F (10)	SEER (11)				
AH-1CU-1	ATTIC	800	0.5	1.2	18,000	80	57	3.0	750	GOODMAN AR46HKR08C	24,000	95	TEMP. DEG. F	15,000	47	CPLE24	12.0
AH-2CU-2	ATTIC	800	0.5	1.2	18,000	80	57	3.0	750	GOODMAN AR46HKR08C	24,000	95	TEMP. DEG. F	15,000	47	CPLE18	12.0
AH-3CU-3	ATTIC	1,600	0.5	1.2	36,000	80	57	3.0	1,500	GOODMAN AR46HKR08C	48,000	95	TEMP. DEG. F	30,000	47	CPLE48	12.0
AH-4CU-4	ATTIC	1,600	0.5	1.2	36,000	80	57	3.0	1,500	GOODMAN AR46HKR08C	48,000	95	TEMP. DEG. F	30,000	47	CPLE48	12.0
AH-5CU-5	ATTIC	1,200	0.5	1.2	27,000	80	57	3.0	1,125	GOODMAN AR46HKR10C	36,000	95	TEMP. DEG. F	22,500	47	CPLE36	12.0

(1) STATIC PRESSURE EXTERNAL ONLY AND DOES NOT INCLUDE COILS UNIT CASES AND UNDER INTERNAL COMPONENTS OF THE UNIT.  
(2) ELECTRICAL SERVICES SEE ELECTRICAL DRAWINGS FOR CHARACTERISTICS.  
(3) MOTOR EFFICIENCY SHALL BE EQUAL TO OR ABOVE 90.0% PLUS.  
(4) TOTAL STATIC PRESSURE LOSS SHALL BE SCHEDULED PRESSURE LOSSES PLUS ALL OTHER STATIC PRESSURE LOSSES APPLICABLE TO THE AIR HANDLING UNIT CONFIGURATION.  
(5) SEE FRESH AIR CALCULATIONS THIS SHEET.  
(6) SEE PLANS FOR SELECTED EQUIPMENT DESIGNATIONS.  
(7) PROVIDE DUCT DETECTORS AS REQUIRED BY CODE.

FAN SCHEDULE													
DESIGNATION	LOCATION	DESCRIPTION	SERVICE	CFM	EXT. SP. INCHES W.C.	APPROX. MOTOR HP	TYPE DRIVE	NOM. WHEEL DIAM. INCHES	MAX. RPM	MAX. TRIP SPEED FPM	ELECTRICAL CHARACTERISTICS	BASIS OF DESIGN	REMARKS
EF-1	TOILETS AND CHEMICAL STORAGE	CEILING MOUNTED FANS	TOILET EXHAUST	110	0.25	1/2	DIRECT	10	700	---	SEE ELECTRICAL	NUTONE MODEL 872-R	SEE NOTES 11, 12, 13.
EF-2	POOL EQUIPMENT	THRU WALL	POOL EQUIP.	235	0.25	1/2	DIRECT	10	700	---	SEE ELECTRICAL	CARNES OR PENN.	SEE NOTES 11, 12, 13.

(1) VENT BATH FANS TO THE OUTSIDE.  
(2) CARRY DUCT TO EXTERIOR WALL CAP LOCATIONS WITH BACKDRAFT DAMPER.  
(3) COORDINATE TERMINATING WALL CAP LOCATIONS WITH GENERAL CONTRACTOR.

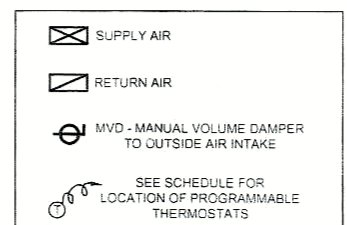
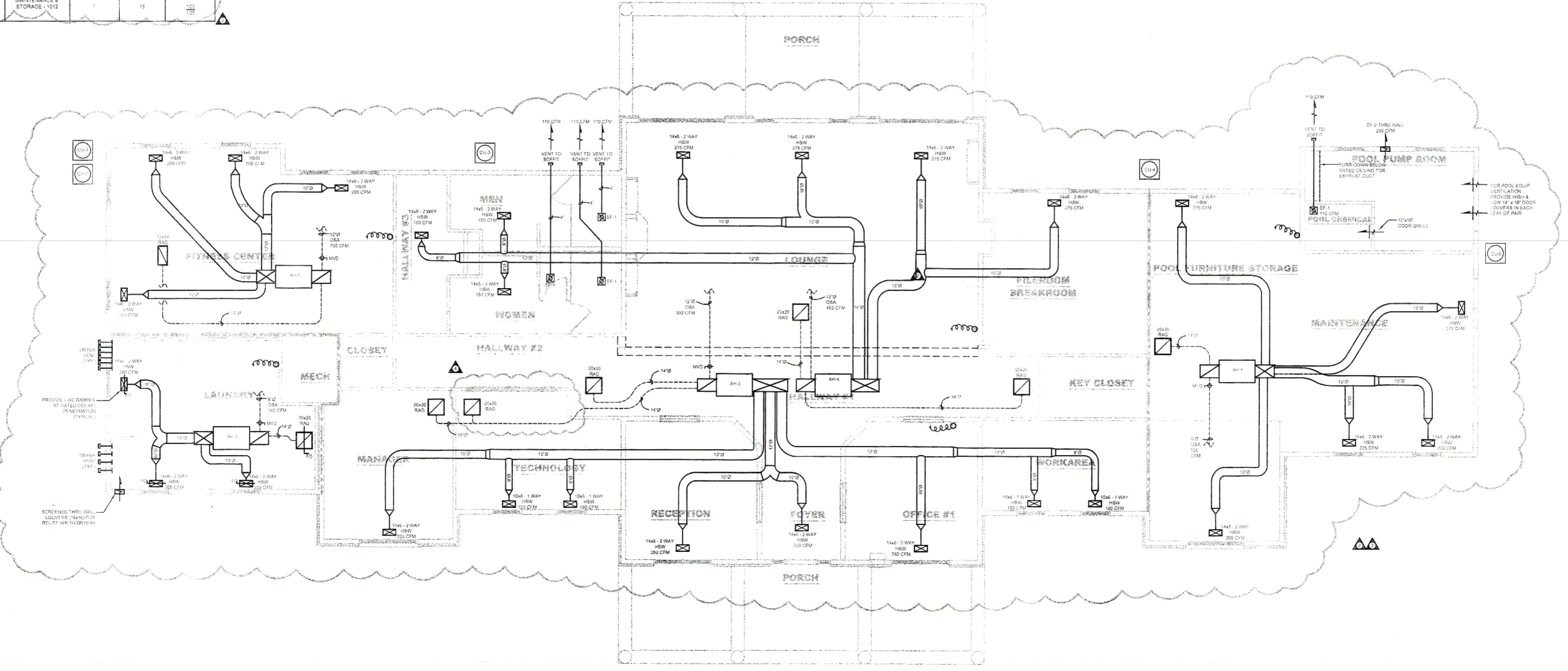
FRESH AIR DESIGN CALCULATIONS					
UNIT NUMBER	AREAS SERVED (SF)	REQUIRED CFM'S PER 2000 INCH TABLE 403.3 PER 1000 SF	POPULATION PER PERSON	OSA IN CFM PER PERSON	CFM'S REQUIRED
AH-1	FITNESS - 600	50	25	25	750
AH-2	LAUNDRY - 350	30	20	20	700
AH-3	FOYER - 170 OFFICES - 328 TECHWORK - 800	30 20 20	15 15 20	15 15 20	51 100 240
AH-4	OFFICE - 100 BREAK ROOM - 300 FAX COPY - 108 LOUNGE - 800	20 20 7 20	20 20 15 15	20 20 15 15	60 100 105 270
AH-5	MAINTENANCE & STORAGE - 1012	7	15	15	105

FLEXDUCT SCHEDULE	
CFM	FLEXDUCT DIAMETER
0-80	8"
81-168	8"
169-300	10"
301-600	12"

LOW PRESSURE INSULATED FLEXIBLE DUCT SHALL BE DESIGNED IN ACCORDANCE WITH THE AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) DUCT SIZING CALCULATIONS BASED ON FRICTION LOSS OF 0.1" W.C. THE DUCT SIZE AND QUANTITY OF RADIUS BENDS WILL ALSO AFFECT THE CALCULATIONS.

DIFFUSER, REGISTER & GRILLE SCHEDULE			
SIZE	MARK	CFM RANGE	REMARKS
8 X 4	HSW-2	0-80	DOUBLE DEFLECTION
10 X 6	HSW-1 HSW-2 CS-1	90-180	SINGLE DEFLECTION DOUBLE DEFLECTION CURVED BLADE
14 X 8	HSW-2 CS-1 HVL	190-280	DOUBLE DEFLECTION CURVED BLADE DOUBLE DEFLECTION

VENTILATION CALCULATIONS	
<b>POOL EQUIPMENT ROOM:</b>	ROOM VOLUME x 10 AIR CHANGES/HOUR 10' x 14' x 10' = 1400'³ ÷ 60 = 23.33 CFM
<b>POOL CHEMICAL STORAGE:</b>	ROOM VOLUME x 10 AIR CHANGES/HOUR 4' x 4' x 10' = 160'³ ÷ 60 = 2.67 CFM



COMMUNITY BUILDING HVAC FLOOR PLAN SCALE = 3/16"=1'-0"

**A & E DESIGNERS, INC.**  
 615 Dabon Place Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (609) 223-1000  
 FAX: (609) 223-1657  
 EMAIL: derrick@aedesigners.net  
 WEBSITE: www.aedesigners.net

DATE: 10/19/04  
 REVISION: 08-21-06  
 12-02-06  
 01-11-06

**Wyndham Pointe**  
 Clubhouse  
 80 Brighton Hill Road  
 Richland County, South Carolina

**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE. SUITE 2405 ATLANTA, GA 30303 TEL. 404.584.1880 FAX 404.584.1885

FIRST FLOOR HVAC PLAN

**CH-M1.1**

**PANEL "P" SCHEDULE**

PANEL W/BOLT-ON BREAKERS EQUAL TO SQUARE-D WITH GROUND BAR & SOLID NEUTRAL  
MIN. AIC: 22,000A R.M.S.

200A MLO  
VOLTAGE: 120/240-1PH-3W  
MOUNTING SURFACE

CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE LOADS		BKR SIZE	CKT NO.		
				A	B				
1	60/2	4.0	AH-1	6.6	--	CU-1	2.6	30/2	2
3	4.0	Verify Equipment Label	--	6.6	--	Verify Equipment Label	2.6	30/2	4
5	60/2	4.0	AH-3	6.6	--	CU-3	2.6	30/2	6
7	4.0	Verify Equipment Label	--	6.6	--	Verify Equipment Label	2.6	30/2	8
9	20/1	0.4	Refrigerator	0.4	--	Spare	20/1	10	10
11	20/1	0.8	Oven (Verify)	--	0.8	Spare	20/1	12	12
13	20/1	0.8	Lighting	0.8	--	Spare	20/1	14	14
15	20/1	0.9	Lighting	--	1.9	Receptacles	1.0	20/1	16
17	20/1	1.0	Lighting	1.8	--	Receptacles	0.8	20/1	18
19	20/1	0.8	Lighting	--	1.8	Receptacles	1.0	20/1	20
21	20/1	0.8	Pool Motor	3.1	--	EW-2	2.3	30/2	22
23	20/1	0.8	Pool Equipment	--	3.1	Verify Equipment Label	2.3	30/2	24
<b>Total Connected Load</b>				<b>19.3</b>	<b>20.8</b>	<b>Total Connected Load</b>	<b>17.8</b>		

**LAUNDRY PANEL "Q1" SCHEDULE**

PANEL W/BOLT-ON BREAKERS EQUAL TO SQUARE-D WITH GROUND BAR & SOLID NEUTRAL  
MIN. AIC: 22,000A R.M.S.

200A MLO  
VOLTAGE: 120/240-1PH-3W  
MOUNTING SURFACE

CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE		BKR SIZE	CKT NO.		
				A	B				
1	30/2	2.6	Dryer 1	5.2	--	Dryer 2	2.6	30/2	4
3	2.6	--	5.2	--	5.2	2.6	30/2	6	
5	30/2	2.6	Dryer 3	5.2	--	Dryer 4	2.6	30/2	8
7	2.6	--	5.2	--	5.2	2.6	30/2	10	
9	20/1	0.8	Washer 1	3.4	--	Dryer 5	2.6	30/2	12
11	20/1	0.8	Washer 2	--	3.4	--	2.6	30/2	14
13	20/1	0.8	Washer 3	1.6	--	Washer 4	0.8	20/1	16
15	20/1	0.8	Washer 5	--	1.6	Receptacles	1.0	20/1	18
17	20/1	0.2	Receptacles	1.2	--	Receptacles	1.0	20/1	20
19	20/1	1.2	Receptacles	--	2.2	Receptacles	1.0	20/1	22
21	40/2	2.5	AH-2 (Verify equipment)	4.5	--	CU-2 (Verify equipment)	2.0	40/2	24
23	2.5	Space	--	4.5	Space	2.0	40/2	26	
<b>Total Connected Load</b>				<b>21.1</b>	<b>22.3</b>	<b>Total Connected Load</b>	<b>23.4</b>		

**LAUNDRY PANEL "Q2" SCHEDULE**

PANEL W/BOLT-ON BREAKERS EQUAL TO SQUARE-D WITH GROUND BAR & SOLID NEUTRAL  
MIN. AIC: 22,000A R.M.S.

200A MLO  
VOLTAGE: 120/240-1PH-3W  
MOUNTING SURFACE

CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE LOADS		BKR SIZE	CKT NO.		
				A	B				
1	20/1	0.5	Lighting	3.1	--	Dryer 6	2.6	30/2	2
3	20/1	0.8	Lighting	--	3.4	--	2.6	30/2	4
5	30/2	2.6	Dryer 7	5.2	--	Dryer 8	2.6	30/2	6
7	2.6	--	5.2	--	5.2	2.6	30/2	8	
9	30/2	2.6	Dryer 9	5.2	--	Dryer 10	2.6	30/2	10
11	2.6	--	5.2	--	5.2	2.6	30/2	12	
13	20/1	0.8	Washer 6	1.6	--	Washer 7	0.8	20/1	14
15	20/1	0.8	Washer 8	--	1.6	Washer 9	0.8	20/1	16
17	20/1	0.8	Washer 10	1.8	--	Receptacles	0.3	20/1	18
19	20/1	1.2	Receptacles	--	2.2	Receptacles	1.0	20/1	20
21	20/1	1.2	Receptacles	0.0	--	Spare	20/1	22	22
23	20/1	1.2	Receptacles	0.0	--	Spare	20/1	24	24
<b>Total Connected Load</b>				<b>16.9</b>	<b>17.6</b>	<b>Total Connected Load</b>	<b>19.2</b>		

**PANEL "R" SCHEDULE**

PANEL W/BOLT-ON BREAKERS EQUAL TO SQUARE-D WITH GROUND BAR & SOLID NEUTRAL  
MIN. AIC: 22,000A R.M.S.

200A MLO  
VOLTAGE: 120/240-1PH-3W  
MOUNTING SURFACE

CKT NO.	BKR SIZE	KVA	DESCRIPTION	PHASE LOADS		BKR SIZE	CKT NO.		
				A	B				
1	50/2	3.0	AH-5	5.0	--	CU-5	2.0	50/2	2
3	3.0	Verify Equipment Label	--	5.0	--	Verify Equipment Label	2.0	50/2	4
5	60/2	4.0	AH-4	6.6	--	CU-4	2.6	50/2	6
7	4.0	Verify Equipment Label	--	6.6	--	Verify Equipment Label	2.6	50/2	8
9	20/1	0.6	Night Lighting	1.0	--	Receptacles	0.4	20/1	10
11	20/1	1.1	Lighting	--	2.3	Receptacles	1.2	20/1	12
13	20/1	0.4	Lighting	1.4	--	Receptacles	1.0	20/1	14
15	20/1	0.4	Lighting	--	0.7	Receptacles	0.3	20/1	16
17	20/1	0.4	Lighting	0.7	--	Receptacles	0.3	20/1	18
19	20/1	0.4	Lighting	--	1.6	Receptacles	1.4	20/1	20
21	20/1	1.5	Exterior Lighting	2.7	--	Receptacles	1.2	20/1	22
23	20/1	1.0	Lighting	--	1.6	Receptacles	0.6	20/1	24
25	20/1	1.1	Oven (Verify)	2.1	--	Receptacles	1.0	20/1	26
27	20/1	0.4	Fans	--	1.2	Receptacles	0.8	20/1	28
29	20/1	0.8	Lighting	1.6	--	Receptacles	0.8	20/1	30
<b>Total Connected Load</b>				<b>21.1</b>	<b>19.2</b>	<b>Total Connected Load</b>	<b>18.2</b>		

**LOAD SUMMARY - PANEL P**

ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
LIGHTING	120	3.8	125	4.8
RECEPTACLES	120	2.8	100	2.8
MISCELLANEOUS	120/240	7.1	85	6.0
HVAC SYSTEMS	240	26.4	80	21.1
<b>TOTALS:</b>		<b>40.1</b>		<b>34.7</b>

34.7 kVA Connected @ 120/240/1 = 144.6 amps

**LOAD SUMMARY - PANEL Q1**

ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
DRYERS	240	29.0	85	22.1
WASHERS	120	4.0	85	3.4
RECEPTACLES	120	4.4	100	4.4
<b>TOTALS:</b>		<b>43.4</b>		<b>29.9</b>

29.9 kVA Connected @ 120/240/1 = 124.6 amps

**LOAD SUMMARY - PANEL Q2**

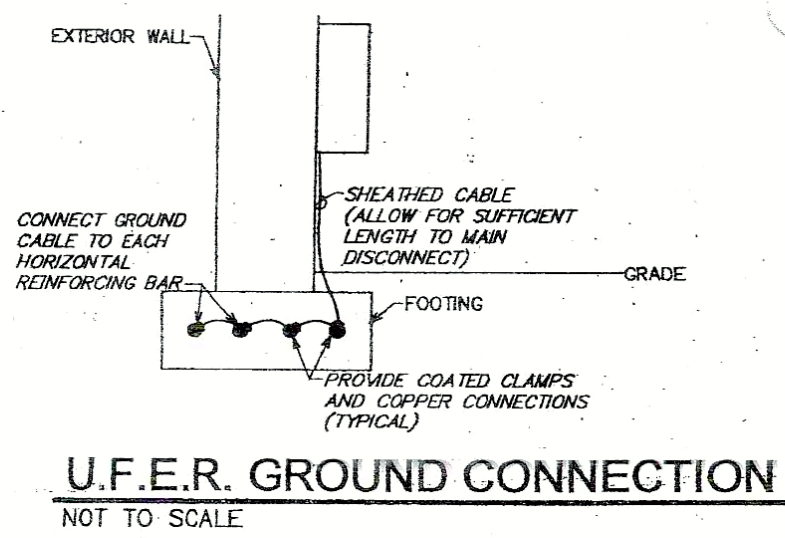
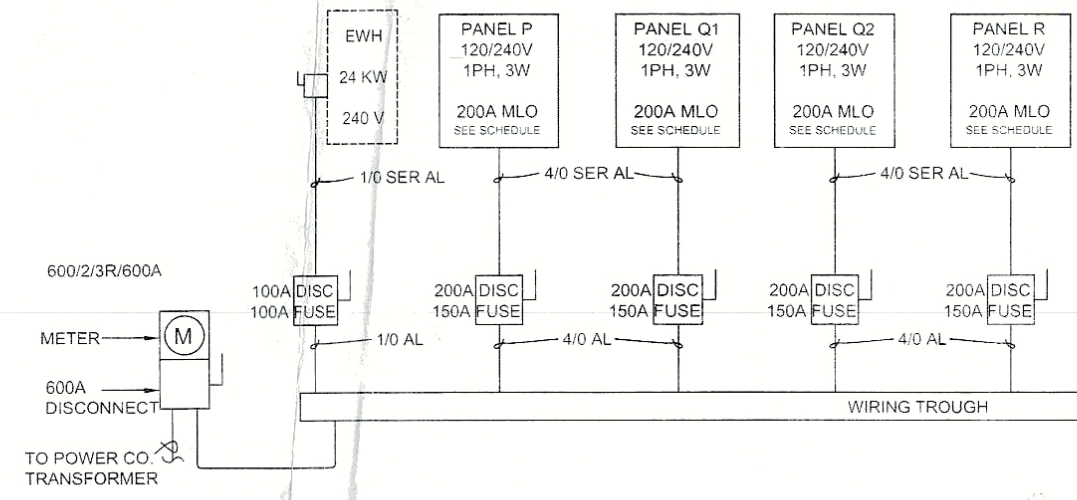
ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
DRYERS	240	26.0	85	22.1
WASHERS	120	4.0	85	3.4
MISCELLANEOUS	120	4.5	100	4.5
<b>TOTALS:</b>		<b>34.5</b>		<b>30.0</b>

30.0 kVA Connected @ 120/240/1 = 125.0 amps

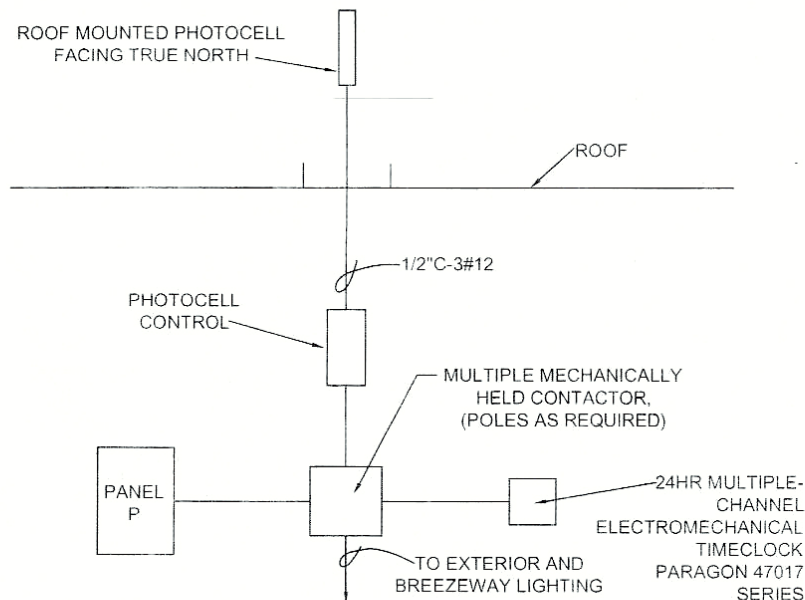
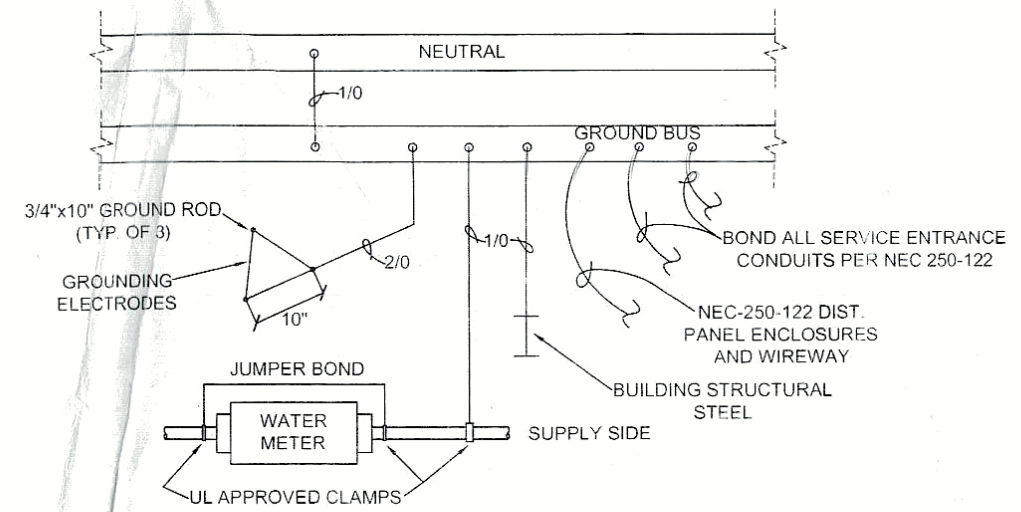
**LOAD SUMMARY - PANEL R**

ITEMS	VOLTAGE	CONNECTED KVA	%	ESTIMATED DEMAND KVA
LIGHTING	120	4.0	125	5.0
RECEPTACLES	120	13.1	85	11.1
HVAC SYSTEMS	240	23.2	80	18.6
<b>TOTALS:</b>		<b>40.3</b>		<b>34.7</b>

34.7 kVA Connected @ 120/240/1 = 144.6 amps



- ELECTRICAL NOTES:**
- ACTUAL CONTINUOUS LOADS SHALL NOT EXCEED 80% OF RATINGS OF THE OVER-CURRENT PROTECTION DEVICES.
  - THE AVAILABLE FAULT CURRENT AT THE SERVICE EQUIPMENT IS 10,000 A.I.C. MAIN DISCONNECTS SHALL HAVE A.I.C. RATINGS EQUAL TO OR GREATER THAN THE MAXIMUM AVAILABLE FAULT CURRENT FROM THE TRANSFORMERS. ELECTRICAL CONTRACTOR SHALL OBTAIN LETTER FROM POWER COMPANY TO VERIFY SUCH AVAILABLE FAULT CURRENTS.



DATE: 10/19/04  
 REVISION: 08/21/05  
 12/02/05  
 01/11/06  
**A & E DESIGNERS, INC.**  
 616 Deaton Place, Suite #100  
 Lexington, Kentucky 40503  
 PHONE: (859) 223-1000  
 FAX: (859) 223-1657  
 EMAIL: derrick@aedesigners.net  
 WEBSITE: www.aedesigners.net  
**Wyndham Pointe Clubhouse**  
 80 Brighton Hill Road  
 Richland County, South Carolina  
**MORTON M. GRUBER, AIA, ARCHITECT**  
 245 PEACHTREE CENTER AVE., SUITE 2400, ATLANTA, GA 30303 TEL: 404/994-1680 FAX: 404/994-1695

**CH-E4.1**





**ADDENDUM D**  
**NCHMA Certification & Checklist**

## NCHMA Market Study Index

**Introduction:** Members of the National Council of Housing Market Analysts provide the following checklist referencing various components necessary to conduct a comprehensive market study for rental housing. By completing the following checklist, the NCHMA Analyst certifies that he or she has performed all necessary work to support the conclusions included within the comprehensive market study. By completion of this checklist, the analyst asserts that he/she has completed all required items per section.

		Page Number(s)
<b>Executive Summary</b>		
1	Executive Summary	1
<b>Scope of Work</b>		
2	Scope of Work	Introduction
<b>Project Description</b>		
3	Unit mix including bedrooms, bathrooms, square footage, rents, and income targeting	Section A
4	Utilities (and utility sources) included in rent	Section A
5	Target market/population description	Section A
6	Project description including unit features and community amenities	Section A
7	Date of construction/preliminary completion	Section A
8	If rehabilitation, scope of work, existing rents, and existing vacancies	N/A
<b>Location</b>		
9	Concise description of the site and adjacent parcels	Section B
10	Site photos/maps	Section B
11	Map of community services	Section B
12	Site evaluation/neighborhood including visibility, accessibility, and crime	Section B
<b>Market Area</b>		
13	PMA description	Section C
14	PMA Map	Section C
<b>Employment and Economy</b>		
15	At-Place employment trends	Section D
16	Employment by sector	Section D
17	Unemployment rates	Section D
18	Area major employers/employment centers and proximity to site	Section D
19	Recent or planned employment expansions/reductions	Section D
<b>Demographic Characteristics</b>		
20	Population and household estimates and projections	Section E
21	Area building permits	Section E
22	Population and household characteristics including income, tenure, and size	Section E
23	For senior or special needs projects, provide data specific to target market	N/A
<b>Competitive Environment</b>		
24	Comparable property profiles and photos	Section G
25	Map of comparable properties	Section G
26	Existing rental housing evaluation including vacancy and rents	Section G
27	Comparison of subject property to comparable properties	Section G
28	Discussion of availability and cost of other affordable housing options including homeownership, if applicable	Section G
29	Rental communities under construction, approved, or proposed	Section G
30	For senior or special needs populations, provide data specific to target market	N/A

## NCHMA Market Study Index

**Introduction:** Members of the National Council of Housing Market Analysts provide the following checklist referencing various components necessary to conduct a comprehensive market study for rental housing. By completing the following checklist, the NCHMA Analyst certifies that he or she has performed all necessary work to support the conclusions included within the comprehensive market study. By completion of this checklist, the analyst asserts that he/she has completed all required items per section.

		Page Number(s)
<b>Affordability, Demand, and Penetration Rate Analysis</b>		
31	Estimate of demand	Section F
32	Affordability analysis with capture rate	Section F
33	Penetration rate analysis with capture rate	Section F
<b>Analysis/Conclusions</b>		
34	Absorption rate and estimated stabilized occupancy for subject	Section F
35	Evaluation of proposed rent levels including estimate of market/achievable rents.	Section G
36	Precise statement of key conclusions	Executive Summary
37	Market strengths and weaknesses impacting project	Executive Summary
38	Product recommendations and/or suggested modifications to subject	Executive Summary
39	Discussion of subject property's impact on existing housing	Executive Summary
40	Discussion of risks or other mitigating circumstances impacting subject	Executive Summary
41	Interviews with area housing stakeholders	Section H
<b>Other Requirements</b>		
42	Certifications	Addendum B
43	Statement of qualifications	Addendum A
44	Sources of data not otherwise identified	N/A



Formerly known as  
National Council of Affordable  
Housing Market Analysts

## **NCHMA MEMBER CERTIFICATION**

This market study has been prepared by Novogradac Consulting LLP, a member in good standing of the National Council of Housing Market Analysts (NCHMA). This study has been prepared in conformance with the standards adopted by NCHMA for the market analysts' industry. These standards include the *Standard Definitions of Key Terms Used in Market Studies*, and *Model Content Standards for the Content of Market Studies*. These Standards are designed to enhance the quality of market studies and to make them easier to prepare, understand, and use by market analysts and by the end users. These Standards are voluntary only, and no legal responsibility regarding their use is assumed by the National Council of Housing Market Analysts.

Novogradac Consulting LLP is duly qualified and experienced in providing market analysis for Affordable Housing. The company's principals participate in the National Council of Housing Market Analysts (NCHMA) educational and information sharing programs to maintain the highest professional standards and state-of-the-art knowledge. Novogradac Consulting LLP is an independent market analyst. No principal or employee of Novogradac Consulting LLP has any financial interest whatsoever in the development for which this analysis has been undertaken.

Rachel B. Denton, MAI  
Partner  
913-312-4612  
Rachel.Denton@novoco.com